



September 10, 2025

Mr. Hyung Jin Seo
Hace Inc.
2601 Walnut Avenue, Suite E
Tustin, CA 92780

Sent via email:
hseo@haceinc.com

Subject: Approval of a Minor Modification (File No. 00951354-PCPM) to Conditional Use Permit 77-CP-0111 for the Rancho San Joaquin Golf Course and Driving Range located at One Ethel Coplen Way in Planning Area 19 (Rancho San Joaquin)

Dear Mr. Seo:

Community Development Department staff reviewed Modification 00951354-PCPM to the Rancho San Joaquin Driving Range in Planning Area 19 (Rancho San Joaquin). The project site has a zoning designation of 1.5 Recreation and is developed with an existing driving range adjacent to the existing 18-hole Rancho San Joaquin Golf Course. The Rancho San Joaquin Golf Course was originally approved under Site Design 76-SD-0056. On April 5, 1977, the driving range was originally approved by the Irvine Planning Commission, per Conditional Use Permit 77-CP-0111.

The driving range is located adjacent to Michelson Drive and currently features 68 outdoor hitting stalls, six short-game areas, three practice putting greens, and an accessory building that includes a ball shop, snack bar, restroom building.

In October 2022, Minor Modification 00873922-PCPM was approved for a new 1,899-square-foot, single-story building containing indoor driving range simulators, an indoor putting green, and storage space to operate as a golf academy at the driving range. However, the applicant has since notified staff that he does not intend to proceed with the approved golf academy project and that approval is set to expire at the end of October 2025.

The current proposal seeks to expand the existing parking lot to address the high demand for parking. While the driving range complies with parking requirements of the Irvine Zoning Ordinance, the existing capacity is insufficient for actual use. As such, the applicant proposes to remove two short-game areas and one practice putting green from the southern portion of the property to add 57 additional parking stalls.

Per Section 4-3-4 of the Zoning Ordinance, a driving range requires one parking space per outdoor hitting stall (or “tee”), plus required parking for other uses on the site.

Table 1 provides a breakdown of the existing parking requirements and proposed parking:

Table 1: Parking Requirements

Driving Range	Parking Required	Parking Provided
Outdoor Hitting Stalls (68)	68	102
Parking Lot Expansion		57
Total	68	159
Parking Surplus		91

With the proposed parking expansion, the project site will accommodate 159 parking spaces with a surplus of 91 parking spaces. Therefore, the proposed project exceeds the parking requirement for the project site.

The project requires a modification of the existing conditional use permit for the driving range. Section 2-19-2 of the Irvine Zoning Ordinance establishes criteria to determine when a proposed modification is classified a “major modification” or “minor modification.” A major modification must be reviewed by the original approving authority at a public hearing. However, where none of the criteria are met, the application is a “minor modification” and reviewed by the Director of Community Development.

Based on the submittal, the Director of Community Development has determined that the proposed modification does not meet any of the five criteria to be classified as a major modification. Therefore, the project is a minor modification for the following reasons:

1. Proposed addition, deletion, and/or relocation of approved structures, and/or land uses, which would cause significant or potentially significant environmental impacts, based on staff’s analysis prepared in accordance with City policy.

The proposal to remove two short-game areas and one practice putting green from the southern portion of the property to expand the existing parking lot at the Rancho San Joaquin Driving Range will not cause significant or potentially significant environmental impacts as it is located at the site of an existing driving range. Pursuant to Article 19 of the State of California Environmental Quality Act (CEQA) Guidelines, the project is categorically exempt from the requirements of CEQA, per Section 15311 (Class 11), Accessory Structures, as it involves the construction of a small parking lot expansion on an existing developed site and is not subject to any of the exceptions provided in CEQA Guidelines Section 15300.2.

2. Proposed addition, deletion, and/or relocation of approved structures and/or land uses, which would cause significant or potentially significant on-site and off-site traffic impacts, based on staff's analysis of the transportation issues prepared in accordance with City policy.

The proposal to remove two short-game areas and one practice putting green from the southern portion of the property to expand the existing parking lot at the Rancho San Joaquin Driving Range will not cause significant or potentially significant on-site or off-site traffic impacts based on staff's review of the project. The proposed parking lot expansion is designed to address existing parking demand by providing additional spaces on the project site. With expansion, the project site will provide a total of 159 parking spaces, resulting in a surplus of 91 spaces beyond the required minimum. As a result, the project will exceed the City's parking requirements and is not expected to cause significant or potentially significant impacts related to on-site or off-site traffic.

3. The intent of the findings and conditions of approval for the original project would not be preserved.

According to the Irvine Zoning Ordinance, a golf course or driving range is "a tract of land used for playing golf, usually improved with tees, greens, fairways, hazards and accessory uses such as but not limited to driving range, clubhouse, food service, maintenance buildings, pro shop, meeting rooms and tee box shelters." The project site was approved as a public driving range, and the proposed parking lot expansion is consistent with the original approval. Therefore, the proposed modification will not affect the original findings and conditions of approval of Conditional Use Permit 77-CP-0111.

4. Proposed addition, deletion, and/or relocation of approved structures and/or land uses which would result in an impact to, or introduction of sensitive issues not previously considered within the site. This includes, but is not limited to, uses such as childcare centers, schools, residential areas, and medical establishments.

The proposed modification to the approved conditional use permit will not result in an impact to, or introduction of sensitive uses not previously considered with the original project approval. The project site has a zoning designation of 1.5 Recreation and has been approved as a public driving range. The proposal to remove two short-game areas and one practice putting green from the southern portion of the property to expand the existing parking lot at the Rancho San Joaquin Driving Range is consistent with the designated uses. The parking lot will introduce additional light fixtures mounted to poles, which will be designed to prevent glare onto nearby multi-family residential properties located to the north of the site across Michelson Drive. Therefore, the project would not result in the

introduction of features or structures affecting nearby sensitive uses.

5. Reconfiguration of the site plan resulting in: a) a significant reduction of landscaping; or b) a significant change in parking.

The proposed modification to the original approval will not result in any significant reduction in landscaping or any significant change in parking. The proposed parking lot expansion is designed to address existing parking demand by adding additional spaces to the project site. With the expansion, the site will provide a total of 159 parking spaces, resulting in a surplus of 91 spaces beyond the required minimum. Additionally, the proposed addition will not reduce the existing landscaping or remove existing trees on the project site and instead will plant 14 additional trees within the expanded parking area to comply with City landscaping requirements. Therefore, the project will not result in significant changes in parking or landscaping at the project site.

Based on the information submitted with this application, the Director of Community Development makes the following finding pursuant to Section 2-19-7 and hereby approves Minor Modification 00951354-PCPM.

1. The modification does not alter or affect the intent of the findings and conditions of the original project approval.

The findings or conditions of approval for the underlying site design will not be affected by the proposed modification because the proposed project does not result in a change of use, reduce parking below the applicable standard, cause a net loss of landscaping, or cause other significant changes that substantially alters the intent/purpose of the original approval. The project has been conditioned to comply with all applicable conditions of approval from the site design and subsequent modifications.

This approval is subject to the following conditions of approval:

Standard Condition 6.1

DISCRETIONARY CASE CHARGES

The applicant is responsible for paying all charges related to the processing of this discretionary case application within 30 days of the issuance of the final invoice or prior to the issuance of building permits for this project, whichever occurs first. Failure to pay all charges shall result in delays in the issuance of required permits or may result in the revocation of the approval of this application.

Standard Condition 6.2

LEGAL ACTION - HOLD HARMLESS

In accordance with the provisions of Section 5-5-114 of the Irvine Municipal Code and Government Code Section 66474.9, the applicant shall defend, indemnify, and hold harmless the City of Irvine and its agents, officers, and employees from and against any claim, action, or proceeding against the City agency or its agents, officers, or employees to attack, set aside, void, or annul an approval by the City, including, without limitation, an action by an advisory agency, appeal board, or legislative body concerning this discretionary approval. This defense and indemnification shall include the payment of all legal costs incurred on behalf of the City in connection with the application, and the defense of any claim, action or proceeding challenging the approval. The City will promptly notify the applicant of any claim, action, or proceeding and will cooperate fully in the defense.

In the event a legal challenge to the discretionary approval is successful, and an award of attorney fees is made to the challenger, the applicant shall be responsible to pay the full amount of such an award.

Condition 6.19

COMPLIANCE WITH PREVIOUS CONDITIONS

All applicable conditions of approval associated with the original approval (Conditional Use Permit 77-CP-0111) and subsequent modifications remain in full force for the project site. This project shall comply with all applicable conditions from the prior approval.

Unless an appeal is filed prior to the expiration of the five-business-day appeal period ending at 5 p.m. on Wednesday, September 17, 2025, the approval granted by this letter shall become effective Thursday, September 18, 2025.

The stamped-approved plans for Minor Modification 00951354-PCPM are being transmitted electronically along with this letter. Should you wish to obtain a hard copy of the stamped-approved plans, please drop off a set of plans at the Planning Counter. Please note that permits cannot be issued until all the fees associated with this application are paid in full.

Should you have any questions regarding this approval, please contact Senior Planner Hernan DeSantos at 949-724-6441 or by email at hdesantos@cityofirvine.org.

Sincerely,



Stephanie Frady, AICP
Director of Community Development

Mr. Hyung Jin Seo
September 10, 2025
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Enclosures:

1. Approved Stamped Plans – 00951354-PCPM
2. Notice of Exemption

ec: Alyssa Matheus, Planning Manager
Nick Melloni, Principal Planner
Files: 00951354-PCPM; 77-CP-0111

Rancho San Joaquin Driving Range Parking Expansion, Re-stripping,
and New Lightings

1 Ethel Coplen Way, Irvine CA 92612

City Resubmittal

May. 29th, 2025

SHEET INDEX

DATE ISSUED	DRAWING IN THIS ISSUE	REVISION NUMBER	COVER	SSDA
ARCHITECTURAL				
			A000	COVER
			A001	CITY OF IRVINE COVER SHEET
			A002.1	SPECIFICATIONS
			A002.2	SPECIFICATIONS
			A100	OVERALL SITE PLAN & DETAILS
			A100.1	PARTIAL SITE PLAN
			A101	PROPOSED SITE PLAN
			A111	DETAILS

PROJECT DIRECTORY

OWNER			
Rancho San Joaquin Golf Course			
1 Ethel Coplen Way, Irvine, CA 92612			
Tele: (949) 786-5522			
Contact:	Ryan Chang	E-mail:	d.chang@step28.com
ARCHITECT			
HACE INC			
2601 Walnut Ave., Suite E, Tustin, CA 92780			
Tele: (949) 892-9732			
Contact:	Hyung Jin Seo	E-mail:	hseo@haceinc.com

City of Irvine

APPROVED

BY

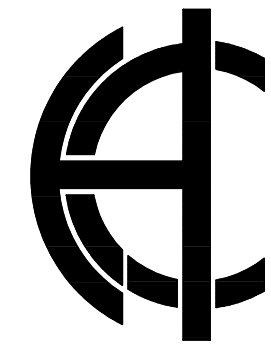
Director of Community Development

CASE #

00951354-PCPM

DATE

September 10, 2025



HACE INC, 2601 Walnut Ave., Suite E,
Tustin, CA 92780
T: 949.892.9732 E: hseo@haceinc.com

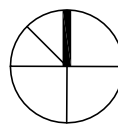


Rancho San Joaquin Driving Range
Parking Expansion
1 Ethel Coplen Way,
Irvine, CA 92612
Developed for Step Management Inc

Revision	Description	Date

Revision	Description	Date
	ADJUNCT SUBMITTAL/REDET	02/17/25

Key Plan N.T.S.



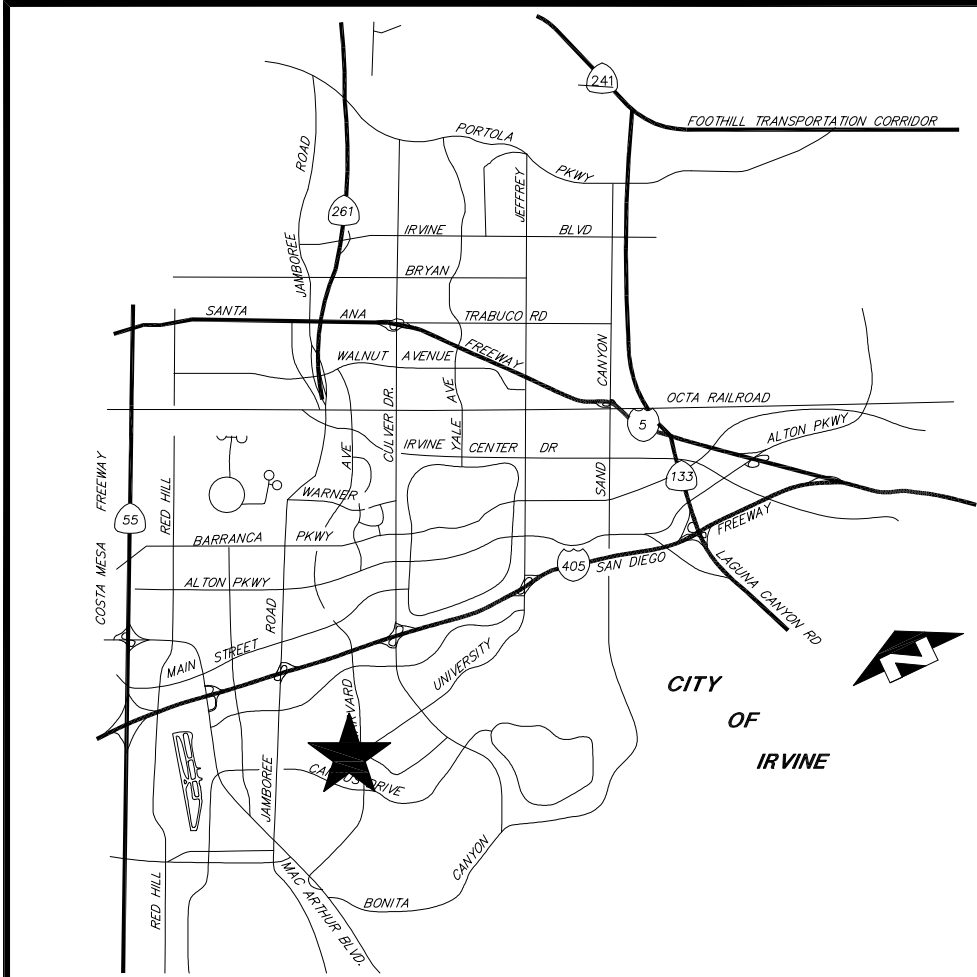
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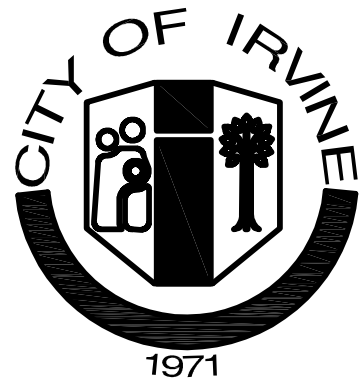
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00951354-PCPM



VICINITY MAP

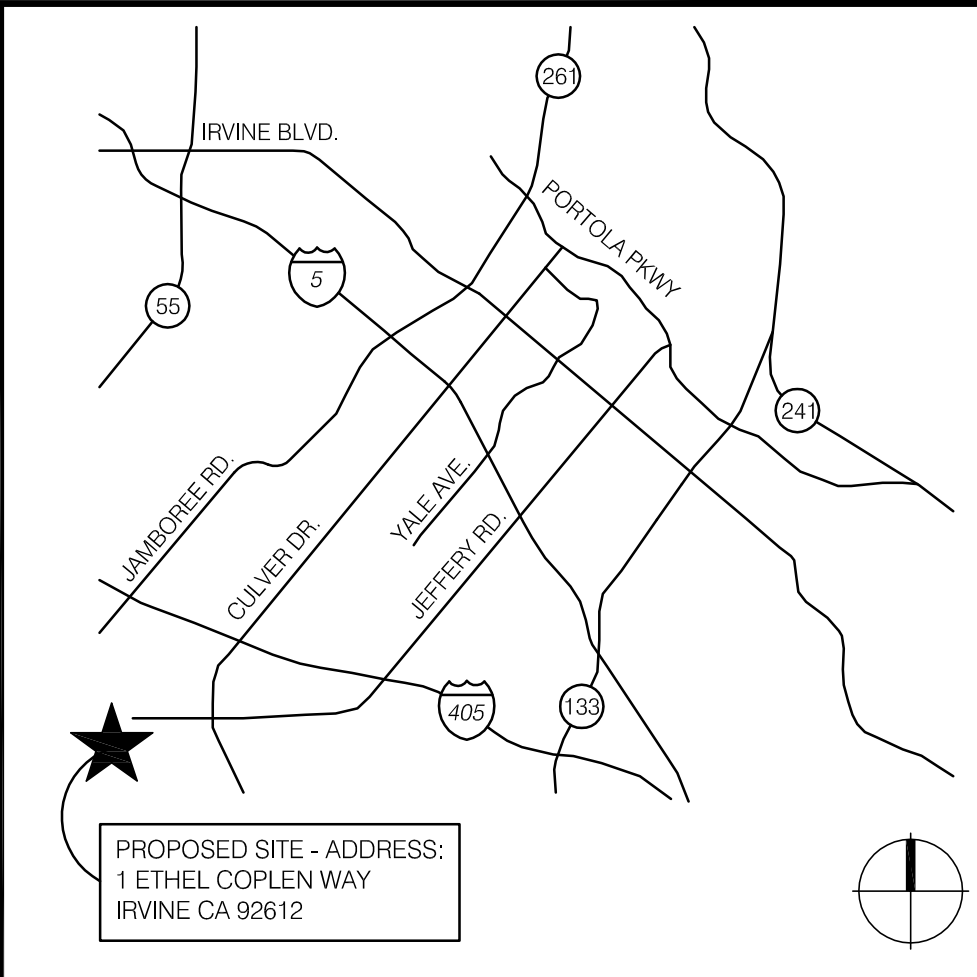
THE CITY OF IRVINE



BUILDING PLANS

NOTE: DESIGNER TO PROVIDE PROJECT SPECIFIC INPUT WHERE INDICATED BY INSTRUCTIONS IN BOLD AND BRACKETED BY THE FOLLOWING SYMBOL
◇

(VERSION 2022.0 EFFECTIVE JANUARY 2023)



LOCATION MAP

PROJECT INFORMATION

PROJECT LOCATION: 1 ETHEL COPLEN WAY, IRVINE, CA 92612

PROJECT DESCRIPTION: PARKING EXPANSION, RE-STRIPING, AND NEW LIGHTINGS. (19,010 SF.) THE PARKING LOT MODIFICATION IS BEING REVIEWED UNDER A SEPARATE SUBMITTAL.

SPECIAL CONDITIONS OF LAND USE APPROVAL: SPECIAL CONDITIONS RELATING TO THIS PROJECT ARE ESTABLISHED IN:

N/A

USE/OCCUPANCY/FLOOR AREA: NO CHANGE IN USE/OCCUPANCY/FLOOR AREA EXISTING: B (SHOP)

NUMBER OF STORIES: 1

MEZZANINES: N/A

TYPE OF CONSTRUCTION: V-B

FIRE RESISTANCE RATED ASSEMBLIES CONSTRUCTED OR ALTERED IN SCOPE OF WORK:

EXTERIOR WALLS: NO
FIRE WALLS: NO
FIRE BARRIERS: NO
FIRE PARTITIONS: NO
HORIZONTAL ASSEMBLIES: NO

AUTOMATIC FIRE SPRINKLERS: NO

NFPA 13: AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED UNDER SEPARATE APPROVAL THROUGH THE ORANGE COUNTY FIRE AUTHORITY. SPRINKLERS ARE PROVIDED TO COMPLY WITH THE CITY OF IRVINE MUNICIPAL CODE SECTION 5-9-401 FOR BUILDING HAVING A GROSS AREA EXCEEDING 5,000 SQUARE FEET.

ALLOWABLE HEIGHT/AREA ANALYSIS (CBC CHAPTER 5): NO CHANGES IN HEIGHT AND AREA

PARKING SUMMARY:

NUMBER OF EXISTING TEES = 68
TOTAL REQUIRED 68 STALLS

EXISTING TOTAL PARKING STALLS: 102
ADDED PARKING STALLS: 57
TOTAL PARKING PROVIDED: 159
ACCESSIBLE PARKING: 5
VAN ACCESSIBLE PARKING: 1

APPLICABLE STATE CODES (WITH CITY OF IRVINE AMENDMENTS):

CALIFORNIA BUILDING CODE 2022
CALIFORNIA ELECTRIC CODE 2022
CALIFORNIA MECHANICAL CODE 2022
CALIFORNIA PLUMBING CODE 2022
CALIFORNIA FIRE CODE 2022
CALIFORNIA ENERGY EFFICIENCY CODE 2022
CALIFORNIA GREEN BUILDING STANDARDS CODE 2022

WATER CONSERVING PLMB, FIXTURE VERIFICATION/RETROFIT

BUILDINGS FOR WHICH AN INITIAL FINAL INSPECTION WAS RECEIVED ON OR BEFORE JANUARY 1, 1994 SHALL COMPLY WITH THE CITY OF IRVINE'S INFORMATION BULLETIN # 321. WAS THE INITIAL FINAL INSPECTION ON THE PROPERTY UNDERGOING THE PROPOSED TENANT IMPROVEMENT RECEIVED PRIOR TO JANUARY 1, 1994:
N/A

CALIFORNIA GREEN BUILDING STANDARDS CODE

PROVISIONS OF THE CALIFORNIA GREEN BUILDING STANDARDS CODE APPLY TO ALL NEW LOW-RISE RESIDENTIAL BUILDINGS (THREE STORIES AND LESS INCLUDING HOTELS AND MOTELS) AND ALL NON-RESIDENTIAL TENANT IMPROVEMENT WITH VALUATION EQUAL OR GREATER THAN \$200,000 AND ADDITIONS EQUAL OR GREATER THAN 1,000 SQUARE FEET.
N/A

CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS

PROVISIONS OF THE CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARD APPLY TO THIS PROJECT.
N/A

SPECIAL INSPECTION AND STRUCTURAL OBSERVATION

N/A

CITY OF IRVINE MUNICIPAL CODE

(NOTE: COMPLETE IMC TEXT IS AVAILABLE ON THE INTERNET AT WWW.MUNICODE.COM) THE DESIGN AND CONSTRUCTION OF THIS PROJECT SHALL COMPLY WITH ALL APPLICABLE IRVINE MUNICIPAL CODE PROVISIONS INCLUDING BUT NOT LIMITED TO:

CONSTRUCTION WORK HOURS [IMC SECT. 6-8-205]

MON-FRI 7 AM TO 7 PM
SAT 9 AM TO 6 PM
NO WORK ON SUNDAYS OR FEDERAL HOLIDAYS

SECURITY DESIGN STANDARDS [IMC SECT. 5-9-517 AND 5-9-528]

ROOFING [IMC 5-9-401 F. & 5-9-402 M.]

ROOF COVERING CLASSIFICATION SHALL MEET MINIMUM CLASS A.

ATTIC AND UNDERFLOOR VENT COVERS [IMC 5-9-401 E. & 5-9-402 K.]

ROOF AND UNDERFLOOR VENT OPENINGS SHALL BE COVERED WITH NON-COMBUSTIBLE, CORROSION RESISTANT, METAL WIRE MESH OR OTHER MATERIALS HAVING OPENINGS OF 1/16 INCH MINIMUM TO 1/8 INCH MAXIMUM. (CBC 706A.2) SEE DETAIL
<N/A>

OFF-SITE FABRICATION

ALL OFF-SITE FABRICATION OF STRUCTURAL STEEL COMPONENTS INCLUDING STEEL STAIRS AND PRE-CAST CONCRETE SHALL BE DONE IN AN APPROVED FABRICATOR SHOP AS REQUIRED BY CITY OF IRVINE INFORMATION BULLETIN NO. 311. SEE BULLETIN FOR DETAILS AND REQUIRED DOCUMENTATION REQUIRED AT THE RECEIPT OF ANY SHIPMENT OF OFF-SITE FABRICATED ITEMS.

PRE-CONSTRUCTION MEETING REQUIREMENT

ALL CONSTRUCTION PROJECTS INVOLVING ADDITIONS TO NON-RESIDENTIAL STRUCTURES AND PARKING LOT MODIFICATIONS SHALL NOT COMMENCE UNTIL A PRE-CONSTRUCTION MEETING HAS BEEN HELD. THESE MEETINGS, WHILE NOT REQUIRED BY CITY CODE FOR TENANT IMPROVEMENTS NOT ADDING AREA, ARE BENEFICIAL FOR MAJOR TENANT IMPROVEMENTS OR ANY RESTAURANT INSTALLATIONS. TO SCHEDULE A PRE-CONSTRUCTION MEETING CONTACT COMMERCIAL BUILDING INSPECTOR SUPERVISOR AT (949) 724-6139 FOR BUILDING INSPECTIONS AND GRADING INSPECTOR SUPERVISOR AT (949) 724-6329 FOR PARKING LOT MODIFICATIONS INSPECTIONS.

DEFERRED SUBMITTALS

THIS PROJECT HAS BEEN PERMITTED WITHOUT REVIEW AND/OR APPROVAL OF THE FOLLOWING DEFERRED SUBMITTALS. PLANS APPROVED BY THE CITY SHALL BE OBTAINED FOR EACH DEFERRED ITEM LISTED BELOW PRIOR TO COMMENCING ANY WORK WITHIN THE SCOPE OF SUCH DEFERRAL. DEFERRALS MUST BE REVIEWED AND ACCEPTED BY THE ARCHITECT OR ENGINEER OF RECORD PRIOR TO SUBMITTING FOR REVIEW WITH THE CITY.

FIRE PROTECTION

FIRE ALARM

ADDITIONS AND ALTERATIONS:

PRIOR TO USE, OCCUPANCY OR FINAL INSPECTION, EXISTING OR RETROFITTED ADDRESSING MEETING THE HEIGHT, CONTRAST AND FONT REQUIREMENTS OF SECTION 5-9-517 ITEM L OF THE CITY OF IRVINE MUNICIPAL CODE SHALL BE VERIFIED BY THE CITY INSPECTOR.

CONTRACTOR SHALL RESTORE ALL ORIGINAL AND REQUIRED FIRE PROTECTION ON STRUCTURAL ELEMENTS AND RATED ASSEMBLIES.

PRIOR TO FINAL INSPECTION, THE OPENING FORCE FOR DOORS SERVING THE DESIGNATED ACCESSIBLE PATH OF TRAVEL SHALL BE VERIFIED TO COMPLY WITH CBC 11B-404.2.9. POWERED EXTERIOR DOORS, PER EXCEPTION 2, SERVING A SPACE WITH AN OCCUPANCY OF 150 OR MORE ARE REQUIRED TO BE EQUIPPED WITH BACK-UP POWER.

FIRE DEPARTMENT NOTES:

- FOR ASSISTANCE WITH FIRE-RELATED PLAN REVIEW ISSUES OR TECHNICAL QUESTIONS, PLEASE CALL (714) 573-6108. FOR FIRE-RELATED INSPECTION QUESTIONS OR ISSUES, PLEASE CONTACT YOUR OCFA INSPECTOR DIRECTLY OR OCFA INSPECTION SCHEDULING AT (714) 573-6150 FOR ASSISTANCE.
- THE PROJECT SHALL COMPLY WITH THE CURRENTLY ADOPTED CALIFORNIA BUILDING CODE, CALIFORNIA FIRE CODE, AND OTHER CODES, STANDARDS, REGULATIONS AND REQUIREMENTS AS ENFORCED BY THE ORANGE COUNTY FIRE AUTHORITY. APPROVAL OF THESE PLANS SHALL NOT PERMIT THE VIOLATION OF ANY CODE OR LAW.
- FOR PROJECTS INVOLVING NEW STRUCTURES, ADDITIONS TO EXISTING STRUCTURES, INSTALLATION OF GATES/WALLS/FENCES, OR ALTERATION OF VEHICULAR ACCESS, A FIRE MASTER PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE OCFA PRIOR TO SUBMITTAL OF ARCHITECTURAL PLANS. AN APPROVED FIRE MASTER PLAN SHALL BE SUBMITTED WITH THE ARCHITECTURAL PLANS.
- ALL WEATHER FIRE ACCESS ROADS SHALL BE APPROVED BY THE OCFA AND BE IN PLACE BEFORE ANY COMBUSTIBLE MATERIALS ARE PLACED ON THE SITE. ACCESS ROADS SHALL BE MAINTAINED CLEAR OF OBSTRUCTIONS DURING AND AFTER CONSTRUCTION.
- ADDRESS NUMBERS SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS, BE A MINIMUM SIX INCHES HIGH, CONTRAST WITH THEIR BACKGROUND, AND BE PLAINLY VISIBLE FROM THE ROADWAY THE BUILDING IS ADDRESSED ON OR AS OTHERWISE ALLOWED BY OCFA GUIDELINE 8-09.
- BUILDINGS UNDER CONSTRUCTION OR DEMOLITION SHALL CONFORM TO CFC CHAPTER 33. NO SMOKING OR COOKING IS ALLOWED IN STRUCTURES WHERE COMBUSTIBLE MATERIALS ARE EXPOSED OR WITHIN 25' OF COMBUSTIBLE MATERIALS STORAGE AREAS. CUTTING, WELDING, OR OTHER HOT WORK SHALL BE IN CONFORMANCE WITH CFC CHAPTER 33.

- LOCATIONS AND CLASSIFICATIONS OF EXTINGUISHERS SHALL BE IN ACCORDANCE WITH THE CFC AND CCR TITLE 19. AT LEAST ONE EXTINGUISHER SHALL BE PROVIDED DURING CONSTRUCTION ON EACH FLOOR AT EACH STAIRWAY, IN EACH STORAGE AND CONSTRUCTION SHED. IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED, OR WHERE SIMILAR HAZARDS ARE PRESENT, BEFORE FINAL OCCUPANCY, AT LEAST ONE 2A:10B:C EXTINGUISHER SHALL BE PROVIDED SO THAT NO POINT IS MORE THAN 75' TRAVEL DISTANCE FROM THE EXTINGUISHER. EXTINGUISHERS SHALL BE LOCATED ALONG THE PATH OF EGRESS TRAVEL AND IN A READILY VISIBLE AND ACCESSIBLE LOCATION, WITH THE BOTTOM OF THE EXTINGUISHER AT LEAST 4" ABOVE THE FLOOR. ADDITIONAL EXTINGUISHERS MAY BE REQUIRED BY THE INSPECTOR AND FINAL PLACEMENT IS SUBJECT TO APPROVAL.

- WALL, FLOOR AND CEILING FINISHES AND DECORATIVE MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS IN CBC/CFC CHAPTER 8. DECORATIVE MATERIALS SHALL BE PROPERLY TREATED BY A PRODUCT OR PROCESS APPROVED BY THE STATE FIRE MARSHAL. SUCH ITEMS SHALL BE APPROVED AND INSPECTED PRIOR TO INSTALLATION.

- KNOX BOXES/KEY CABINETS SHALL BE PROVIDED FOR ALL POOL ENCLOSURES, GATES IN THE PATH OF FIREFIGHTER TRAVEL TO STRUCTURES, SECURED PARKING LEVELS, DOORS GIVING ACCESS TO ALARM PANELS AND/OR ANNUNCIATORS, AND ANY OTHER STRUCTURES OR AREAS WHERE IMMEDIATE ACCESS IS REQUIRED OR IS UNDULY DIFFICULT.

- DUMPSTERS AND TRASH CONTAINERS EXCEEDING 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVE LINES UNLESS PROTECTED BY AN APPROVED SPRINKLER SYSTEM OR LOCATED IN A TYPE I OR IIA STRUCTURE SEPARATED BY 10 FEET FROM OTHER STRUCTURES. CONTAINERS LARGER THAN 1 CUBIC YARD SHALL BE OF NON- OR LIMITED-COMBUSTIBLE MATERIALS OR SIMILARLY PROTECTED OR SEPARATED. CFC 304.3

- EXITS, EXIT SIGNS, FIRE ALARM PANELS, HOSE CABINETS, FIRE EXTINGUISHER LOCATIONS, AND STANDPIPE CONNECTIONS SHALL NOT BE CONCEALED BY CURTAINS, MIRRORS, OR OTHER DECORATIVE MATERIAL. THE EGRESS PATH SHALL REMAIN FREE AND CLEAR OF ALL OBSTRUCTIONS AT ALL TIMES. NO STORAGE IS PERMITTED IN AISLES.

- EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. DOORS SHALL NOT BE PROVIDED WITH THUMB-TURN LOCKS OR DEADBOLTS THAT DO NOT UNLATCH IN TANDEM WITH THE NORMAL OPERATING LEVER. RATED DOORS SHALL BE SELF-CLOSING AND LATCHING; SUCH DOORS SHALL NOT BE EQUIPPED WITH DOOR STOPS OR OTHERWISE PROPPED OPEN.

- SPRINKLER AND ALARM SYSTEMS SHALL BE PROVIDED WHEN REQUIRED BY CBC/CFC CHAPTER 9 AND LOCAL ORDINANCE. IN STRUCTURES OF UNDETERMINED USE, THE MINIMUM FIRE SPRINKLER DESIGN DENSITY REQUIRED SHALL BE ORDINARY HAZARD (GROUP 2) WITH A DESIGN AREA OF 3000 SQUARE FEET.

- EXISTING SPRINKLER AND ALARM SYSTEMS IN SPACES UNDERGOING REMODELING SHALL BE EVALUATED BY A LICENSED CONTRACTOR KNOWLEDGEABLE IN SUCH SYSTEMS TO DETERMINE WHETHER CHANGES WILL BE NECESSARY TO MAINTAIN THESE SYSTEMS IN CONFORMANCE WITH APPLICABLE STANDARDS. IF MODIFICATIONS ARE NECESSARY, PLANS SHALL BE SUBMITTED TO THE OCFA FOR REVIEW AND APPROVAL PRIOR TO MODIFICATION OF THE SYSTEM. SPRINKLER AND ALARM SYSTEMS SHALL BE SUPERVISED BY A UL-LISTED CENTRAL ALARM STATION.

- WHERE COMMERCIAL-TYPE FOOD HEATING OR COOKING EQUIPMENT THAT PRODUCES GREASE-LADEN VAPORS IS PRESENT, AN AUTOMATIC EXTINGUISHING SYSTEM SHALL BE PROVIDED AND SHALL COMPLY WITH CFC, CMC, AND NFPA 17A. REVIEW AND APPROVAL OF A HOOD AND DUCT EXTINGUISHING SYSTEM PLAN BY THE OCFA IS REQUIRED PRIOR TO INSTALLATION, MODIFICATION, REARRANGEMENT, OR USE OF COOKING EQUIPMENT

- HAZARDOUS MATERIALS EQUIPMENT, PROCESSES, STORAGE, DISPENSING, OR USE SHALL COMPLY WITH CBC AND CFC REGULATIONS AND SHALL BE REVIEWED AND APPROVED BY THE OCFA PRIOR TO SUCH MATERIALS OR EQUIPMENT BEING BROUGHT ON SITE.

- STORAGE AREAS GREATER THAN 500 SQ.FT. WITH HIGH HAZARD MATERIALS STORED HIGHER THAN SIX FEET AND OTHER MATERIALS STORED HIGHER THAN TWELVE FEET ARE NOT PERMITTED WITHOUT FIRST SUBMITTING PLANS TO AND OBTAINING APPROVAL FROM THE OCFA.

- A NEW HVAC UNIT EXCEEDING A 2,000 CFM CAPACITY SHALL BE PROVIDED WITH A DUCT SMOKE DETECTOR. THIS DETECTOR SHALL SHUT DOWN ONLY THE AFFECTED INDIVIDUAL HVAC UNIT UPON SMOKE DETECTION. THIS DETECTOR MUST ALSO BE INTERFACED TO AN EXISTING FIRE ALARM SYSTEM. THE DETECTOR SHALL ONLY PROVIDE A SUPERVISORY SIGNAL AT THE FIRE ALARM PANEL UPON SMOKE DETECTION.

SHEET INDEX:

SEE SHEET A000 FOR SHEET INDEX.

STORM WATER POLLUTION PREVENTION NOTES

STORMWATER POLLUTION PREVENTION DEVICES AND PRACTICES SHALL BE INSTALLED AND/OR INSTITUTED AS NECESSARY TO ENSURE COMPLIANCE TO THE CITY OF IRVINE WATER QUALITY STANDARDS CONTAINED IN CHAPTER 3, WATER, OF DIVISION 8 OF TITLE 6 OF THE IRVINE MUNICIPAL CODE AND ANY EROSION CONTROL PLAN ASSOCIATED WITH THIS PROJECT. ALL SUCH DEVICES AND PRACTICES SHALL BE MAINTAINED, INSPECTED AND/OR MONITORED TO ENSURE ADEQUACY AND PROPER FUNCTION THROUGHOUT THE DURATION OF THE CONSTRUCTION PROJECT.

COMPLIANCE TO THE WATER QUALITY STANDARDS AND ANY EROSION AND SEDIMENT CONTROL PLAN ASSOCIATED WITH THIS PROJECT INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING REQUIREMENTS:

- AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROL MEASURES (BMPs) SHALL BE IMPLEMENTED TO PROTECT THE EXPOSED PORTIONS OF THE SITE FROM EROSION AND TO PREVENT SEDIMENT DISCHARGES.

- SEDIMENTS AND OTHER POLLUTANTS SHALL BE RETAINED ON SITE UNTIL PROPERLY DISPOSED OF, AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS SHALL BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND AND WATER FLOW.

- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS SHALL BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM, NOR BE ALLOWED TO SETTLE OR INFILTRATE INTO SOIL.

- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTES.

- TRASH AND CONSTRUCTION SOLID WASTES SHALL BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.

- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICULAR TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITS SHALL BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.

- STORMWATER POLLUTION PREVENTION DEVICES AND/OR PRACTICES SHALL BE MODIFIED AS NEEDED AS THE PROJECT PROGRESSES TO ENSURE EFFECTIVENESS.

SHOPPING CART COMPLIANCE:

<N/A>

EPA RENOVATION, REPAIR, AND PAINTING (RRP) RULE:

EPA REGULATIONS REQUIRE THAT ANY CONTRACTOR OR MAINTENANCE STAFF WHO DISTURBS LEAD-BASED PAINT IN A PRE-1978 RESIDENCE OR CHILD-CARE FACILITY MUST BE LEAD-SAFE CERTIFIED AND TRAINED IN LEAD-SAFE WORK PRACTICES.

RECYCLING:

CONSTRUCTION WASTE MATERIAL SHALL BE RECYCLED PER APPROVED CONSTRUCTION WASTE REDUCTION COMPLIANCE REPORT.

SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT ADVISORY:

SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) RULE 1403 GOVERNS WORK PRACTICE REQUIREMENTS FOR ASBESTOS IN ALL RENOVATION AND DEMOLITION ACTIVITIES. PLEASE REFER TO RULE 1403 (HTTP://WWW.AQMD.GOV/DOCS/DEFAULT-SOURCE/RULE-BOOK/REG-XIV/RULE-1403.PDF) FOR ALL CURRENT REQUIREMENTS.

CALIFORNIA HEALTH AND SAFETY CODE 19827.5 REQUIRES THAT EVIDENCE OF DEMOLITION NOTIFICATION SUBMITTED TO THE SOUTH COAST AQMD BE PROVIDED TO CITY OF IRVINE BUILDING AND SAFETY PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT INCLUDING DEMOLITION WORK.

ACCESSIBILITY COMPLIANCE:

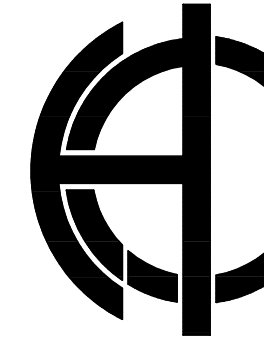
CALIFORNIA BUILDING CODE, CHAPTER 11B REQUIRES COMPLIANCE WITH ALL PATH OF TRAVEL REQUIREMENTS. IS THE PROFESSIONAL OF RECORD USING CODE EXCEPTIONS FOR COMPLIANCES
<NO>

City of Irvine
APPROVED

BY _____
Director of Community Development

CASE # _____
00951354-PCPM

DATE _____
September 10, 2025



HACENC, 2601 Walnut Ave., Suite E
Irvine, CA 92618
714.918.2732 E. hase@hacenc.com



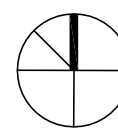
Rancho San Joaquin Driving Range
Parking Expansion
1 Ethel Coplen Way,
Irvine, CA 92612

Developed for Step Management Inc

Revision	Description	Date

Revision	Description	Date

Key Plan N.T.S.



Date	Drawn By

Project Numbers	Checked By
202201.01	

Sheet Title

CITY OF IRVINE
COVER SHEET

Sheet Number

A001

00951354-PCPM

1.0 GENERAL CONDITIONS

- 1.1 THE DRAWINGS SHOW GENERAL INFORMATION ONLY. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS OR DISCREPANCIES REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH WORK OR RELATED WORK IN QUESTION.
- 1.2 THE GENERAL CONTRACTOR SHALL INFORM THE ARCHITECT OF ANY CONFLICTS PRIOR TO CONSTRUCTION THAT EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, LIGHTING, PLUMBING AND SPRINKLER EQUIPMENT (TO INCLUDE ALL PIPING, DUCT WORK AND CONDUIT) AND THAT ALL REQUIRED CLEARANCE FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED.
- 1.3 THE PRESENCE OF THE ARCHITECT ON THE JOB SITE DOES NOT IMPLY THE CONCURRENCE OR APPROVAL OF WORK. THE GENERAL CONTRACTOR WILL CALL SPECIFIC ITEMS TO THE ATTENTION OF THE DESIGNER'S PROJECT MANAGER IF HE/SHE WISHES TO OBTAIN APPROVAL.
- 1.4 THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL PURCHASE AND MAINTAIN CERTIFICATIONS OF INSURANCE WITH RESPECT TO WORKMAN'S COMPENSATION, PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE LIMITS AS REQUIRED BY LAW. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DRAINING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK IN THIS PROJECT.
- 1.5 PRIOR TO BEGINNING ANY WORK, THE GENERAL CONTRACTOR SHALL FURNISH A CONSTRUCTION SCHEDULE SHOWING THE CHRONOLOGICAL PHASES OF HIS WORK, AND ALL RELATED WORK FOR THAT OF THE PROJECT. THIS SCHEDULE SHALL INDICATE ALL ORDERING LEAD TIMES, LENGTH OF TIME FOR EACH PHASE (AS APPLICABLE), ITS START AND COMPLETION, WITH A PROJECTED COMPLETION DATE.
- 1.6 ALL WORK PERFORMED BY THE CONTRACTOR/SUBCONTRACTORS SHALL CONFORM TO THE REQUIREMENTS OF MUNICIPAL, LOCAL, FEDERAL AND STATE LAWS, AS WELL AS OTHER GOVERNING REQUIREMENTS, WHETHER OR NOT SPECIFIED ON THE DRAWINGS.
- 1.7 WHERE THE CONTRACT, NOTES, OR DRAWINGS CALL FOR ANY WORK OF A MORE STRINGENT NATURE THAN THAT REQUIRED BY THE BUILDING CODE OR ANY OTHER DEPARTMENT HAVING JURISDICTION OVER THE WORK, THE WORK OF THE MORE STRINGENT NATURE CALLED FOR BY THE CONTRACT, CONSTRUCTION NOTES OR DRAWINGS SHALL BE FURNISHED IN ALL CASES. THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE REMOVAL, REPLACEMENT AND RESTORATION OF ALL DAMAGED AND DEFECTIVE MATERIAL AND WORKMANSHIP IN CONNECTION WITH THE CONTRACT WORK. HE SHALL REPLACE OR REPAIR AS DIRECTED ALL SUCH DAMAGED OR DEFECTIVE MATERIALS WITHIN A PERIOD OF FIVE (5) BUSINESS DAYS FROM THE DATE OF SUBSTANTIAL COMPLETION, UNLESS OTHERWISE AGREED UPON IN WRITING BY OWNER.
- 1.9 THE CONTRACTOR/SUBCONTRACTORS SHALL OBTAIN AND PAY FOR ALL LEGALLY REQUIRED APPROVALS AND PERMITS NECESSARY FOR THE EXECUTION AND COMPLETION OF HIS WORK.
- 1.10 ALL DRAWINGS AND ALL CONSTRUCTION NOTES ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY EITHER, WILL BE BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY ONE SET OF DRAWINGS SHALL BE PROVIDED AS THOUGH SHOWN ON ALL RELATED DRAWINGS.
- 1.11 THE GENERAL CONTRACTOR IS WHOLLY RESPONSIBLE FOR THE COORDINATION AND SCHEDULING OF THE WORK EFFORT FOR ALL SUBCONTRACTORS, CRAFTSMEN AND TRADESMEN REQUIRED TO COMPLETE THE JOB.
- 1.12 THE GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY IF HE CANNOT COMPLY WITH ALL WORK CALLED FOR ON THESE DRAWINGS.
- 1.13 THE GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF DISCREPANCIES OR OMISSIONS BETWEEN THE DRAWINGS, THESE NOTES, AND FIELD CONDITIONS BEFORE COMMENCING ANY WORK AND REQUEST FOR CLARIFICATION.
- 1.14 BEFORE SUBMITTING A FINAL PRICING, ALL CONTRACTORS SHALL VISIT THE PREMISES, FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF THE WORK AND THE DIFFICULTIES THAT ATTEND ITS EXECUTION.
- 1.15 THE SUBMISSION OF A PROPOSAL SHALL BE CONSTRUED AS EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE. LATER CLAIMS FOR LABOR, EQUIPMENT, OR MATERIAL REQUIRED DUE TO DIFFICULTIES ENCOUNTERED, WHICH COULD HAVE BEEN FORESEEN HAD SUCH AN EXAMINATION BEEN MADE, WILL NOT BE RECOGNIZED.
- 1.16 EACH CONTRACTOR AND SUBCONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AS IT RELATES TO THEIR WORK AND NOTIFY THE ARCHITECT/OWNER IF THERE ARE OBSTRUCTIONS, AND WORK CANNOT BE ACCOMPLISHED AS REFLECTED IN THE CONTRACT DOCUMENTS. CONTRACTOR / SUBCONTRACTORS SHALL OBTAIN CLARIFICATION / DIRECTIVE FROM THE ARCHITECT / OWNER PRIOR TO THE START OF ANY WORK.
- 1.17 THE GENERAL CONTRACTOR AND THE SUBCONTRACTORS INVOLVED IN THIS PROJECT SHALL TAKE NOTE THAT ANY COST CAUSED BY DEFECTIVE OR ILL-TIMED WORK, AS A RESULT OF, BUT NOT LIMITED TO INFERIOR WORKMANSHIP OR MATERIALS, IMPROPER SCHEDULING OR DELINQUENT ORDERING SHALL BE BORNE BY THE PARTY RESPONSIBLE.
- 1.18 WITH SUBMISSION OF FINAL PRICING, THE GENERAL CONTRACTOR SHALL ALSO SUBMIT A LIST OF LONG LEAD TIME ITEMS THAT PREVENT COMPLETION OF THE PROJECT BY PROJECTED MOVE-IN DATE. WHERE SPECIAL ITEMS REQUIRE EXTENDED LEAD TIME PREVENTING INSTALLATION BY PROJECTED MOVE-IN DATE, CONTRACTOR IS TO PROPOSE AN AVAILABLE ALTERNATE FOR APPROVAL BY OWNER AND TENANT, AS WELL AS, TO PREPARE PRICING FOR POSSIBLE TEMPORARY ASSEMBLIES.
- 1.19 THE USE OF THE WORDS "PROVIDE" OR "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED, IS INTENDED TO MEAN, UNLESS OTHERWISE NOTED, THAT WHICH SHALL BE FURNISHED AND INSTALLED AND CONNECTED WHERE SO REQUIRED.
- 1.20 WHERE THE TERMS "APPROVED EQUAL," "EQUAL TO," "ACCEPTABLE" OR THE OTHER GENERAL QUALIFYING TERMS ARE USED IN THESE NOTES, IT SHALL BE UNDERSTOOD THAT REFERENCE IS MADE TO THE RULING AND JUDGMENT OF ARCHITECT.
- 1.21 THE GENERAL CONTRACTOR SHALL HAVE FIVE (5) WORKING DAYS FROM AWARD OF THE CONTRACT TO SUBMIT ANY "OR EQUAL" SUBSTITUTIONS FOR SPECIFIED PRODUCTS OR WORK FOR REVIEW BY ARCHITECT. HE SHALL INCLUDE CUT SHEETS WITH SPECIFICATIONS AND REASONS FOR SUBSTITUTION. ARCHITECT SHALL RESPOND IN FIVE (5) WORKING DAYS TO SUBMITTAL. NO SUBSTITUTIONS SHALL BE ACCEPTED AFTER THE INITIAL TEN (10) DAY TIME LIMIT HAS PASSED.
- 1.22 ALL WOODWORK BLOCKING, ETC., TO BE FIRE RETARDANT TREATED, AS REQUIRED BY CODE.
- 1.23 THE GENERAL CONTRACTOR SHALL EXERCISE STRICT DUST CONTAINMENT CONTROL OVER JOB TO PREVENT DIRT OR DUST FROM LEAVING THE JOBSITE.
- 1.24 THE GENERAL CONTRACTOR SHALL INCLUDE IN HIS ESTIMATE ALL COSTS (INCLUDING OVERTIME WORK) FOR REMOVAL, NEW INSTALLATION AND REINSTALLATION WORK FOR ALL REQUIRED WORK WITHIN THE CEILING PLENUM.
- 1.25 ALL EXISTING FIXTURES NOT BEING REMOVED SHALL BE REFURBISHED WHERE REQUIRED, ALL LOOSE ITEMS TIGHTENED (LIGHT FIXTURES, EXT SIGNS, ETC.) AND ALL MISSING PARTS REPLACED BY THE GENERAL CONTRACTOR TO ACHIEVE A FINISHED INSTALLATION AND APPEARANCE.
- 1.26 THE CONSTRUCTION NOTES AND/OR DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN INTENT AND THE GENERAL TYPE OF CONSTRUCTION DESIRED, AND ARE INTENDED TO APPLY TO THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.
- 1.27 THE GENERAL CONTRACTOR SHALL MAINTAIN A COMPLETE, CURRENT AND APPROVED SET OF CONSTRUCTION DRAWINGS AND BUILDING PERMIT ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES.
- 1.28 THE GENERAL CONTRACTOR SHALL SET THAT ALL SUBCONTRACTORS RECEIVE COMPLETE AND UPDATED SETS OF WORKING DRAWINGS AND ASSUME FULL RESPONSIBILITY FOR COORDINATION OF WORK.
- 1.29 THE GENERAL CONTRACTOR UPON AWARD OF THE CONTRACT FOR CONSTRUCTION, ASSUMES FULL RESPONSIBILITY FOR THE CONSTRUCTION, MATERIALS, AND WORKMANSHIP OF THE WORK DESCRIBED IN THESE NOTES AND DRAWINGS.
- 1.30 ALL REQUIRED EXITS, WAYS OF APPROACH THERETO, AND WAYS OF TRAVEL FROM THE EXIT INTO THE STREET SHALL CONTINUOUSLY BE MAINTAINED FREE FROM ALL OBSTRUCTIONS AND IMPEDIMENTS FOR UNOBSTRUCTED EGRESS IN THE CASE OF FIRE OR OTHER EMERGENCY.
- 1.31 DURING THE ENTIRE PERIOD OF DEMOLITION AND CONSTRUCTION, ALL EXISTING EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS SHALL BE CONTINUOUSLY MAINTAINED.
- 1.32 THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL FIRE EXTINGUISHERS AS REQUIRED BY FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) AND THE FIRE AUTHORITY REGULATIONS.
- 1.33 THE GENERAL CONTRACTOR SHALL REPLACE ANY BROKEN OR CRACKED WINDOW GLAZING.
- 1.34 THE GENERAL CONTRACTOR SHALL VERIFY SIZE, ELECTRICAL REQUIREMENTS, LOCATION AND CHARACTERISTICS OF ALL WORK AND/OR EQUIPMENT SUPPLIED BY THE OWNER OR TENANT, WITH THE MANUFACTURER OR SUPPLIER PRIOR TO THE START OF RELATED WORK.
- 1.35 THE GENERAL CONTRACTOR SHALL SUBMIT ALL APPLICATIONS FOR PAYMENT TO THE OWNER FOR REVIEW AND APPROVAL.
- 1.36 THE CONTRACTOR DOES NOT HAVE UNLIMITE ACCESS TO THE WORK AREA. CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT, CONSULTANTS, UTILITY WORKERS AND OTHER CONTRACTORS AS NEEDED TO ALLOW FOR THE PROGRESS OF WORK.
- 1.37 THE ARCHITECT HAS MADE EVERY EFFORT TO DESIGN THIS SPACE PLAN IN CONFORMANCE WITH CURRENT CALIFORNIA BUILDING CODES. HOWEVER, DUE TO THE UNPREDICTABILITY OF FINAL CODE INTERPRETATION BY THE CITY AND COUNTY BUILDING DEPARTMENT OFFICIALS, THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CHANGES OR ADDITIONAL REQUIREMENTS TO THE WORKING DRAWINGS MADE BY THE BUILDING DEPARTMENT IN ORDER TO SECURE THE PERMIT OR ANY SUBSEQUENT FIELD CHANGES REQUIRED BY THE FIELD INSPECTOR DURING THE CONSTRUCTION OF THE PROJECT.
- 1.38 THE DRAWINGS AND CONCEPTS SUBMITTED HEREWITH, U.O.N. ARE PROVIDED FOR USE REGARDING INTERIOR DESIGN, SPACE PLANNING AND COLOR SUGGESTIONS ONLY. STATEMENTS OF DESIGN AND INTENT CONTAINED HEREON DO NOT CONSIDER THE STRUCTURAL OR ENGINEERING SOUNDNESS OF ANY SUCH SUGGESTIONS OR IDEAS SUGGESTED.
- 1.39 ADDITIONALLY, U.O.N. THERE HAS BEEN NO STUDY DONE NOR ONE REQUESTED AS TO THE STRUCTURAL INTEGRITY OF THE BUILDING ITSELF OR PARTS THEREOF TO SUPPORT THE VARIOUS DESIGN ITEMS AND CONCEPTS SET FORTH. NO ENGINEERING OR STRUCTURAL INVESTIGATION HAS BEEN PERFORMED AND IT IS THE OBLIGATION OF THE PARTY RECEIVING THESE DRAWINGS TO HAVE ALL OF THE CONCEPTS SET FORTH BY SUCH WORK AS IS NECESSARY TO ENSURE THE STRUCTURAL INTEGRITY AND ENGINEERING SOUNDNESS OF ANY OF THE CONCEPTS CONTAINED HEREIN.
- 1.40 ALL WORK ON DRAWINGS SHALL BE PERFORMED IN COMPLIANCE WITH REQUIREMENTS OF THE LEASE WORK LETTER AND BUILDING STANDARD SPECIFICATIONS AND REGULATIONS WHETHER OR NOT LISTED ON DRAWINGS AND/OR INCLUDED HEREIN.
- 1.41 THE GENERAL CONTRACTOR SHALL PROVIDE PROTECTION TO ALL EXISTING FINISHES IN THE ELEVATOR, LOBBY AND PUBLIC CORRIDORS AS WELL AS PROTECTIVE COVERINGS FOR CARPET, FURNISHINGS AND EXISTING FINISHES IN AREAS OF DEMOLITION AND CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGES CAUSED BY HIM OR HIS SUB-CONTRACTORS.
- 1.42 WHERE WORK OR EQUIPMENT IS INDICATED N.I.C., SUCH WORK AND/OR EQUIPMENT SHALL BE PROVIDED BY OTHERS. CONTRACTOR SHALL COORDINATE AND COOPERATE TO ENSURE SUCH INSTALLATION.
- 1.43 ALL WORK ON DRAWINGS SHALL BE PERFORMED IN COMPLIANCE WITH REQUIREMENTS OF THE LEASE WORK LETTER AND BUILDING STANDARD SPECIFICATIONS AND REGULATIONS WHETHER OR NOT LISTED ON DRAWINGS AND/OR INCLUDED HEREIN.
- 1.44 THE GENERAL CONTRACTOR SHALL FURNISH OWNER WITH A COMPLETE INVENTORY LIST OF ALL ITEMS THAT CAN BE REUSED AND/OR STORED IN BUILDING STOCK, AND OBTAIN DIRECTIVE REGARDING THEIR DISPOSITION.
- 1.45 THE GENERAL CONTRACTOR SHALL EXECUTE ALL WORK WITHIN THE REGIONS OF PROPERTY MANAGEMENT FOR DEMOLITION AND REMOVAL OF DEBRIS, INCLUDING AFTER HOURS WORK, AS MAY BE REQUIRED.
- 1.46 ALL WORK DEMOLISHED SHALL BE REMOVED FROM THE PREMISES, EXCEPT ITEMS TO BE REUSED OR RETURNED TO OWNER OR AS OTHERWISE NOTED.
- 1.47 THE GENERAL CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS, BOTH FROM HIS OWN AND OTHER SUBCONTRACTORS EMPLOYEES, AND PROVIDE FOR ITS REMOVAL FROM THE SITE.
- 1.48 THE GENERAL CONTRACTOR SHALL REMOVE FROM PREMISES ALL CONDUITS, BOXES, PLATES, BRIDGES, OR ANY OTHER TELEPHONE AND/OR ELECTRICAL WIRING AND EQUIPMENT LEFT AFTER WALL DEMOLITION.
- 1.49 THE GENERAL CONTRACTOR SHALL PROVIDE A VISOQUEEN SEAL FROM FLOOR TO CEILING AT ALL INTERFACES TO PROTECT ADJACENT BUILDING PROPERTY WHILE DEMOLITION AND CONSTRUCTION ARE IN PROGRESS. THIS SEAL IS TO BE KEPT IN PLACE UNTIL THE GENERAL CONTRACTOR TO ASSESS REQUIREMENTS FOR NEW SCOPE AND DETERMINE QUANTITY OF FIXTURES/EXIT SIGNS TO REMOVE/RELOCATE. REFER TO REFLECTED CEILING PLAN FOR REQUIREMENTS. VERIFY THAT LIGHT FIXTURES/EXIT SIGNS ARE FULLY FUNCTIONING. ARE IN GOOD CONDITION AND COMPLY WITH BUILDING STANDARD. U.N.O. ALL LIGHT FIXTURES/EXIT SIGNS SCHEDULE TO BE REMOVED SHOULD BE SAVED FOR RELOCATION.
- 1.50 U.N.O. CONTRACTOR TO REMOVE ANY DISCOLORED OR DAMAGED LIGHT FIXTURES LENS. PREPARE FOR REPLACE WITH NEW.
- 1.51 ANY LIGHT FIXTURE/EXIT SIGN THAT IS IN CONFLICT WITH A NEW WALL SHOULD BE REMOVED. SAVE FOR RELOCATION. REFER TO REFLECTED CEILING PLAN FOR SCOPE.
- 1.52 U.N.O. AT DEMO WALL LOCATIONS VERIFY USE OF EXISTING LIGHT SWITCH. BREAK SWITCH LEAVE OR NEW LIGHTING CONFIGURATION. RELOCATE SWITCH OR PROVIDE NEW AS REQUIRED. CONTRACTOR TO ENSURE THAT ALL FIXTURES TO MAINTAIN CONTROL BY A SWITCH/MOTION SENSOR. REFER TO BUILDING STANDARDS.
- 1.53 U.N.O. EXISTING OUTLETS, RECEPTACLES/ ELECTRICAL PANELS, NOT SHOWN ON PLAN, ELECTRICAL SUBCONTRACTOR TO ASSESS REQUIREMENTS FOR REMOVAL AND NEW IMPROVEMENTS. REFER TO POWER PLAN FOR REQUIREMENTS. CONTRACTOR TO INVENTORY QUANTITY FOR ACCURATE BID. IF A PROPOSED OUTLET IS WITHIN 12" OF AN EXISTING, A NEW DEVICE IS NOT REQUIRED.
- 1.54 U.N.O. REMOVE ANY EXISTING OUTLETS, ALARMS, SWITCHES, THERMOSTATS THAT ARE IN CONFLICT WITH NEW CONSTRUCTION (NEW PARTITIONS, NEW MILLWORK). CONTRACTOR TO COORDINATE RELOCATION AS NECESSARY.
- 1.55 U.N.O. ANY ELECTRICAL DATA OUTLETS AND CONDUITS EXISTING AT WALLS SCHEDULED TO BE DEMOLISHED, CONTRACTOR TO REMOVE DEVICES, CONDUITS, SAFE-OFF POWER, PULL LINES AND CLEAN PLENUM.
- 1.56 U.N.O. CONTRACTOR TO INVENTORY QUANTITY.
- 1.57 U.N.O. ANY ELECTRICAL PANEL IF EXISTING AT WALLS SCHEDULED TO BE DEMOLISHED, CONTRACTOR TO TAKE ALL ROUTS BACK TO BUILDING PANEL OR PREPARE TO NEW PANEL TO NEW LOCATION.
- 1.58 WHERE OCCURS CONTRACTOR SHOULD DETERMINE IF ELECTRICAL PANEL SHOULD BE RELOCATED AND ADVISE THE ARCHITECT TO COORDINATE NEW LOCATION AND PARTITION REQUIREMENTS.
- 1.59 AT ANY TELEPHONE BOARD EXISTING AT WALLS SCHEDULED TO BE DEMOLISHED, CONTRACTOR TO REMOVE BOARD, PULL LINES AND CLEAN PLENUM.
- 1.60 MECHANICAL CONTRACTOR TO FIELD VERIFY EXISTING MECHANICAL EQUIPMENT. VERIFY THAT ALL SYSTEMS ARE FULLY FUNCTIONING AND SAFE-OFF ANY ITEMS SCHEDULED FOR RE-INSTALLATION.
- 1.61 HVAC FIXTURES IN CONFLICT WITH NEW WALLS TO BE REMOVED. HVAC CONTRACTOR TO DETERMINE TO DEMO/RELOCATE AND ROUTING OF DUCTWORK AS REQUIRED.
- 1.62 AT DEMO WALL LOCATIONS, THERMOSTATS SHOULD BE TAKEN TO PLENUM BEFORE DEMOLITION AND SAVED FOR REUSE.
- 1.63 ALL HVAC GRILLES THAT ARE REMOVED SHOULD BE SALVAGED FOR REUSE/REINSTALLATION. ALL SUPPLIES AND RETURNS TO BE IN GOOD CONDITION. UNUSED FIXTURES TO BE RETURNED TO BUILDING OWNER.
- 1.64 MECHANICAL CONTRACTOR IS RESPONSIBLE FOR TERMINATING ANY THERMOSTATS DURING DEMOLITION. NOT DEMOLITION CONTRACTOR.
- 1.65 THE GENERAL CONTRACTOR SHALL DO ALL CUTTING, FITTING AND PATCHING WORK THAT MAY BE REQUIRED TO MAKE ALL PARTS COME TOGETHER PROPERLY, AND FIT TO RECEIVE OR BE RECEIVED BY WORK OF OTHER CONTRACTORS WHERE SHOWN, OR REASONABLY IMPLIED BY, THE DRAWINGS AND NOTES.
- 1.66 THE GENERAL CONTRACTOR SHALL PROVIDE ALL FLOOR CUT-OUTS AND PATCHING REQUIRED FOR THE INSTALLATION OF ALL WORK.
- 1.67 THE GENERAL CONTRACTOR SHALL SURVEY ALL EXISTING FINISHED SURFACES TO REMAIN FOR CHIPS, CRACKS, HOLES, AND OTHER DAMAGE. THESE DEFECTIVE SURFACES SHALL BE REPAIRED, OR IF BEYOND REPAIRING,

- 1.68 ABOVE SLAB/FINISH FLOOR. VERIFY USE/PURPOSE OF ANY SUCH DEVICES AND PROTECT ALL THAT ARE INTENDED TO REMAIN OR BE RE-USED AS PART OF THE FINAL REMODEL CONSTRUCTION. OTHERWISE, REMOVE, GRIND SMOOTH AND PATCH WITH MECHANICAL PLUMBING, AND ELECTRICAL DESIGN-BUILD DOCUMENTS FOR COMPLETE COORDINATION.
- 1.69 CONTRACTOR TO ASSESS EXISTING CONDITION OF SUBSTRATE AT FLOORING DEMOLITION. PROVIDE ALL DEMOLITION REQUIRED. WHERE DEMOLITION CAUSES UNEVENNESS OR VOIDS IN THE FLOOR CONTRACTOR SHALL CLEAN, SCRAPE, LEVEL, THE FLOOR WITH THE EXISTING ADJACENT SURFACE. PREPARE SURFACE AS REQUIRED TO ACCEPT NEW FINISH AND IN A MANNER CONSISTENT WITH HIGH QUALITY WORKMANSHIP.
- 1.70 U.N.O. AT ANY ROOM WITH EXISTING VCT FLOORING SCHEDULED TO RECEIVE NEW FINISH, CONTRACTOR TO EVALUATE THE REMOVAL OF THE FLOORING. IF THE VCT FLOORING REMAINS, PREPARE EXISTING SURFACE AS REQUIRED FOR NEW FINISH. CONTRACTOR TO MAKE RECOMMENDATIONS TO RECEIVE NEW FINISH. REFER TO FINISH PLAN FOR SCOPE.
- 1.71 ANY PROJECTING OR SURFACE MOUNTED ITEMS BEING ABANDONED (EXISTING DUCT WORK, PIPING, PLUMBING FIXTURES AND CONDUITS) OR SCHEDULED TO BE REMOVED OR EXISTING AT WALLS SCHEDULED TO BE DEMOLISHED SHALL BE DEMOLISHED BACK TO POINT OF ORIGIN. ANY OF SUCH ITEMS TO REMAIN SHALL BE REROUTED AND CONCEALED. SEE DESIGN/BUILD AND/OR ENGINEERED DOCUMENTS FOR EXTENT OF WORK. REFER TO BUILDING STANDARDS FOR GUIDELINES ON REMOVAL AND/OR DISPOSITION OF MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS/DEVICES. REFER TO MECHANICAL/PLUMBING/ELECTRICAL PLANS FOR SPECIFIC DIRECTION. ALL MATERIAL DISMANTLED FROM EXISTING WORK SHALL BECOME THE PROPERTY OF THE OWNER AND SHALL BE STORED OR DISPOSED OF PER OWNER'S INSTRUCTIONS TO THE CONTRACTOR. ALL EQUIPMENT AND MATERIAL WHICH ARE IN OPERATING CONDITIONS WHEN REMOVED SHALL BE MAINTAINED AS SUCH WHEN RETURNED TO OWNER. IF DISMANTLED MATERIALS ARE TO BE REUSED COORDINATE WITH THE ARCHITECT TO RECEIVE CLARIFICATION OF REUSE BEFORE PROCEEDING WITH DEMOLITION WORK.
- 1.72 GENERAL CONTRACTOR TO MAKE NECESSARY ADJUSTMENTS TO EXISTING HVAC SYSTEM AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. REFER TO MECHANICAL PLANS FOR PROVIDING PROPER ZONING AND INSTALLATION OF APPROPRIATE ZONE CONTROLS.
- 1.73 ADEQUATE CLEAN-UP PROTECTION AND REPLACEMENT OF ANY CEILING TILES REMOVED DURING THE COURSE OF UNDER FLOOR WORK MUST BE COMPLETED BEFORE THE START OF BUSINESS MUNDAY FOLLOWING ANY OVERTIME WEEKEND WORK PERFORMED IN ORDER THAT THE TENANT WILL NOT BE INCONVENIENCED IN THE NORMAL CONTINUATION OF HIS REGULAR BUSINESS HOURS.
- 1.74 CONTRACTOR TO COMPLY WITH THE CITY OF SAN DIEGO CONSTRUCTION AND DEMOLITION (C&D) DEBRIS DEPOSIT ORDINANCE EFFECTIVE JULY 1ST, 2008. CONTRACTOR TO PROVIDE TO THE ARCHITECT THE REQUIRED FORMS AND DEPOSIT AMOUNT PRIOR TO SUBMITTAL FOR PERMIT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROPERLY DOCUMENT THE RECYCLING, RE-USE OR DONATION OF THE C&D WASTE AND TO SUBMIT THE DEPOSIT REFUND REQUEST AND ALL NECESSARY DOCUMENTATION TO THE CITY OF SAN DIEGO FOR REFUND.
- 1.75 SPRINKLERS, STROBE ALARMS, DETECTORS, NOT SHOWN ON PLAN, CONTRACTOR TO ASSESS REQUIREMENTS FOR NEW IMPROVEMENTS AND RELOCATE AS NECESSARY PER BUILDING STANDARD/STATE CODE.
- 1.76 CONTRACTOR TO COORDINATE MODIFICATIONS WITH BUILDING ENGINEERING/OWNER BEFORE DEMOLITION COMMENCEMENT.
- 1.77 U.N.O. CONTRACTOR TO TAKE ALL PRECAUTIONS TO PRESERVE AT MAXIMUM THE SUSPENDED CEILING ASSEMBLIES, DRYWALL, LIGHTING AND MECHANICAL FIXTURES. CONTRACTOR RESPONSIBLE FOR REVIEW AND UNDERSTANDING OF WALL DEMOLITION/NEW WALL CONSTRUCTION AS RELATES TO CEILING SCOPE. REFER TO REFLECTED CEILING PLAN.
- 1.78 U.N.O. ALL CEILING TILE REMOVED FROM DEMOLITION THAT IS IN GOOD CONDITION SHOULD BE SALVAGED FOR REUSE/REINSTALLATION. AT CEILING AFFECTED BY CONSTRUCTION OF WALL LOCATIONS, CONTRACTOR TO EVALUATE TO REPAIR/OR TO REPLACE GRID/TILES.
- 1.79 AFTER CEILING REMOVAL, CONTRACTOR RESPONSIBLE FOR VERIFICATION OF ITEMS IN PLENUM REQUIRING MODIFICATION OR RELOCATION. CONTRACTOR TO COORDINATE WITH BUILDING ENGINEER/OWNER FOR CLEANING OF PLENUM AT SUITE TO CLEAR ABANDONED CABLES. DO NOT AFFECT OR REMOVE ANY EXISTING CONDITIONS DAMAGED OR REMOVED AS A RESULT OF ALL WORK REQUIRED TO BE DONE UNDER THIS CONTRACT SHALL BE REPAIRED OR REPLACED TO ORIGINAL CONDITION AND FINISHED TO MATCH ADJACENT SURFACES.
- 1.80 PROVIDE SEPARATE CIRCUITS AND CONTROLS FOR ALL LIGHTING AND ELECTRICAL SYSTEMS SO EXISTING CONDITIONS REMAIN BETWEEN REMODEL AND EXISTING ADJACENT SUITES, OFFICES, CONF. ROOMS, ETC.
- 1.81 PROVIDE SEPARATE MECHANICAL CONTROLS, DUCT WORK AND MECHANICAL SYSTEMS SUCH THAT THEY ARE CONTROLLED INDEPENDENTLY FOR THIS REMODEL. INVENTORIES TO EXISTING ADJACENT SUITES.
- 1.82 EXCEPT WHERE RIGID BRACES ARE USED TO LIMIT LATERAL DEFLECTION, SPRINKLER HEADS AND OTHER PENETRATIONS THROUGH THE CEILING TILE REQUIRE MINIMUM 2-INCH RINGS. SLEEVES OR ADAPTERS THAT WILL ALLOW A MINIMUM 1-INCH CEILING MOVEMENT IN ALL HORIZONTAL DIRECTIONS. ALTERNATELY, A SWING JOINT CAN BE PROVIDED AT THE TOP OF THE SPRINKLER HEAD EXTENSION TO ACCOMMODATE THE 1-INCH MOVEMENT.
- 1.83 PROVIDE CLASS "C" FLAME SPREAD AND SMOKE DENSITY FOR WALL AND CEILING FINISHES IN ACCORDANCE WITH CBC TABLE 803.5.
- 1.84 CONTRACTOR TO PROVIDE AND INSTALL LATERAL AND SEISMIC SUPPORT FOR ALL SUSPENDED CEILING AND CEILING RELATED ELEMENTS AS REQUIRED BY APPLICABLE LOCAL CODES. SUSPENDED CEILING, ACOUSTIC OR GYPSUM BOARD EXCEEDING 144 SQUARE FEET IN NET AREA SHALL HAVE COMPRESSION STRUTS. STRUT SHALL CONSIST OF 3/8" METAL STUDS ATTACHED TO UNDERSIDE OF ROOF STRUCTURE TO CEILING GRID/CARRYING CHANNEL. SPACE STRUT AT 12- FEET ON CENTER IN BOTH DIRECTIONS AND 48" FROM WALLS.
- 1.85 CEILING MOUNTED HVAC HARDWARE IS TO BE LOCATED MINIMUM 18" HORIZONTALLY AWAY FROM WALLS, SHELVING, FILLS, OR UPPER CABINET UNITS AS INDICATED ON PLANS.
- 1.86 MATERIAL DESIGN AND WORKMANSHIP SHALL COMPLY WITH REQUIREMENTS FOR A DIRECT HUNG CEILING OF A.S.T.M. C-635, A.S.T.M. C 636 AND PROVISIONS AND EXCEPTIONS SPECIFIED.
- 1.87 ALL SUSPENSION WIRES SHALL BE MINIMUM 12GA. GALVANIZED IRON WIRES. SUSPENSION WIRES SHALL NOT HANG MORE THAN 1" IN 6" OUT OF PLUMB UNLESS COUNTER SLOPING WIRES ARE PROVIDED.
- 1.88 CROSS RUNNERS OVER 12" LONG AND ALL MAIN RUNNERS NOT CONNECTED TO WALLS MUST BE INTERCONNECTED NEAR THE FREE END WITH 16GA. WIRE OR A METAL STRUT SECURELY ATTACHED TO PREVENT SPREADING.
- 1.89 ALL CEILING WIRE, NON-SUPPORTED DUCT AND PIPES MUST BE SEPARATED BY MINIMUM 6"
- 1.90 ALL LIGHT FIXTURES SHALL BE ATTACHED TO THE CEILING GRID IN SUCH A MANNER SO AS TO RESIST A HORIZONTAL FORCE EQUAL TO THE WEIGHT OF THE FIXTURES.
- 1.91 WHERE THE CEILING LOADS DO NOT EXCEED 5 POUNDS PER SQUARE FOOT AND WHERE PARTITIONS ARE NOT CONNECTED TO THE CEILING SYSTEM, THE FOLLOWING BRACING METHOD MAY BE EMPLOYED.
- 1.92 A. LATERAL SUPPORT FOR SUSPENDED CEILING MUST BE PROVIDED (C.B.C. CHAPTER 16) WHERE CEILING LOADS ARE LESS THAN 5 PSF AND NOT SUPPORTING INTERIOR PARTITIONS, CEILING BRACING SHALL BE PROVIDED BY FOUR NO. 12GA. WIRES SECURED TO THE MAIN RUNNER WITHIN 2" OF THE CROSS RUNNER INTERSECTION AND SPAYLED 90 DEGREES FROM EACH OTHER AT AN ANGLE NOT EXCEEDING 45 DEGREE AT THE PLANE OF THE CEILING. THESE HORIZONTAL RESTRAINTS POINTS SHALL BE PLACED 12-FEET O.C. IN BOTH DIRECTIONS WITH THE FIRST POINT WITHIN 4- FEET FROM EACH WALL. ATTACHMENT OF THE RESTRAINT WIRES TO THE STRUCTURE SHALL BE ADEQUATE FOR THE LOAD IMPOSED.
- 1.93 B. ALLOWANCE SHALL BE MADE FOR LATERAL MOVEMENT OF THE SYSTEM. MAIN RUNNERS AND CROSS RUNNERS MAY BE RE-ANCHORED AT TWO ADJACENT WALLS WITH CLEARANCE BETWEEN THE WALL AND THE RUNNERS MAINTAINED AT THE OTHER TWO WALLS.
- 1.94 C. VERTICAL SUPPORT SHALL BE PROVIDED AS REQUIRED IN C.B.C. WITH THE ADDED REQUIREMENTS THAT DISCONTINUOUS ENDS OF CROSS RUNNERS AND MAIN RUNNERS BE VERTICALLY SUPPORTED WITHIN 6" OF SUCH ENDS AS THIS MAY OCCUR WHERE THE CEILING IS DISRUPTED BY A WALL.
- 1.95 D. LIGHTING FIXTURES AND AIR DIFFUSERS SHALL BE SUPPORTED DIRECTLY BY WIRES TO THE STRUCTURE ABOVE.
- 1.96 EXCEPTION: RECESSED LIGHTING FIXTURE NOT OVER 58 LBS. IN WEIGHT AND SUSPENDED AND PENDANT HUNG FIXTURES NOT OVER 18 IN. HEIGHT, MAY BE SUPPORTED AND ATTACHED DIRECTLY TO THE CEILING. OTHER RUNNERS BY A POSITIVE ATTACHMENT SUCH AS SCREWS OR BOLTS.
- 1.97 AT ALL DOOR LOCATIONS, INVENTORY THE REQUIREMENTS, MODIFY OR ADD TO CONSTRUCTION AS REQUIRED TO PROVIDE BUILDING STANDARD OR TENANT STANDARD DOOR ASSEMBLY. REFER TO DOOR SCHEDULE FOR REQUIREMENTS.
- 1.98 AT ANY WALL LOCATION/WASTED TO ACCOMMODATE PLUMBING FIXTURE SUPPORT AND SUPPLY/WASTED, PROVIDE FULLY INSULATED PLUMBING PARTITION 3/8" METAL STUD WITH GREEN BOARD AND BACKING AS REQUIRED. IF THE PARTITION IS EXISTING, MODIFY AS REQUIRED. TOTAL WALL THICKNESS SHALL BE AS NECESSARY WHERE BACK TO BACK INSTALLATION OCCURS. COORDINATE WITH PLUMBING PLANS AND SPECIFICATIONS.
- 1.99 AT ANY GLAZING INSTALLATION, CONTRACTOR TO VERIFY GLASS THICKNESS TO BE APPROPRIATE FOR INSTALLATION AND FRAME TYPE. NOTIFY THE ARCHITECT IF MODIFICATIONS FROM SPECIFICATIONS ARE REQUIRED.
- 2.00 ALL "HOLD" DIMENSIONS MUST BE MAINTAINED. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF THE ARCHITECT UNLESS OTHERWISE NOTED.
- 2.01 ALL PARTITIONS SHOWN "ALIGN" ARE TO BE SMOOTH AND FLUSH WITH EXISTING PARTITIONS. CONTRACTOR TO REMOVE EXISTING PARTITION PARTS TO BE ALIGN WITH EXISTING PARTITIONS, REMOVE EXISTING CORNER BEAD(S), ALIGN, FLOAT FLUSH WITH NEW PARTITION.
- 2.02 AT ALL COLUM FURRING, GENERAL CONTRACTOR SHALL ENSURE THAT FURRING IS KEPT TO MINIMUM POSSIBLE DIMENSIONS UNLESS OTHERWISE NOTED.
- 2.03 HINGE SIDE OF ALL DOORS SHALL BE 4" PERPENDICULAR FROM FINISH WALL, U.O.N.
- 2.04 THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL NEW SUSPENDED ACOUSTICAL TILE AND GRID SYSTEM IN AREAS DESIGNED ON REFLECTED

- 2.05 CEILING PLAN AND FASCIAS OR ANY BREAK IN THE CEILING HEIGHTS SHALL BE AS SHOWN ON DRAWINGS AND SHALL BE FORMED OF GYPSUM WALLBOARD OR METAL FRAMING WITH ACOUSTICAL TILE. CEILING SHALL BE SUSPENDED CEILING HEIGHTS SHALL BE AS SHOWN ON DRAWINGS AND DETAILS. ANY DEVIATION FROM HEIGHTS SHOWN BASED UPON EXISTING FIELD CONDITIONS SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW PRIOR TO START OF FLOOR IN QUESTION, OR RELATED WORK. ENSURE CLEARANCES FOR FIXTURES, DUCTS, UNLESS NECESSARY TO MAINTAIN THE SPECIFIED FINISH CEILING HEIGHT AS NOTED ON THE DRAWINGS.
- 2.06 THE CEILING SUBCONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH OTHER SUBCONTRACTORS AND TENANT'S VENDORS AND/OR PREPARE COMPOSITE SHOP DRAWINGS WHENEVER THEIR RESPECTIVE WORK IS CONTIGUOUS.
- 2.07 THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL CEILING ACCESS PANELS IN GYPSUM BOARD CEILINGS AS REQUIRED FOR MECHANICAL, ELECTRICAL AND PLUMBING ACCESS PER LOCAL CODES, WHETHER INDICATED ON DRAWINGS OR NOT. COORDINATE LOCATIONS SIZE AND TYPE WITH ARCHITECT PRIOR TO INSTALLATION.
- 2.08 PRIOR TO CLOSING UP ANY CEILING, ALL PLENUM SYSTEMS (HVAC, PLUMBING, ELECTRICAL, ETC.) SHALL BE INSPECTED AND WHERE REQUIRED, TESTING BY CONTRACTOR'S ENGINEERS, TO INSURE THEIR PROPER INSTALLATION AND FUNCTION. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ITEMS IN PLENUM REQUIRING MODIFICATION AND RELOCATION DUE TO NEW REQUIREMENTS.
- 2.09 ALL DOWNLIGHTS, WALL WASHERS, SPRINKLER HEADS, SPEAKERS, SENSORS, AND OTHER CEILING-MOUNTED FIXTURES SHALL BE CENTERED ON THE 2'X2' MODULE CREATED BY CEILING TILE GRID LINES. ALL CEILING LINES AND SHALL ALIGN IN STRAIGHT LINE, UNLESS OTHERWISE NOTED.
- 2.10 CEILING IN CLOSETS SHALL BE OF THE SAME HEIGHTS AND CONSTRUCTION AS THAT OF ADJOINING SPACE, EXCEPT AS OTHERWISE NOTED.
- 2.11 THE GENERAL CONTRACTOR SHALL PROVIDE CUT-OUTS AND OTHER SPECIAL PROVISIONS IN ACOUSTICAL WALLS AS REQUIRED FOR LIGHTING FIXTURES, REGISTERES, AND OTHERS AND OTHER INSERTED ITEMS.
- 2.12 THE GENERAL CONTRACTOR SHALL REMOVE, REPAIR AND/OR REPLACE ANY AND ALL CEILING TILES THAT ARE DISCOLORED OR DAMAGED OR IN ORDER TO FACILITATE PLENUM SYSTEM INSTALLATIONS. INTENT IS TO ALLOW FOR CONSISTENT COLOR AND DIRECTION IN DEFINED AREAS AS NECESSARY.
- 2.13 ALL FIRE/LIFE SAFETY DEVICES TO BE BUILDING STANDARD. ALL SPRINKLERS IN DRYWALL CEILING AREAS SHALL HAVE ANCEALED HEAD ASSEMBLIES. COLOR OF TRIM SHALL MATCH ADJACENT CEILING.
- 2.14 BACKGROUND DRAWINGS ARE BASED ON ORIGINAL CONSTRUCTION DOCUMENTS, NOT AS-BUILTS. VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
- 2.15 EXISTING CONDITIONS DAMAGED OR REMOVED AS A RESULT OF ALL WORK REQUIRED TO BE DONE UNDER THIS CONTRACT SHALL BE REPAIRED OR REPLACED TO ORIGINAL CONDITION AND FINISHED TO MATCH ADJACENT SURFACES.
- 2.16 CONTRACTOR TO FIELD VERIFY (E) DEMISING PARTITIONS & CONFIRM THAT PARTITION CONTAINS INSULATION WITH BATT INSULATION & IS FULL HEIGHT FROM FLOOR TO CEILING. IF NOT PROVIDED, CONTRACTOR TO PROVIDE AND PROVIDE SEPARATE CIRCUITS AND CONTROLS FOR ALL LIGHTING AND ELECTRICAL SYSTEMS SO THAT THERE IS NO CROSSOVER BETWEEN REMODEL AND EXISTING ADJACENT SUITES, OFFICES, CONF. ROOMS, ETC.
- 2.17 PROVIDE SEPARATE MECHANICAL CONTROLS, DUCT WORK AND MECHANICAL SYSTEMS SUCH THAT THEY ARE CONTROLLED INDEPENDENTLY FOR THIS REMODEL. INVENTORIES TO EXISTING ADJACENT SUITES.
- 2.18 EXCEPT WHERE RIGID BRACES ARE USED TO LIMIT LATERAL DEFLECTION, SPRINKLER HEADS AND OTHER PENETRATIONS THROUGH THE CEILING TILE REQUIRE MINIMUM 2-INCH RINGS. SLEEVES OR ADAPTERS THAT WILL ALLOW A MINIMUM 1-INCH CEILING MOVEMENT IN ALL HORIZONTAL DIRECTIONS. ALTERNATELY, A SWING JOINT CAN BE PROVIDED AT THE TOP OF THE SPRINKLER HEAD EXTENSION TO ACCOMMODATE THE 1-INCH MOVEMENT.
- 2.19 PROVIDE CLASS "C" FLAME SPREAD AND SMOKE DENSITY FOR WALL AND CEILING FINISHES IN ACCORDANCE WITH CBC TABLE 803.5.
- 2.20 CONTRACTOR TO PROVIDE AND INSTALL LATERAL AND SEISMIC SUPPORT FOR ALL SUSPENDED CEILING AND CEILING RELATED ELEMENTS AS REQUIRED BY APPLICABLE LOCAL CODES. SUSPENDED CEILING, ACOUSTIC OR GYPSUM BOARD EXCEEDING 144 SQUARE FEET IN NET AREA SHALL HAVE COMPRESSION STRUTS. STRUT SHALL CONSIST OF 3/8" METAL STUDS ATTACHED TO UNDERSIDE OF ROOF STRUCTURE TO CEILING GRID/CARRYING CHANNEL. SPACE STRUT AT 12- FEET ON CENTER IN BOTH DIRECTIONS AND 48" FROM WALLS.
- 2.21 CEILING MOUNTED HVAC HARDWARE IS TO BE LOCATED MINIMUM 18" HORIZONTALLY AWAY FROM WALLS, SHELVING, FILLS, OR UPPER CABINET UNITS AS INDICATED ON PLANS.
- 2.22 MATERIAL DESIGN AND WORKMANSHIP SHALL COMPLY WITH REQUIREMENTS FOR A DIRECT HUNG CEILING OF A.S.T.M. C-635, A.S.T.M. C 636 AND PROVISIONS AND EXCEPTIONS SPECIFIED.
- 2.23 ALL SUSPENSION WIRES SHALL BE MINIMUM 12GA. GALVANIZED IRON WIRES. SUSPENSION WIRES SHALL NOT HANG MORE THAN 1" IN 6" OUT OF PLUMB UNLESS COUNTER SLOPING WIRES ARE PROVIDED.
- 2.24 CROSS RUNNERS OVER 12" LONG AND ALL MAIN RUNNERS NOT CONNECTED TO WALLS MUST BE INTERCONNECTED NEAR THE FREE END WITH 16GA. WIRE OR A METAL STRUT SECURELY ATTACHED TO PREVENT SPREADING.
- 2.25 ALL CEILING WIRE, NON-SUPPORTED DUCT AND PIPES MUST BE SEPARATED BY MINIMUM 6"
- 2.26 ALL LIGHT FIXTURES SHALL BE ATTACHED TO THE CEILING GRID IN SUCH A MANNER SO AS TO RESIST A HORIZONTAL FORCE EQUAL TO THE WEIGHT OF THE FIXTURES.
- 2.27 WHERE THE CEILING LOADS DO NOT EXCEED 5 POUNDS PER SQUARE FOOT AND WHERE PARTITIONS ARE NOT CONNECTED TO THE CEILING SYSTEM, THE FOLLOWING BRACING METHOD MAY BE EMPLOYED.
- 2.28 A. LATERAL SUPPORT FOR SUSPENDED CEILING MUST BE PROVIDED (C.B.C. CHAPTER 16) WHERE CEILING LOADS ARE LESS THAN 5 PSF AND NOT SUPPORTING INTERIOR PARTITIONS, CEILING BRACING SHALL BE PROVIDED BY FOUR NO. 12GA. WIRES SECURED TO THE MAIN RUNNER WITHIN 2" OF THE CROSS RUNNER INTERSECTION AND SPAYLED 90 DEGREES FROM EACH OTHER AT AN ANGLE NOT EXCEEDING 45 DEGREE AT THE PLANE OF THE CEILING. THESE HORIZONTAL RESTRAINTS POINTS SHALL BE PLACED 12-FEET O.C. IN BOTH DIRECTIONS WITH THE FIRST POINT WITHIN 4- FEET FROM EACH WALL. ATTACHMENT OF THE RESTRAINT WIRES TO THE STRUCTURE SHALL BE ADEQUATE FOR THE LOAD IMPOSED.
- 2.29 B. ALLOWANCE SHALL BE MADE FOR LATERAL MOVEMENT OF THE SYSTEM. MAIN RUNNERS AND CROSS RUNNERS MAY BE RE-ANCHORED AT TWO ADJACENT WALLS WITH CLEARANCE BETWEEN THE WALL AND THE RUNNERS MAINTAINED AT THE OTHER TWO WALLS.
- 2.30 C. VERTICAL SUPPORT SHALL BE PROVIDED AS REQUIRED IN C.B.C. WITH THE ADDED REQUIREMENTS THAT DISCONTINUOUS ENDS OF CROSS RUNNERS AND MAIN RUNNERS BE VERTICALLY SUPPORTED WITHIN 6" OF SUCH ENDS AS THIS MAY OCCUR WHERE THE CEILING IS DISRUPTED BY A WALL.
- 2.31 D. LIGHTING FIXTURES AND AIR DIFFUSERS SHALL BE SUPPORTED DIRECTLY BY WIRES TO THE STRUCTURE ABOVE.
- 2.32 EXCEPTION: RECESSED LIGHTING FIXTURE NOT OVER 58 LBS. IN WEIGHT AND SUSPENDED AND PENDANT HUNG FIXTURES NOT OVER 18 IN. HEIGHT, MAY BE SUPPORTED AND ATTACHED DIRECTLY TO THE CEILING. OTHER RUNNERS BY A POSITIVE ATTACHMENT SUCH AS SCREWS OR BOLTS.
- 2.33 AT ALL DOOR LOCATIONS, INVENTORY THE REQUIREMENTS, MODIFY OR ADD TO CONSTRUCTION AS REQUIRED TO PROVIDE BUILDING STANDARD OR TENANT STANDARD DOOR ASSEMBLY. REFER TO DOOR SCHEDULE FOR REQUIREMENTS.
- 2.34 AT ANY WALL LOCATION/WASTED TO ACCOMMODATE PLUMBING FIXTURE SUPPORT AND SUPPLY/WASTED, PROVIDE FULLY INSULATED PLUMBING PARTITION 3/8" METAL STUD WITH GREEN BOARD AND BACKING AS REQUIRED. IF THE PARTITION IS EXISTING, MODIFY AS REQUIRED. TOTAL WALL THICKNESS SHALL BE AS NECESSARY WHERE BACK TO BACK INSTALLATION OCCURS. COORDINATE WITH PLUMBING PLANS AND SPECIFICATIONS.
- 2.35 AT ANY GLAZING INSTALLATION, CONTRACTOR TO VERIFY GLASS THICKNESS TO BE APPROPRIATE FOR INSTALLATION AND FRAME TYPE. NOTIFY THE ARCHITECT IF MODIFICATIONS FROM SPECIFICATIONS ARE REQUIRED.
- 2.36 ALL "HOLD" DIMENSIONS MUST BE MAINTAINED. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF THE ARCHITECT UNLESS OTHERWISE NOTED.
- 2.37 ALL PARTITIONS SHOWN "ALIGN" ARE TO BE SMOOTH AND FLUSH WITH EXISTING PARTITIONS. CONTRACTOR TO REMOVE EXISTING PARTITION PARTS TO BE ALIGN WITH EXISTING PARTITIONS, REMOVE EXISTING CORNER BEAD(S), ALIGN, FLOAT FLUSH WITH NEW PARTITION.
- 2.38 AT ALL COLUM FURRING, GENERAL CONTRACTOR SHALL ENSURE THAT FURRING IS KEPT TO MINIMUM POSSIBLE DIMENSIONS UNLESS OTHERWISE NOTED.
- 2.39 HINGE SIDE OF ALL DOORS SHALL BE 4" PERPENDICULAR FROM FINISH WALL, U.O.N.

4.0 PARTITIONS

- 4.1 THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL PARTITIONS AS DESIGNATED ON ARCHITECT DRAWINGS.
- 4.2 THE GENERAL CONTRACTOR SHALL PROVIDE CHALK LINE MARKINGS ON THE FLOOR OF ALL PARTITIONS FOR ARCHITECT AND TENANT REVIEW PRIOR TO FRAMING. SITE SETTING FOR NEW CHALK LINES SHALL BE SCHEDULED BY THE GENERAL CONTRACTOR THREE (3) DAYS IN ADVANCE OF THE MEETING.
- 4.3 ALL WALL DIMENSIONS ARE FINISHED FACE OF WALL TO FINISHED FACE OF WALL, UNLESS OTHERWISE NOTED. AT BUILDING PERIMETER, WALLS SHALL BE CENTERED ON MULLIONS, UNLESS OTHERWISE NOTED.
- 4.4 WALLS SHOWN ALIGNED WITH EXISTING PARTITIONS SHALL BE FLUSH AND MATCH WITH EXISTING PARTITIONS, UNLESS OTHERWISE NOTED.
- 4.5 THE GENERAL CONTRACTOR SHALL USE METAL CORNER BEADS AT ALL EXPOSED CORNERS AND EXPOSED ENDS IN PLASTER AND DRYWALL PARTITIONS.
- 4.6 ALL PARTITIONS SHALL BE ANCHORED FIRMLY AS PER MANUFACTURER'S SPECIFICATIONS AND AS REQUIRED BY STATE AND LOCAL CODES.
- 4.7 THE GENERAL CONTRACTOR SHALL CONSTRUCT RETURN AIR OPENINGS IN SLAB TO SLAB PARTITIONS ABOVE HUNG CEILING. SIZE OF OPENING TO MATCH AREA CALCULATION REQUIREMENTS AS SHOWN ON ENGINEERED DRAWINGS. ALL OPENINGS IN DEMISING AND SOUND ATTENUATED WALLS TO HAVE SOUND BOOTS. OPENINGS IN FIRE RATED WALLS SHALL HAVE FIRE DAMPERS AS REQUIRED BY LOCAL BUILDING CODES. CONTRACTOR TO COORDINATE WITH ENGINEERING DRAWINGS AND INFORM ARCHITECT OF DISCREPANCIES PRIOR TO FINAL BIDDING.
- 4.8 THE GENERAL CONTRACTOR SHALL PROVIDE SUFFICIENT FRAMING FOR ALL WALL PENETRATIONS FOR DUCT WORK, RETURN AIR OPENINGS AND GRILL OPENINGS ABOVE AND BELOW SUSPENDED CEILINGS. THESE ARE TO BE COORDINATED WITH HVAC ENGINEERING DRAWINGS AND THE GENERAL CONTRACTOR'S MECHANICAL CONTRACTOR'S SHOP DRAWINGS. ALL OPENINGS SHALL BE PROPERLY SEALED FOR SOUNDPROOFING AND VIBRATION.
- 4.9 WHERE OPENINGS OCCUR IN EXISTING FIRE RATED FLOOR ASSEMBLY OR PARTITIONS, DUE TO EXISTING OR NEW CONDUIT RUNS, DUCTWORK, CABLES, SPRING, ETC., AND/OR WHERE EXISTING PREPARED WORK HAS BEEN REMOVED AS A RESULT OF EXISTING OR NEW CONSTRUCTION WORK, THE GENERAL CONTRACTOR SHALL CLOSE AND/OR PATCH AS REQUIRED ALL OPENINGS TO MATCH IMMEDIATE ADJACENT AREAS IN MATERIAL, FINISH AND FIRE RATING. ALL PENETRATIONS THROUGH FIRE RATED WALLS, FLOORS AND CEILINGS SHALL BE PROTECTED PER APPROVED "UL" METHODS.
- 4.10 ARCHITECT IS TO BE NOTIFIED OF ANY REQUIRED DEVIATION FROM CONSTRUCTION DIMENSIONS OR CLEARANCES AS DESIGNATED ON PLAN OR OF ANY APPARENT CONSTRUCTION CONFLICTS. BACKGROUND DRAWINGS ARE BASED ON ORIGINAL CONSTRUCTION DOCUMENTS, NOT AS-BUILT DRAWINGS. PLEASE VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
- 4.11 EXISTING CONDITIONS DAMAGED OR REMOVED AS A RESULT OF ALL WORK REQUIRED TO BE DONE UNDER THIS CONTRACT SHALL BE REPAIRED OR REPLACED TO ORIGINAL CONDITION AND FINISHED TO MATCH ADJACENT SURFACES.
- 4.12 PROVIDE SEPARATE CIRCUITS AND CONTROLS FOR ALL LIGHTING AND ELECTRICAL SYSTEMS SO EXISTING CONDITIONS REMAIN BETWEEN REMODEL AND EXISTING ADJACENT SUITES, OFFICES, CONF. ROOMS, ETC.
- 4.13 PROVIDE SEPARATE MECHANICAL CONTROLS, DUCT WORK AND MECHANICAL SYSTEMS SUCH THAT THEY ARE CONTROLLED INDEPENDENTLY FOR THIS REMODEL AND DO NOT CROSSOVER INTO EXISTING ADJACENT SUITES.
- 4.14 DRYWALL PATCH WALLS TO REMAIN WHERE DAMAGED AND/OR WHERE DEVICES/WALLS HAVE BEEN REMOVED. MAINTAIN RATINGS.
- 4.15 DRYWALL FINISHES: GENERAL CONTRACTOR TO PROVIDE LEVEL 4 QUALITY AT ALL WALLS, AND LEVEL 5 FINISH AT CEILING/SOFFITS.
- 4.16 BACKING: PROVIDE 6" X 20 GA. BACKING IN WALL FOR CUSTOMER PROVIDED EQUIPMENT OR REQUIREMENTS: WALL MOUNTED MILLWORK, ETC. GENERAL CONTRACTOR TO COORDINATE LOCATIONS AND MOUNTING HEIGHT WITH CUSTOMER IN THE FIELD.
- 4.17 SEE SHEET A81 FOR DOOR INFO.
- 4.18 CONTRACTOR TO ENSURE SLAB IS IN ADEQUATE CONDITION FOR INSTALLATION OF NEW FINISH. PREPARE FLOOR AS REQUIRED PER MANUFACTURER'S RECOMMENDATIONS. NOTICEABLE DEFECTS THROUGH NEW WORK SHALL RESULT IN REINSTALLATION OF FINISH TO SATISFACTION OF TENANT.
- 4.19 UNLESS OTHERWISE DIRECTED, CONTRACTOR TO INCLUDE IN THE SCOPE TO SKIM COAT AT ALL WALLS WHERE WALLCOVERING HAS BEEN REMOVED. WHERE WALLCOVERING DEMOLITION DAMAGES DRYWALL, REPAIRS BEYOND WHICH SKIMCOAT WILL REPAIR FOR SPECIFIED FINISH, REPAIR/REPLACE DRYWALL.
- 4.20 U.N.O. WHERE EXISTING BASE BUILDING CONSTRUCTION INTERFACES WITH NEW CONSTRUCTION, CONTRACTOR TO PATCH AND REPAIR EXISTING SURFACES. SURFACES SHALL BE RESTORED TO APPEAR AS NEW AND READY TO RECEIVE NEW FINISH. PATCH, FILL ALL GOUGES, HOLES, CRACKS AND DENTS FOR UNIFORM FINAL FINISH ON ALL EXISTING SURFACES.
- 4.21 U.N.O. CONTRACTOR TO PREP AND PUTTY COAT WALLS AT AREAS WHERE DEMO HAS OCCURRED OR WHERE PRIOR BASE INSTALLATION WILL RESULT IN VISIBLE ADHESIVE LINE WITH NEW BASE INSTALLATION. REFER TO FINISH PLAN FOR NEW REQUIREMENTS.
- 4.22 UNLESS OTHERWISE DIRECTED, WHERE ELECTRICAL AND COMMUNICATIONS OUTLETS HAVE BEEN REMOVED, CONTRACTOR TO PATCH AND REPAIR PARTITION TO MATCH EXISTING.
- 4.23 U.N.O. PROVIDE ADEQUATE FURRING TO ACCOMMODATE ANY RECESSED ELECTRICAL PANEL AT A NEW WALL. COORDINATE WITH ELECTRICAL DESIGN/BUILD ENGINEER FOR EXACT REQUIREMENTS. U.N.O. PROVIDE ADEQUATE FURRING TO ACCOMMODATE ANY RECESSED FIRE EXTINGUISHER. VERIFY SIZE TO PROVIDE ADEQUATE DEPTH.
- 4.24 AT ALL DOOR LOCATIONS, INVENTORY THE REQUIREMENTS, MODIFY OR ADD TO CONSTRUCTION AS REQUIRED TO PROVIDE BUILDING STANDARD OR TENANT STANDARD DOOR ASSEMBLY. REFER TO DOOR SCHEDULE FOR REQUIREMENTS.
- 4.25 AT ANY WALL LOCATION/WASTED TO ACCOMMODATE PLUMBING FIXTURE SUPPORT AND SUPPLY/WASTED, PROVIDE FULLY INSULATED PLUMBING PARTITION 3/8" METAL STUD WITH GREEN BOARD AND BACKING AS REQUIRED. IF THE PARTITION IS EXISTING, MODIFY AS REQUIRED. TOTAL WALL THICKNESS SHALL BE AS NECESSARY WHERE BACK TO BACK INSTALLATION OCCURS. COORDINATE WITH PLUMBING PLANS AND SPECIFICATIONS.
- 4.26 AT ANY GLAZING INSTALLATION, CONTRACTOR TO VERIFY GLASS THICKNESS TO BE APPROPRIATE FOR INSTALLATION AND FRAME TYPE. NOTIFY THE ARCHITECT IF MODIFICATIONS FROM SPECIFICATIONS ARE REQUIRED.
- 4.27 ALL "HOLD" DIMENSIONS MUST BE MAINTAINED. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF THE ARCHITECT UNLESS OTHERWISE NOTED.
- 4.28 ALL PARTITIONS SHOWN "ALIGN" ARE TO BE SMOOTH AND FLUSH WITH EXISTING PARTITIONS. CONTRACTOR TO REMOVE EXISTING PARTITION PARTS TO BE ALIGN WITH EXISTING PARTITIONS, REMOVE EXISTING CORNER BEAD(S), ALIGN, FLOAT FLUSH WITH NEW PARTITION.
- 4.29 AT ALL COLUM FURRING, GENERAL CONTRACTOR SHALL ENSURE THAT FURRING IS KEPT TO MINIMUM POSSIBLE DIMENSIONS UNLESS OTHERWISE NOTED.
- 4.30 HINGE SIDE OF ALL DOORS SHALL BE 4" PERPENDICULAR FROM FINISH WALL, U.O.N.
- 4.31 THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL NEW SUSPENDED ACOUSTICAL TILE AND GRID SYSTEM IN AREAS DESIGNED ON REFLECTED

5.0 CEILING

- 5.1 THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL NEW SUSPENDED ACOUSTICAL TILE AND GRID SYSTEM IN AREAS DESIGNED ON REFLECTED

- 5.2 COMPRESSION. INSTALL ACOUSTICAL UNITS WITH TIGHT FLUSH JOINTS, ALL JOINT LINES STRAIGHT AND ALIGNED. CUT UNITS TO FIT TIGHTLY AROUND CEILING PENETRATIONS, AND ACCURATELY TRIM WALLS INTO TIGHT ACOUSTICAL UNITS WITH EDGES BEARING ON TEES. ALL EDGES SECURED WITH HOLD-DOWN CLIPS. JOINTS TIGHTLY BUTTED AND MITER CUT AT ANGLES. COPE THE BOTTOMS OF EXPOSED TEES FOR FLUSH JOINTS WITH WALL ANGLES OR CHANNELS.

6.0 LIGHTING, POWER AND COMMUNICATIONS

- 6.1 THE CONTRACTOR SHALL FURNISH AND INSTALL ALL LIGHTING FIXTURES AND ELECTRICAL WORK AS SHOWN OR IMPLIED ON ALL DRAWINGS AND NOTES.
- 6.2 THE CONTRACTOR SHALL COORDINATE HIS WORK WITH MANUFACTURER'S SPECIFICATIONS.
- 6.3 THE WORK SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, PUBLIC UTILITIES COMPANY, TELEPHONE COMPANY, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
- 6.4 UNLESS OTHERWISE NOTED, ALL NEW MATERIALS REQUIRED SHALL CONFORM WITH THE STANDARDS OF THE UNDERWRITERS LABORATORIES, INC., WHERE SUCH STANDARDS HAVE BEEN ESTABLISHED FOR THE PARTICULAR TYPE OF MATERIAL OR FIXTURE IN QUESTION.
- 6.5 PROPOSALS SHALL BE BASED UPON FURNISHING AND INSTALLING NEW LIGHTING FIXTURES AND REMOVING AND REINSTALLING EXISTING LIGHTING FIXTURES (INCLUDING NEW LAMPING) OF TYPES AND MANUFACTURERS AS INDICATED ON REFLECTED CEILING PLAN, AND/OR TO "MATCH EXISTING" WHERE NOTED.
- 6.6 THE GENERAL AND ELECTRICAL CONTRACTORS SHALL CHECK ALL CEILING HEIGHTS AND CEILING PLENUM CONDITIONS FOR CLEARANCE OF DUCTWORK, LIGHTING AND OTHER OBSTRUCTIONS TO ASSURE THE FINISHED CEILING HEIGHT SHOWN ON DRAWINGS IS ACHIEVABLE AND CONTINUOUS. ANY DISCREPANCIES SHALL BE BROUGHT TO ARCHITECT'S ATTENTION PRIOR TO FINAL PRICING.
- 6.7 ALL RECESSED FIXTURES SHALL BE SET FLUSH INTO CEILINGS.
- 6.8 THE ELECTRICAL CONTRACTOR SHALL SUBMIT CUTS OF ALL NON-BUILDING STANDARD FIXTURES AS SHOWN IN THE DRAWINGS, FOR REVIEW BY THE ARCHITECT AND ELECTRICAL ENGINEER.
- 6.9 THE ELECTRICAL SUBCONTRACTOR SHALL COORDINATE ANY ELECTRICAL OR LIGHTING INSTALLATION INTO CABINETWORK WITH CABINET SUBCONTRACTOR AS REQUIRED.
- 6.10 THE ELECTRICAL SUBCONTRACTOR SHALL COORDINATE ANY TELEPHONE / DATA / SECURITY AND AUDIO-VISUAL REQUIREMENTS WITH THE TENANT'S VENDORS AS REQUIRED.
- 6.11 THE ELECTRICAL SUBCONTRACTOR SHALL PROVIDE ALL TEMPORARY LIGHTING AND ELECTRICAL SERVICE FOR ALL TRADES AS REQUIRED.
- 6.12 WHERE MORE THAN ONE SWITCH OCCURS IN THE SAME LOCATION, THEY SHALL BE INSTALLED IN GANG TYPE BOX UNDER ONE COVER PLATE.
- 6.13 ALL ELECTRICAL DATA/TELEPHONE RECEPTACLES AND LIGHT FIXTURES SHALL BE LOCATED WHERE DIMENSIONED ON PLANS. ALL FURNITURE FEEDS/J-BOXES TO BE LOCATED PER DIMENSIONS PROVIDED BY TENANT'S FURNITURE VENDOR.
- 6.14 ALL NEW OUTLETS ON COLUMNS WILL BE CENTERED ON FACE, UNLESS OTHERWISE NOTED.
- 6.15 UNLESS OTHERWISE NOTED, ALL TELEPHONE, DATA AND POWER OUTLETS SHALL BE INSTALLED VERTICALLY AT 18" ABOVE FINISH FLOOR TO CENTER OF BOX. (MINIMUM 15" FROM BOTTOM OF BOX)
- 6.16 UNLESS OTHERWISE NOTED, ALL THERMOSTATS AND CONTROL DEVICES SHALL BE A MAXIMUM OF 48" ABOVE FINISH FLOOR TO THE TOP OF THE BOX. THERMOSTATS AND LIGHTING CONTROLS OCCURRING WITHIN THE SAME ROOM SHALL BE LOCATED PER TYPICAL INSTALLATION ELEVATION IN DRAWINGS.
- 6.17 UNLESS OTHERWISE NOTED, ALL SIDE BY SIDE OUTLETS SHALL BE NO MORE THAN 6" ON CENTER, APART.
- 6.18 PROVIDE NEW BLANK COVER PLATES FOR EXISTING OUTLETS NOT BEING USED WHEN NOTED. COVER PLATES TO MATCH BUILDING STANDARD, AND/OR TO MATCHING EXISTING, UNLESS OTHERWISE NOTED.
- 6.19 ALL LAMPS SHALL BE IDENTICAL FROM THE SAME MANUFACTURER. CONTRACTOR SHALL REPLACE ALL NON-CONFORMING LAMPS.
- 6.20 ALL OUTLETS OCCURRING ON MILLWORK OR OTHER FINISH PANELS SHALL BE INSTALLED FLUSH WITH FACE OF MILLWORK, OR FINISH PANEL.
- 6.21 UNLESS OTHERWISE NOTED, VOICE/DATA OUTLETS SHALL CONSIST OF A 2-GANG BOX WITH A PULL STRING AND 3/4" CONDUIT, STUBBED 6" ABOVE CEILING.
- 6.23 U.N.O. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION AND EVALUATION OF EXISTING ELECTRICAL SYSTEMS INCLUDING VOICE/DATA, POWER, SECURITY AND ELECTRICAL.
- 6.24 U.N.O. EXISTING OUTLETS ARE NOT SHOWN ON PLAN, PROVIDE REQUIRED OUTLETS PER PLAN AND RE-USE ANY EXISTING OUTLETS WHERE POSSIBLE. PROVIDE NEW DEVICE AND COVER PLATE AS REQUIRED TO MATCH BUILDING STANDARD. ALL DATA/POWER SHOWN GROUPED ARE TO REMAIN WITHIN 4" OF ONE ANOTHER. HEIGHT OF ANY EXISTING OUTLETS TO REMAIN. NEW ARE TO MATCH BUILDING STANDARD AND COMPLY WITH CURRENT CODE.
- 6.25 COMMUNICATIONS, DATA, SECURITY, CABLING, AND EQUIPMENT. N.I.C. BY TENANT'S VENDOR. ALL CABLING TO BE PLENUM RATED WHEN LOCATED IN RETURN AIR PLENUM.
- 6.26 FIRE LIFE SAFETY SYSTEM: MODIFY EXISTING SYSTEM TO PROVIDE FULL FIRE LIFE SAFETY SYSTEM TO MEET TENANT'S REQUIREMENTS. GENERAL CONTRACTOR TO COORDINATE DRAWINGS AND INSTALLATION WITHIN THIS SCOPE OF WORK. SEE ELECTRICAL.
- 6.27 FURNITURE, N.I.C.: (BY CUSTOMER) FURNITURE CONSULTANT TO PROVIDE REQUIREMENTS. AT WORKSTATIONS WITH PANELS PROVIDE J-BOX FEED, AT WORKSTATIONS WITHOUT PANELS PROVIDE POWER/DATA AT NEAREST WALL/COLUMN.
- 6.28 GFI OUTLETS: ALL OUTLETS WITHIN 6'-0" OF SINK TO BE GROUND FAULT INTERRUPTED.
- 6.29 OUTLETS: PROVIDE BUILDING STANDARD OUTLETS/DEVICES AND COVER
- 6.30 CONTRACTOR IS RESPONSIBLE FOR MARKING ALL POWER AND SIGNAL LOCATIONS ON SLAB AND HAVING THEM REVIEWED BY THE ARCHITECT. ALL DIMENSIONS ARE TO THE CENTERLINE OF OUTLET, PAIR OR GROUPING OF OUTLETS, UNLESS OTHERWISE NOTED.
- 6.32 WALL MOUNT TELEPHONE OUTLETS AT +48" A.F.F. AND SHALL BE INSTALLED VERTICALLY.
- 6.33 PRIOR TO FINAL HOOK-UP THE CONTRACTOR SHALL REQUEST THE ARCHITECT. TO REVIEW LOCATIONS OF ELECTRICAL FIXTURES FOR POSSIBLE ADJUSTMENTS (WITHIN 24-INCHES ONE DIRECTION AND 48-INCHES THE OTHER DIRECTION).
- 6.34 FOR APPLIANCES SUBMIT MANUFACTURER'S LITERATURE INCLUDING FULL PRODUCT DESCRIPTIONS, INSTALLATION, SPECIFICATIONS AND LINE DRAWINGS SHOWING CLEARANCES AND ROUGH-IN INFORMATION.
- 6.35 ALL TELEPHONE WORK SHALL BE COORDINATED BY THE GENERAL CONTRACTOR WITH TENANT'S CONSULTANT AND TELEPHONE COMPANY. ELECTRICAL CONTRACTOR TO PROVIDE 1" CONDUIT AT ALL BACK TO BACK WALL MOUNTED TELEPHONE OUTLETS. ELECTRICAL CONTRACTOR TO OBTAIN ALL ADDITIONAL TELEPHONE CONDUIT REQUIREMENTS FROM THE TENANT'S TELEPHONE CONSULTANT.
- 6.36 ELECTRICAL CONTRACTOR TO INSTALL CONDUIT WHEN SPECIFIED FOR AV, NETWORKING AND COMMUNICATIONS EQUIPMENT. CONDUIT SHALL BE ROUTED AT LEAST 6" FROM ALL A/C CONDUIT. 24" FROM LIGHT FIXTURES, 72" FROM ELEVATOR SHAFTS AND ELECTRICAL ROOMS OR ANY DEVICE WHICH MAY CAUSE INTERFERENCE WITH DATA TRANSMISSION OR RECEPTION. PROVIDE BOXES, WIRING DEVICES, PLATES, CONDUIT AND WIRING TO J-BOXES AND ALL HOLE OPEN DOORS.
- 6.38 PROVIDE TRANSFORMERS WHEN NECESSARY FOR LOW VOLTAGE LIGHTING, BUSY LIGHTS OR OTHER SPECIAL ITEMS. VERIFY LOCATION WITH THE ARCHITECT.
- 6.39 ELECTRICAL CONTRACTOR TO CALCULATE VOLTAGE REQUIREMENTS NECESSARY TO SIZE SWITCHES AND CIRCUIT LOADS.
- 6.40 ELECTRICAL CONTRACTOR SHALL SUBMIT ALL NECESSARY DRAWINGS, CATALOG CUTS, ETC., FOR ARCHITECT REVIEW. SUBSTITUTIONS SHALL NOT BE MADE UNLESS ARCHITECT CONCURRENCE IS RECEIVED AND SHOP DRAWINGS ARE SUBMITTED FOR REVIEW. REFER TO BUILDING STANDARDS FOR ADDITIONAL INFORMATION AND SPECIFICATIONS. CONTRACTOR TO VERIFY LEAD TIME FOR ALL LIGHT FIXTURES SPECIFIED BEFORE CONSTRUCTION.
- 6.41 THE ARCHITECTURAL REFLECTED CEILING PLANS SHALL BE USED TO DETERMINE THE LOCATION, QUANTITY, EXTENT, AND TYPE OF LIGHT FIXTURES. ANY CONFLICTS BETWEEN DRAWINGS SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND DESIGN/BUILD ENGINEERS DURING THE PRICING PERIOD. ALL CONFLICTS ARISING DURING THE CONSTRUCTION SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT.
- 6.42 ALL SWITCHES SHOWN SHALL BE 42" ABOVE FINISH FLOOR, UNLESS OTHERWISE NOTED ON PLAN. ALL HEIGHTS ARE GIVEN FROM TOP OF ROUGH FLOOR TO CENTERLINE OF COVER PLATES, MOUNTED VERTICALLY. LENGTHWISE, U.N.O. ALL GANGED SWITCHES SHALL BE COVERED WITH A ONE-PIECE PLATE. COLOR TO BE BUILDING STANDARD. IF IMPROVEMENT IS REUSING EXISTING DEVICES, NEW DEVICE AND COVER PLATE SHALL MATCH EXISTING. CONTRACTOR SHALL VERIFY.
- 6.43 REFER TO ELECTRICAL DESIGN/BUILD DRAWINGS FOR LOCATION OF EXIT LIGHTS AND OTHER LIFE SAFETY EQUIPMENT. VERIFY LOCATION WITH THE ARCHITECT POWER FOR EXIT LIGHTS AND EMERGENCY LIGHTING MUST CONFORM TO CURRENT C.B.C. REQUIREMENTS SECTIONS 1012 AND 1013. PROVIDE TWO SOURCES OF POWER IF THERE ARE 50 OR MORE OCCUPANTS.
- 6.44 CONTRACTOR RESPONSIBLE TO VERIFY THAT EXIT SIGNS AND EGRESS LIGHT

- FIXTURES ARE TO BE CIRCUITED TO AN EMERGENCY PANEL, OR TO BE SELF CONTAINED BATTERY BACK-UP. VERIFY BUILDING STANDARDS.
- 6.45 THE CONTRACTOR SHALL SUBMIT ALL NECESSARY DRAWINGS, CATALOG CUTS, ETC., FOR ARCHITECT REVIEW. SUBSTITUTIONS SHALL NOT BE MADE UNLESS ARCHITECT CONCURRENCE IS RECEIVED AND SHOP DRAWINGS ARE SUBMITTED FOR REVIEW. REFER TO BUILDING STANDARDS FOR ADDITIONAL INFORMATION AND SPECIFICATIONS. CONTRACTOR TO VERIFY LEAD TIME FOR ALL LIGHT FIXTURES SPECIFIED BEFORE CONSTRUCTION.
- 6.46 THE ARCHITECTURAL REFLECTED CEILING PLANS SHALL BE USED TO DETERMINE THE LOCATION, QUANTITY, EXTENT, AND TYPE OF LIGHT FIXTURES. ANY CONFLICTS BETWEEN DRAWINGS SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND DESIGN/BUILD ENGINEERS DURING THE PRICING PERIOD. ALL CONFLICTS ARISING DURING THE CONSTRUCTION SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT.
- 6.47 CONTRACTOR RESPONSIBLE FOR BUILDING STANDARD EXIT SIGNS INVENTORY. VERIFY NUMBER AND CONDITION AVAILABLE FOR RELOCATION. REFER TO REFLECTED CEILING PLAN FOR REQUIREMENTS.
- 6.48 CONTRACTOR RESPONSIBLE TO COORDINATE WITH BUILDING ENGINEER/OWNER TO REWORK OR TO PROVIDE NEW LIGHTING CONTROL SYSTEM FOR DAY-LIGHTING CONTROL AND AFTER HOUR CONTROL OF LIGHT FIXTURES. CONTRACTOR TO ENSURE COMPLIANCE WITH TITLE 24.
- 6.49 CONTRACTOR TO ENSURE THAT ALL FIXTURES SCHEDULED TO REMAIN OR NEW MAINTAIN CONTROL BY EXISTING/NEW SWITCHING OR MOTION SENSOR. REFER TO BUILDING STANDARDS.
- 6.50 U.N.O. ALL RECESSED LIGHT FIXTURES TO BE CENTERED WITHIN TILE, BOTH DIRECTIONS.

7.0 HVAC

- 7.1 THE GENERAL CONTRACTOR SHALL NOTIFY THE MECHANICAL ENGINEER FOR REVIEW OF MECHANICAL WORK PRIOR TO INSPECTION AND CLOSING-UP CEILING.
- 7.2 THE HVAC CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD SUPERVISION OF ALL THEIR WORK DURING INSTALLATION AND SHALL INSPECT ALL SYSTEMS FOR PROPER OPERATIONS AT COMPLETION OF JOB.
- 7.3 SHOP DRAWINGS OF ALL HVAC EQUIPMENT, REGISTERS, INCLUDING ACCESS PANELS IF REQUIRED, SHALL BE SUBMITTED TO ARCHITECT AND MECHANICAL ENGINEER FOR REVIEW PRIOR TO PROCEEDING WITH FABRICATION AND/OR INSTALLATION OR RELOCATION.
- 7.4 INSTALLATION SHALL BE COORDINATED WITH ALL TRADES AS REQUIRED FOR PROPER ASSEMBLY. CEILING DIFFUSERS TO BE LOCATED TO ACCOMMODATE NEW LIGHT FIXTURE PATTERNS.
- 7.5 INTERIOR SPACES SHALL BE MECHANICALLY VENTILATED IN ACCORDANCE WITH APPLICABLE CODES.
- 7.6 THE HVAC ENGINEER SHALL PROVIDE NECESSARY ENGINEERING DRAWINGS AND CALCULATIONS TO REWORK ALL EXISTING EQUIPMENT AND TO DETERMINE ALL NEW EQUIPMENT TO MEET THE TENANT'S REQUIREMENT.
- 7.7 THERMOSTATS, SUPPLY AND RETURN AIR GRILLE LOCATIONS NOT SHOWN ON THIS PLAN, IF THE SCOPE OF WORK IS "DUCTWORK-ONLY", OR IF NEW UNITS, MECHANICAL DESIGN/BUILD ENGINEER IS RESPONSIBLE TO PROVIDE PLANS REFLECTING EXISTING AND/OR NEW LAYOUT OF HVAC DUCTWORK, SUPPLY AND RETURN AIR GRILLES.
- 7.8 HVAC ENGINEER TO PROVIDE ALL NECESSARY TITLE 24 REPORTS REQUIRED TO OBTAIN PERMIT
- 7.9 FOR ANY EXHAUST SYSTEM REQUIRED AT THE SPACE, CONTRACTOR TO COORDINATE WITH BUILDING ENGINEER/OWNER FOR DUCTWORK CONFIGURATION.
- 7.10 AT ANY SPACE THAT IS DIVIDED INTO TWO SEPARATE SUITES, CONTRACTOR TO SPLIT MECHANICAL SYSTEMS AS REQUIRED, SO EACH SUITE OPERATES INDEPENDENTLY. PROVIDE INDEPENDENT CONTROL. VERIFY THAT ALL DUCTWORK, SUPPLIES, RETURNS AND THERMOSTATS ARE SPLIT PROPERLY. RELOCATE EXISTING AS NECESSARY. PROVIDE PROPER ZONING AND INSTALL APPROPRIATE ZONE CONTROLS.
- 7.11 FOR ANY EXHAUST SYSTEM REQUIRED AT THE SPACE, CONTRACTOR TO COORDINATE WITH BUILDING ENGINEER/OWNER FOR DUCTWORK CONFIGURATION.
- 7.12 FOR DETAILS OF BUILDING STANDARD CIRCUITING AIR CONDITIONING, DUCT WORK, AIR SUPPLY DIFFUSERS, AIR RETURN GRILLES, THERMOSTATS, SMOKE DETECTORS, ETC., SEE ORIGINAL BUILDING MECHANICAL DRAWINGS AND SPECIFICATIONS AND COORDINATE WITH BUILDING ENGINEER/OWNER.
- 7.13 SEE MECHANICAL ENGINEER'S DRAWINGS FOR THERMOSTAT LOCATIONS. GENERAL CONTRACTOR SHALL NOT INSTALL THERMOSTATS WITHOUT APPROVAL OF LOCATIONS FROM THE ARCHITECT. MOUNT ALL THERMOSTATS 42" A.F.F. NEXT TO LIGHT SWITCH. (U.N.O.).

8.0 PLUMBING

- 8.1 PLUMBING SUBCONTRACTOR SHALL SUPPLY AND INSTALL ALL PLUMBING ROUGH-INS, FIXTURES AND ACCESSORIES AS SHOWN OR IMPLIED ON CONSTRUCTION DRAWINGS, AND PER CODE.
- 8.2 THE PLUMBING SUBCONTRACTOR SHALL SUBMIT CUTS OF ALL NEW FIXTURES, FITTINGS AND ACCESSORIES TO ARCHITECT AND PLUMBING ENGINEER FOR REVIEW PRIOR TO PLACING ORDER.
- 8.3 THE PLUMBING SUBCONTRACTOR SHALL COORDINATE HIS WORK WITH MANUFACTURER'S SPECIFICATIONS AND WITH ALL OF THE OTHER TRADES. FURNISH ALL VALVES AS INDICATED ON THE DRAWINGS, OR AS MAY BE REQUIRED FOR THE PROPER CONTROL OF THE VARIOUS APPARATUS AND PIPELINES INSTALLED UNDER THIS SECTION SO THAT ANY FIXTURE LINES OR PIECE OF APPARATUS MAY BE OUT OFF FOR REPAIR WITHOUT INTERFERENCE OR INTERRUPTION OF THE SERVICE TO THE REST OF THE BUILDING.
- 8.5 BEFORE BEING COVERED UP OR BUILT-IN, PIPING SHALL BE TESTED AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION.
- 8.6 HOT WATER AND DRAIN PIPES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE COVERED.

9.0 CABINET WORK

- 9.1 REFERENCE FINISH PLANS AND DETAILS FOR MILLWORK FINISH AND MATERIAL QUALITY SPECIFICATIONS TO MEET OR EXCEED AIA STANDARDS.
- 9.2 THE GENERAL CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF THE CABINET SUBCONTRACTOR.
- 9.3 ALL "INSTALLED" CABINERY SHALL COMPLY WITH ALL LOCAL APPLICABLE BUILDING CODES, REGULATIONS, ORDINANCES AND ADA.
- 9.4 ALL "INSTALLED" CABINETS SHALL BE SCADED TO WALL OR CEILING.
- 9.5 THE CABINET CONTRACTOR SHALL SUBMIT THREE (3) SETS OF SHOP DRAWINGS AND FINISH SAMPLES TO THE ARCHITECT, AS REQUESTED IN THE DRAWINGS AND SPECIFICATIONS, FOR REVIEW.
- 9.6 THE CABINET CONTRACTOR SHALL CHECK AND FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE. ALL DISCREPANCIES BETWEEN THE ARCHITECT AND EXISTING CONDITIONS ARE TO BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION PRIOR TO THE COMMENCEMENT OF WORK.
- 9.7 ALL FINISHED WORK SHALL, AS FAR AS PRACTICAL, BE ASSEMBLED AND FINISHED IN THE SHOP AND DELIVERED TO THE BUILDING READY TO ERECT IN PLACE.
- 9.8 ALL THE WORK SHALL BE FABRICATED, ASSEMBLED, FINISHED AND ERECTED TO MEET IBC "STANDARD" GRADE FOR PLASTIC LAMINATE AND "PREMIUM" GRADE FOR ALL WOOD.
- 9.9 WHERE FILES ARE SHOWN AS BEING SET INTO CABINETWORK, THE CABINET CONTRACTOR SHALL SET AND BOLT ALL FILES TOGETHER.
- 9.10 ALL MILLWORK SHOP DRAWINGS ARE TO CALL OUT ALL MATERIALS AND FINISHES. ALL JOINTS, CORNERS, EDGES ARE TO BE DETAILED IN INDIVIDUAL DETAILS. ALL DIMENSIONS CRITICAL, OR OTHERWISE ARE TO BE CALLED OUT ON THE SHOP DRAWINGS. ARCHITECT WILL NOT REVIEW DRAWINGS, WHICH ARE INCOMPLETE OR SHOW MINIMAL REQUIRED DETAILING AND INFORMATION.
- 9.11 FILE DRAWERS REQUIRED ARE TO BE COMPLETE WITH FILE HANGERS TO ACCOMMODATE LEGAL AND LETTER SIZE FILE OPTIONS. DRAWER DEPTH TO BE ADJUSTED TO ALLOW FOR ADEQUATE CLEARANCE OF FILE FOLDER TABS.
- 9.12 SPECIFIED GROMMETS TO BE FIELD DRILLED AS REQUIRED TO ACCESS ELECTRICAL OUTLETS. SEE ELEVATIONS FOR LOCATION AND QUANTITY. GROMMETS TO BE LOCATED AT BACK OF SURFACE, CLOSE TO WALL.
- 9.13 TYPICAL SIZE TO BE 3"- TYPICAL. PULLS TO BE AS SPECIFIED ON ELEVATIONS. COLOR TO BE AS SPECIFIED ON ELEVATIONS.
- 9.14 VERIFY VARIOUS ELEVATIONS FOR MISCELLANEOUS HARDWARE AND FINISH SPECIFICATIONS.
- 9.15 U.N.O., BASE OF MILLWORK IS TO BE FINISHED WITH MATERIAL TO MATCH CABINERY. PLASTIC LAMINATE OVER 3/4" PLYWOOD FRAMING, U.O.N. HINGES ARE TO BE "SOSS" CONCEALED HINGES GS OVERLAY 1006 (OR EQUAL).
- 9.16 COORDINATION OF MILLWORK, STONE, OR OTHER SPECIALTIES CONTRACTORS IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- 9.17 MILLWORK CONTRACTOR TO PROVIDE ALL NECESSARY CUT- OUTS FOR PLUMBING, ELECTRICAL AND ALL OTHER REQUIRED COORDINATION WITH OTHER TRADES, WHERE ELECTRICAL WORK IS SPECIFIED, ALL LAMPS, FIXTURES, OUTLET, SWITCHES, PLUG MOLDS, ETC. ARE TO BE PROVIDED BY CABINET CONTRACTOR OR COORDINATED WITH ELECTRICAL CONTRACTOR.
- 9.18 FULLY CONCEALED CABINET INTERIORS TO BE "MELAMINE", WHITE AT PLASTIC LAMINATE AND BLACK AT WOOD VENEER CABINETS, UNLESS OTHERWISE NOTED.

- OTHERWISE NOTED.
- 9.19 COMPLETION OF WORK WILL INCLUDE CLEAN-UP AND REMOVAL OF ALL EXTRANEOUS ARTICLES AND DEBRIS GENERATED BY WORK. ALL MILLWORK TO BE CHECKED FOR PROPER MECHANICAL OPERATION.
- 9.20 ALL MILLWORK TO BE ATTACHED TO WALLS OR STRUCTURE AS REQUIRED FOR STABLE INSTALLATION.
- 9.22 CONTRACTOR TO SUBMIT ALL SHOP DRAWINGS, FINISH, DOOR AND HARDWARE SCHEDULES, SAMPLES AND CUT SHEETS FOR APPROVAL PRIOR TO START OF WORK.
- 9.22 AT ANY EXISTING SPACE THAT IS DIVIDED INTO A TWO SEPARATE SUITES, CONTRACTOR TO SPLIT ELECTRICAL SYSTEMS AS REQUIRED, SO EACH SUITE OPERATES INDEPENDENTLY.
- 9.23 MILLWORK CONTRACTOR TO SUBMIT WOOD, PAINT AND/OR STAIN SAMPLES AND FINISHES FOR APPROVAL BY H.H.D.A. PRIOR TO FABRICATION. WOOD SPECIES SPECIFIED SHALL BE SUBMITTED WITH SPECIFIED FINISH.
- 9.24 ALL PLASTIC LAMINATE SHEETS ARE TO BE PROPERLY BACKED TO PREVENT WARPAGE OF THE SUBSTRATE.
- 9.25 ALL WOOD VENEER AND PLASTIC LAMINATE PANELS OR SHELVES ARE TO HAVE GRAIN RUNNING PER ELEVATIONS. ALL EXPOSED EDGES TO BE Banded WITH MATCHING MATERIAL.
- 9.26 GENERAL CONTRACTOR TO PROVIDE AND INSTALL WALL BACKING: 16 GA. GALV. MET 4"- WIDE COVERING MINIMUM THREE STUDS AND SOWNED TO STUDS FOR ALL MILLWORK, TOILET ACCESSORIES, HANGING WALL EQUIPMENT, ETC. VERIFY LOCATIONS WITH MILLWORK CONTRACTOR.
- 9.27 ALL DRAWERS ARE TO BE FULL DEPTH COMPLETE WITH FULL EXTENSION DRAWER SLIDES RATED 50 LBS. WITH ROLLING BALLS, STEEL ROLLERS AND SELF-LUBRICATING BEARINGS.
- 9.28 FOR ADJUSTABLE SHELVING PROVIDE EUROPEAN STYLE, 5MM HOLES, 32MM ON CENTER WITH 5MM SELF PINS, UNLESS NOTED OTHERWISE.

10.0 DOORS, FRAMES, AND HARDWARE

- 10.1 THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL REQUIRED DOOR AND FRAME ASSEMBLIES AS SHOWN ON THE DRAWINGS, UNLESS OTHERWISE NOTED.
- 10.2 METALLED DOOR AND HARDWARE SCHEDULES AND CUT SHEETS SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW. FABRICATION OF MATERIAL SHALL NOT BE COMMENCED UNTIL SUCH REVIEW HAS BEEN COMPLETE AND RETURNED.
- 10.3 ALL EXISTING/ RELOCATED AND NEW DOOR ASSEMBLIES SHALL MEET ALL CURRENT TITLE 24 AND ADA ACCESSIBILITY REQUIREMENTS. MODIFY AND PROVIDE NEW AS NECESSARY FOR COMPLETE ASSEMBLY.
- 10.4 GENERAL CONTRACTOR IS RESPONSIBLE TO PROVIDE COMPLIANCE WITH LOCAL APPLICABLE CODES WITH RESPECT TO FIRE RATING OF DOORS, FRAMES, AND RELATED HARDWARE. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN CODES AND SPECIFICATIONS.
- 10.5 GENERAL CONTRACTOR TO PROVIDE AND INSTALL ALL DOORS, FRAMES AND RELATED HARDWARE, UNLESS NOTED OTHERWISE.
- 10.6 CONTRACTOR RESPONSIBLE FOR DOOR INVENTORY. REUSE MAXIMUM NUMBER OF DOORS FROM DEMOLITION. PRIOR TO ORDERING NEW DOOR ASSEMBLIES, CONTRACTOR TO VERIFY AVAILABILITY OF DOORS AVAILABLE FOR REUSE.
- 10.7 RELOCATE DOOR ASSEMBLIES WHERE POSSIBLE. TOUCH UP EXISTING DOORS FOR BEST POSSIBLE APPEARANCE WHERE APPLIES. IF RELOCATED DOORS ARE NOT AVAILABLE, ORDER NEW PER TYPE LISTED. REVIEW BUILDING STOCK FOR AVAILABILITY.
- 10.7 WHEN APPLICABLE, GENERAL CONTRACTOR TO BE RESPONSIBLE FOR PROVIDING DOOR TO VERIFY THE BUILDING KEYWAY SYSTEM AND COORDINATE. REQUIREMENTS WITH BUILDING OWNER AND TENANT. ALL LOCKSETS ARE TO BE KEVED SEPARATELY WITH MASTER KEY PROVIDED, UNLESS NOTED OTHERWISE. GENERAL CONTRACTOR SHALL SUBMIT A DETAILED KEYING SCHEDULE, AND FURNISH HARDWARE SAMPLES AT THE REQUEST OF THE ARCHITECT.
- 10.8 AT ANY FIRE RATED DOORS REQUIRED TO HAVE ACCESS CONTROL, OR MAGNETIC HOLD OPEN DEVICES COORDINATE INSTALLATION WITH FIRE ALARM AND SMOKE DETECTION SYSTEMS INTERFACE WIRING REQUIREMENTS.
- 10.9 AT ANY DOORS REQUIRED TO HAVE ACCESS CONTROL, COORDINATE WITH TENANT SECURITY VENDOR AND ELECTRICIAN FOR SECURITY ACCESSORIES.
- 10.10 DOORS WITH SECURITY SYSTEM SHALL HAVE BUILDING STANDARD LEVEL AND ELECTRIC COMPONENTS COMPATIBLE WITH BUILDING. PROVIDE KEY OVERRIDE FOR BUILDING ENGINEER/OWNER ACCESS.
- 10.11 AT EXISTING DOOR ASSEMBLIES MODIFY OR PROVIDE NEW AS REQUIRED. CONTRACTOR TO VERIFY FRAME. SIZE REQUIRED DUE TO STUD SIZE REQUIREMENT, AS NOTED IN PARTITION PLAN.
- 10.12 PROVIDE DOOR, FRAME AND HARDWARE SUBMITTALS FOR REVIEW BEFORE ORDER PLACEMENT. PROVIDE STAIN SUBMITTAL ON SPECIFIED WOOD SPECIES FOR APPROVAL.
- 10.12 ALL EXISTING DOOR ASSEMBLIES TO BE VERIFIED. PROVIDE MISSING OR COMPLAINT HARDWARE AS REQUIRED. REFER TO DOOR SCHEDULE.
- 10.13 U.N.O. AT NEW DOOR ASSEMBLIES: ALL FRAMES TO MATCH EXISTING.
- 10.14 U.N.O. SELF-CLOSING DEVICES TO BE BUILDING STANDARD.
- 10.15 ALL EXISTING DOORS COMPLY WITH RATING REQUIREMENTS, 20 MINUTE ON RATED CORRIDOR, AND LEVER HARDWARE, U.O.N. ALL DOORS MEET OR EXCEED MIN. SIZE REQUIREMENT OF 3'-0" X 6'-8".
- 10.16 MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 POUNDS FOR EXTERIOR AND INTERIOR DOORS.
- 10.17 ALL DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- 10.18 ALL DOORS TO RECEIVE APPROPRIATE BUILDING STANDARD DOOR STOPS.
- 10.19 ALL FLOOR-MOUNTED STOPS ARE TO BE INSTALLED AFTER THE INSTALLATION OF THE FINISHED FLOOR MATERIAL.
- 10.19 THE GENERAL CONTRACTOR SHALL UNDERCUT DOORS AS REQUIRED TO CLEAR FLOORING MATERIAL BY 1/4". ALL RATED DOORS, IF ANY, SHALL BE ORDERED SO AS TO CLEAR FLOORING MATERIAL BY 1/4".
- 10.20 PROVIDE PAIR OF DOORS WITH APPLICABLE ASTRAGALS, AUTOMATIC FLUSH BOLTS, SELF-CLOSERS AND COORDINATORS.
- 10.21 DOORS AND FRAMES THAT ARE PART OF 20-MINUTE FIRE ASSEMBLY SHALL HAVE SELF CLOSERS OR AUTOMATIC CLOSERS WITH SMOKE DETECTORS AND SMOKE SEALS.

11.0 GENERAL FINISHES

- 11.1 ALTERNATES TO SPECIFIED FINISHES SHALL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT.
- 11.2 ALL FLOOR AND WALL FINISHES SUPPLIED AND INSTALLED BY CONTRACTOR UNLESS NOTED OTHERWISE.
- 11.3 CONTRACTOR TO PROVIDE MAINTENANCE SPECIFICATIONS AND RECOMMENDATIONS, AND MATERIAL AND LABOR WARRANTIES TO TENANT/OWNER AT PROJECT COMPLETION.
- 11.4 ALL SUBSTRATES SHALL BE CLEANED AND PREPARED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR TO INCLUDE ALL NECESSARY TESTING (MOISTURE, MOLD, ASBESTOS ETC.) AS REQUIRED. INSTALL NEW FINISHES PER MANUFACTURERS RECOMMENDATIONS AND MAINTAIN PRODUCT WARRANTIES.
- 11.5 THE INTERIOR FINISHES SHALL COMPLY WITH 2013 CBC CHAPTERS 803.1, 804.1, AND TABLE 803.5. ALL DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME RETARDANT CONDITION. THE MAXIMUM FLAME SPREAD CLASS OF ALL FINISH MATERIALS SPECIFIED FOR INTERIOR WALLS AND CEILINGS DOES NOT EXCEED THAT SET FORTH IN TABLE 803.9.
- 11.6 FLOOR AND WALL COVERING IN CLOSETS SHALL BE THE SAME AS THAT OF THE SPACE INTO WHICH THE CLOSET DOORS OPEN, UNLESS OTHERWISE NOTED.
- 11.7 REFER TO BUILDING STANDARDS FOR ADDITIONAL INFORMATION.

12.0 WALL FINISHES

- 12.1 WALLS SHALL INCLUDE SURFACES FROM FLOOR TO CEILING, INCLUDING PLASTER, FASCIAS, AND ALL VERTICAL SURFACES NOT INCLUDED IN CEILING, UNLESS OTHERWISE NOTED.
- 12.2 WALLCOVERING SUBCONTRACTOR TO REVIEW PERTINENT WALL PATCHING NOTES IN "SECTION 3.01, PATCHING AND CUTTING" ON THIS SHEET, AND ENSURE SURFACES ARE PROPERLY PREPPED PRIOR TO COMMENCING WORK.
- 12.3 THE GENERAL CONTRACTOR SHALL SUBMIT THREE SAMPLES (12"x12") OF EACH FINISH FOR REVIEW BY ARCHITECT. THIS INCLUDES, BUT IS NOT LIMITED TO ALL PAINT, WALLCOVERINGS, ETC.
- 12.4 ALL WALLS AND CEILINGS SHALL BE PROPERLY PREPARED, PATCHED, SANDED, ETC. UNEVENNESS IN EXISTING PARTITIONS SHALL BE SANDED OR CHIPPED AWAY AND SURFACES PATCHED TO INSURE A PERFECTLY EVEN SURFACE. PROVIDE A LEVEL 4 FINISH AND PROVIDE LEVEL 5 FINISH ONLY WHERE INDICATED ON PLAN.
- 12.5 ALL OPEN PORES IN WOOD SHELVING AND PAINTED DOORS SHALL BE FILLED AND SHALL RECEIVE PRIMING, SANDING AND TWO FULL COATS OF SEMI-GLOSS ENAMEL, FREE OF BRUSH MARKS, U.O.N.
- 12.6 THE CONTRACTOR SHALL REMOVE ALL ELECTRICAL SWITCH PLATES AND OUTLET PLATES, SURFACE HARDWARE, ETC. PRIOR TO PAINTING. PROTECTING AND REPLACING SAME WHEN PAINTING HAS BEEN COMPLETED. HE SHALL REMOVE ALL PAINT FROM WHERE IT HAS SPILLED, SPLASHED OR SPLATTERED ON SURFACES, INCLUDING BUT NOT LIMITED TO LIGHT FIXTURES, DIFFUSERS, REGISTERS, ETC.

- 12.7 EXISTING LOOSE PAINT SHALL BE REMOVED AND THE SURFACE SANDED SMOOTH TO RECEIVE NEW FINISH.
- 12.8 THE CONTRACTOR SHALL USE A LATEX BASE PAINT IN COLORS AND FINISHES SELECTED BY ARCHITECT. PRIOR TO APPLICATION OF PAINT ALL SURFACES ARE TO BE PROPERLY PREPARED, TAPED, AND TEXTURED, AS REQUIRED FOR SMOOTH SURFACE. ALL SURFACES TO RECEIVE ONE (1) PRIMER COAT AND TWO (2) FINISH COATS OF PAINT IN COLOR SELECTED BY ARCHITECT. USE APPROPRIATE COLOR OF PRIMER TO AVOID "READ" THROUGH AT NEW WALL FINISH LOCATIONS.
- 12.9 ALL PAINTING BIDS HAVE TO INCLUDE REPAINTING WINDOW MULLIONS AND DOOR FRAMES AS NEEDED WHERE SPECIFIED, TYP.
- 12.10 U.N.O. ALL TELEPHONE BACKBOARD OR ELECTRICAL PANELS TO BE PAINTED. U.N.O. COLOR TO MATCH WALL COLOR. PAINT ALL ACCESS PLATES, PANEL BOXES, ETC. TO MATCH ADJACENT PAINTED SURFACE, UNLESS OTHER WISE NOTED.
- 12.11 THE GENERAL CONTRACTOR SHALL INSTALL WALLCOVERINGS AS PER MANUFACTURER'S INSTALLATION SPECIFICATIONS, WHERE DESIGNATED. ALL WALLCOVERINGS SHALL BE SMOOTH, WITH NO WRINKLES, BUBBLES OR LOOSE EDGES, ALL PASTE AND BRUSH MARKS SHALL BE THOROUGHLY REMOVED. WALLCOVERING ADDJONING WOOD OR METAL TRIM SHALL BE CUT STRAIGHT AND SQUARE. CONTRACTOR TO TEST HANG (3) PANELS OF ALL TYPES OF COVERINGS FOR REVIEW AND APPROVAL BY THE ARCHITECT PRIOR TO FULL INSTALLATION.
- 12.12 AT ANY WALLCOVERING INSTALLATION SCHEDULED TO MATCH ADJACENT EXISTING CONDITIONS, CONTRACTOR RESPONSIBLE FOR ADEQUATE PRODUCT INSTALLATION SO THAT CONSISTENT WALLCOVERING SHADING EXTENDS FROM CORNER TO CORNER PROMPTLY.
- 12.13 U.N.O. IF NEW DOORS ARE NOT PRE-FINISHED, COORDINATE WITH DOOR CONTRACTOR AND PROVIDE SPECIFIED FINISH AT ALL DOORS.
- 12.14 U.N.O. ANY RELOCATED DOORS TO BE TOUCHED-UP, U.N.O. DOORS TO BE FINISHED AS SPECIFIED FOR "BEST POSSIBLE APPEARANCE".
- 12.15 THE CONTRACTOR SHALL EXAMINE ALL AREAS OF CONSTRUCTION AFTER COMPLETION OF WORK BY ALL TRADES (INCLUDING TELEPHONE INSTALLATION, WIRING, ETC.) AND COMPLETE ALL NECESSARY "TOUCH-UP" PAINTING AND/OR PATCHING PRIOR TO SCHEDULING A PUNCHWALK.
- 12.16 REFER TO MILLWORK ELEVATIONS FOR PLASTIC LAMINATE, WOOD VENEER ETC.FINISH LOCATIONS.
- 12.17 IT IS THE INTENT OF THE DRAWINGS THAT ALL EXPOSED SURFACES RECEIVE FINISHES UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS. ANY SURFACES WHICH DO NOT HAVE A SPECIFIC FINISH NOTED, OR ARE NOTED TO REMAIN UNFINISHED, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND FINISHED PER ARCHITECT'S INSTRUCTIONS.
- 12.18 PROVIDE CLASS "C" FLAME SPREAD AND SMOKE DENSITY FOR WALL AND CEILING FINISHES IN ACCORDANCE WITH CBC TABLE 803.5.

13.0 FLOOR COVERING

- 13.1 FLOORING SUBCONTRACTOR TO REVIEW PERTINENT FLOOR PATCHING NOTES IN "SECTION 3.01, PATCHING AND CUTTING" ON THIS SHEET, AND ENSURE SURFACES ARE PROPERLY PREPPED PRIOR TO COMMENCING WORK.
- 13.2 FLOOR PREPARATION OF THE FLOOR SUBCONTRACTOR. CONTRACTOR SHALL FILL, SAND, AND LEVEL AS REQUIRED PRIOR TO INSTALLING FINISH MATERIAL. ALL SELF LEVELING COMPOUNDS USED SHALL BE CEMENTITIOUS.
- 13.3 ALL NEW FLOORING IS TO BE PROVIDED AND INSTALLED BY GENERAL CONTRACTOR AND SHALL BE AS SPECIFIED ON CONSTRUCTION DOCUMENTS, UNLESS OTHERWISE NOTED.
- 13.4 TILE SHALL BE LAID IN SQUARE PATTERN WITH COURSES PARALLEL TO WALLS, UNLESS OTHERWISE INDICATED ON DRAWINGS. THE TILE SHALL BE SECURELY CEMENTED AND SHALL BE LAD WITH TIGHT JOINTS. THE ADHESIVE USED FOR CEMENTING TILE SHALL BE APPLIED FAR ENOUGH IN ADVANCE OF THE SETTING TO PERMIT THE ADHESIVE TO REACH ITS INITIAL SET, BUT NOT ITS FINAL SET. ALL STONE AND TILE FLOORING SHALL BE INSTALLED OVER CRACKED ISOLATION/WATERPROOFING MEMBRANE PER CITI STANDARDS. CONTRACTOR TO TEST SLAB FOR MOISTURE PRIOR TO INSTALLATION OF RESILIENT FLOORING, AND INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- 13.5 SPACES BEING SURFACED SHALL BE CLOSED TO TRAFFIC AND OTHER WORK DURING THE LAYING OF FLOORING. STONE FLOORS SHALL BE COVERED AFTER INSTALLATION FOR PROTECTION.
- 13.6 ALL MASONRY WALLS AND DRYWALL PARTITIONS SHALL HAVE SPECIFIED STRAIGHT RESILIENT BASE IN CUT PAID CARPETED AREAS AND IN CORNERS. RESILIENT BASE IN LOOP PILE CARPET AND RESILIENT AREAS, UNLESS OTHERWISE NOTED.
- 13.7 UPON COMPLETION, ALL WORK SHALL BE CLEANED BY THE CONTRACTOR, REMOVING ALL SPOTS OF ADHESIVE AND SURFACE STAINS AND ALL SCRAPS, CARTONS AND CONTAINERS SHALL BE REMOVED FROM THE BUILDING.
- 13.8 WHEN SPECIFICALLY DIRECTED, AFTER CLEANING, THE GENERAL CONTRACTOR SHALL GIVE RESILIENT TILE FLOOR TWO (2) APPLICATIONS OF AN APPROVED NON-SLIP WAX, WHICH IS TO BE THOROUGHLY MACHINE BUFFED AND LEFT IN CONDITION SATISFACTORY TO OWNER. STONE/TILE & GROUT TO BE SEALED AS REQUIRED PER MANUFACTURER'S RECOMMENDATIONS AND BASE TO BE CALKED WITH CLEAR SILICONE.
- 13.9 THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE PROTECTION FOR ALL FLOORING WORK FOR THE DURATION OF THE CONTRACT, AND REMOVE ALL PROTECTION PRIOR TO PUNCHLIST. ONLY OWNER APPROVED CARPET PROTECTION SHALL BE USED, ENSURING NO RESIDUE WILL REMAIN UPON REMOVAL.
- 13.10 STONE, WOOD AND TILE FLOORING CONTRACTORS TO SUBMIT ACTUAL DIMENSIONED LAYOUT PLAN FOR ARCHITECT'S REVIEW PRIOR TO INSTALLATION.
- 13.11 CONTRACTOR TO ENSURE THAT EXISTING CONCRETE FLOOR SLAB TO BE EVEN AND THAT SURFACE VARYING NO MORE THAN 1/4" IN 10'-0". FLOAT FLOOR AS NECESSARY. EACH SIDE OF THE DOOR SHALL BE LEVEL 5'-0" X 5'-0".
- 13.12 AT ALL CARPET TO VCT TRANSITIONS, PROVIDE RUBBER TRANSITION STRIP TO MATCH RUBBER BASE. ENSURE NO "TRIPPING HAZARDS." REFER TO FINISH LEGEND FOR SPEC.
- 13.13 ALL STONE TO CARPET TRANSITIONS TO BE STAINLESS STEEL SCHLUTER STRIP. REFER TO FINISH LEGEND FOR SPECIFICATION.
- 13.14 U.N.O. AT TRANSITION BETWEEN DIRECT GLUE CARPET AND CARPET OVER PAD, FLOAT FLOOR AS REQUIRED TO PROVIDE A SMOOTH AND EVEN TRANSITION. FLOOR FLOAT TO BE UNDETECTABLE.
- 13.15 U.N.O. AT ANY VCT INSTALLATION, A FULL TILE SHOULD BE INSTALLED AT CENTERLINE OF A DOOR OPENING.
- 13.16 WHEN NEW FLOOR FINISH IS SCHEDULED TO BE INSTALLED AT ROOMS WITH KITCHEN CABINETS, NEW FLOORING TO BE INSTALLED BELOW SINK CABINET.
- 13.17 U.N.O. ANY VCT FLOORING SCHEDULED TO REMAIN IS TO BE STRIPPED, CLEANED, SEALED/POLISHED AND BUFFED PER MANUFACTURERS RECOMMENDATIONS.
- 13.18 CONTRACTOR TO COORDINATE WITH CARPET VENDOR TO ENSURE THAT EXISTING FLOOR HAS BEEN PREPARED. PER MANUFACTURER'S RECOMMENDATIONS AND THE LATEST GUIDELINES OF THE CARPET AND RUG INSTITUTE PRIOR TO FULL INSTALLATION. IF SUBSTRATE IS DAMAGED, CONTRACTOR TO QUALIFY BEST METHOD TO PREPARE FLOORING TO RECEIVE NEW FINISH. NOTICEABLE DEFECTS THOUGH NEW WORK, SHALL RESULT REINSTALLATION OF FINISH TO SATISFACTION OF END USER.
- 13.19 ALL CARPET TO BE FROM SAME DYE LOT. SUBMIT A SEAMING DIAGRAM TO ARCHITECT FOR REVIEW & APPROVAL BEFORE ORDER.
- 13.20 CARPET CONTRACTOR TO PROVIDE SEAMING DIAGRAM AND THREE (3) 12 X 12 SAMPLES TO ARCHITECT FOR REVIEW PRIOR TO INSTALLATION OF ALL SPECIFIED FLOOR COVERINGS AND BASE MATERIALS.
- 13.21 U.N.O. AT ANY OCCUPIED SPACE SCHEDULED TO RECEIVED NEW FLOOR FINISH, CONTRACTOR SHALL BE RESPONSIBLE TO MOVE EXISTING FURNITURE TO INSTALL NEW CARPET. COORDINATE WITH BUILDING MANAGEMENT/CONSTRUCTION MANAGER/OWNER FOR AFTER-HOURS SCHEDULE.
- 13.22 AT ANY BASE INSTALLATION TO MATCH EXISTING, BASE TO BE CONSISTENT FOR COLOR AND SEAMLESS APPEARANCE. ALL RUBBER/VINYL BASE IS TO BE CONTINUOUS ROLLED GOODS, U.N.O.
- 13.23 WHERE WOOD BASE EXISTS IN OFFICES AND NEW FINISHES TO BE INSTALLED, WOOD BASE SHOULD BE REMOVED AND REINSTALLED. CONTRACTOR TO INCLUDE IN THE BID TO PROVIDE A NEW BASE SUPPLEMENTED TO MATCH EXISTING CONDITIONS IF REQUIRED.
- 13.24 CONTRACTOR TO COORDINATE ALL FLOORING CONTRACTORS INVOLVED TO ASSURE FLUSH INSTALLATION OF VARYING FLOOR MATERIALS USED. ALL TRANSITION METHODS TO BE APPROVED BY ARCHITECT.
- 13.25 ALL FLOOR SURFACES TO BE PREPPED AS REQUIRED BY MANUFACTURER'S INSTRUCTIONS.
- 13.26 FLOOR COVERING MATERIALS SHALL COMPLY WITH ASTM E 648, AND HAVING A SMOKE DENSITY RATING OF LESS THAN 450 PER ASTM E 84. CBC 804.4.1.

14.0 WINDOW COVERINGS

- 14.1 ALL WINDOW COVERINGS SHALL BE INSPECTED BY THE CONTRACTOR AND ALL INOPERABLE OR DAMAGED CONDITIONS SHALL BE REPAIRED OR REPLACED.
- 14.2 ALL EXISTING WINDOW COVERINGS SHALL BE PROTECTED DURING CONSTRUCTION PERIOD.
- 14.3 PROVIDE NEW BUILDING STANDARD WINDOW COVERINGS AT ALL EXTERIOR WINDOWS IN FIRST GENERATION SPACES.

16.0 CLEANING

- 16.1 THE "EXISTING TO REMAIN", "EXISTING TO BE RELOCATED" OR "NEW" ITEMS INSTALLED BY THE GENERAL CONTRACTOR, IN ADDITION TO BEING AMLY PROTECTED THROUGHOUT THE PERIOD OF CONSTRUCTION SHALL BE THOROUGHLY CLEANED TO THE SATISFACTION OF OWNER AND TENANT PRIOR TO BEING TURNED OVER TO THE TENANT.

17.0 SUBMITTAL PROCEDURES

- 17.1 GENERAL CONTRACTOR SHALL SUBMIT ALL REQUESTED FABRICATION SHOP DRAWINGS, SAMPLES AND FIXTURE CUTS TO ARCHITECT FOR REVIEW.
- 17.2 THREE (3) SETS OF REPRODUCIBLE PAPER COPIES SHALL BE PROVIDED. ALL SHOP DRAWINGS AND CUT SHEETS SIGNED "REVIEWED" SHALL SUPERSEDE ORIGINAL DRAWINGS IN DESIGN APPEARANCE ONLY. SUBCONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS IN THEIR DRAWINGS.
- 17.3 GENERAL CONTRACTOR SHALL REVIEW SUBCONTRACTOR'S SUBMITTED DRAWINGS AND DATA, VERIFY FIELD MEASUREMENTS, APPLY REVIEW STAMP AND SUBMIT TO ARCHITECT PROMPTLY.
- 17.4 GENERAL CONTRACTOR SHALL INDICATE ON REVIEW STAMP THAT THE CONTRACTOR HAS REVIEWED SUBCONTRACTOR'S SUBMITTAL FOR CONFORMANCE TO THE SPECIFIED PRODUCT.
- 17.5 GENERAL CONTRACTOR SHALL DISAPPROVE AND RETURN TO SUBCONTRACTOR ANY SUBMITTALS NOT MEETING THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. GENERAL CONTRACTOR SHALL MAINTAIN AN UP-TO-DATE SUBMITTAL LOG, AND DISTRIBUTE THE LOG WEEKLY.
- 17.6 THE ARCHITECT WILL REVIEW, AND EITHER ACCEPT OR REJECT, WITH REASONABLE PROMPTNESS AND AS OUTLINED IN THE ACCEPTED SUBMITTAL SCHEDULE, DATA AND DRAWINGS SUBMITTED BY THE CONTRACTOR. THE ARCHITECT WILL REVIEW SUBMITTALS FOR CONFORMANCE WITH THE INTENT OF THE DESIGN, AND FOR COMPLIANCE WITH SPECIFIC AND RELEVANT REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- 17.7 THE ARCHITECT WILL REJECT AND RETURN TO THE CONTRACTOR, SHOP DRAWINGS AND PRODUCT LITERATURE SUBMITTED WITHOUT THE CONTRACTOR'S REVIEW STAMP AND/OR NOT THOROUGHLY REVIEWED BY CONTRACTOR PRIOR TO SUBMITTAL.
- 17.8 THE ARCHITECT IS NOT RESPONSIBLE FOR DELAYS CAUSED BY REJECTION OF SHOP DRAWINGS SUBMITTED BY THE CONTRACTOR.
- 17.9 REVIEW WILL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR ERRORS.
- 17.9 REVIEW OF SUBMITTALS BY THE ARCHITECT SHALL NOT BE CONSTRUED AS AUTHORIZING CHANGES IN THE CONTRACT SUM OR CONTRACT TIME, NOR SHALL IT BE CONSTRUED AS RELIEVING THE CONTRACTOR OF HIS RESPONSIBILITY FOR COORDINATION OF WORK WITH OTHER TRADES, OR INTERPRETED AS APPROVING QUANTITIES AND DIMENSIONS.
- 17.10 THE ARCHITECT'S REVIEW OF SUBMITTALS OR DATA SHALL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR DEVIATIONS FROM CONTRACT DRAWINGS OR SPECIFICATIONS UNLESS THE CONTRACTOR HAS CALLED THE ARCHITECT'S AND OWNER'S ATTENTION TO SUCH DEVIATIONS AND SECURED WRITTEN ACCEPTANCE, NOR SHALL IT RELIEVE HIM OF RESPONSIBILITY FOR ERRORS IN SHOP DRAWINGS OR OTHER DATA.

18.0 SUBSTITUION PROCEDURES

- 18.1 THE GENERAL CONTRACTOR SHALL SUBMIT HIS WRITTEN REQUEST FOR A PROPOSED SUBSTITUTION AND ALL DATA SUBSTANTIATING HIS REQUEST. THE GENERAL CONTRACTOR SHALL INCLUDE SAMPLES OF THE PROPOSED SUBSTITUTION WITH HIS REQUEST.
- 18.2 IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO SUBMIT COMPLETE INFORMATION TO THE ARCHITECT SO THAT PROPER EVALUATION CAN BE MADE. THE BURDEN OF PROOF OF EQUIVALENCY OF THE SUBSTITUTION ITEM SHALL BE ON THE GENERAL CONTRACTOR. ACCEPTANCE OF SUCH SUBSTITUTIONS IS ENTIRELY AT THE DISCRETION OF THE ARCHITECT AND THE BUILDING OWNER. ALL MATERIALS AND/OR ITEMS OF MANUFACTURER, WHICH THE GENERAL CONTRACTOR PROPOSES TO SUBSTITUTE FOR THOSE SPECIFIED MUST BE REVIEWED BY THE ARCHITECT BEFORE THEY MAY BE ORDERED. SUBSTITUTIONS SHALL BE SUBMITTED PRIOR TO CONSTRUCTION.
- 18.3 NO SUBSTITUTION WILL BE REVIEWED FOR ANY MATERIALS AND/OR ITEM OF MANUFACTURER CALLED FOR IN THE CONSTRUCTION DOCUMENTS WHICH IS NOT OF EQUAL QUALITY AND PERFORMANCE AND WHICH DOES NOT POSSESS EQUIVALENT DESIGN AND/OR COLOR CHARACTERISTICS TO THOSE OF SPECIFIED MATERIAL OR ITEM.
- 18.4 IF, IN THE OPINION OF THE ARCHITECT, BUILDING OWNER OR END USER, THE SUBSTITUTION IS NOT EQUIVALENT OR INTERFERE IN EVERY RESPECT TO THAT SO INDICATED OR SPECIFIED, OR WAS NOT SUBMITTED FOR REVIEW IN THE MANNER OUTLINED ABOVE, THE GENERAL CONTRACTOR SHALL FURNISH THE SPECIFIED MATERIALS. THESE MATERIALS SHALL BE SUPPLIED AT NO ADDITIONAL COST TO THE BUILDING OWNER/END USER.

City of Irvine

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BY

Director of Community Development

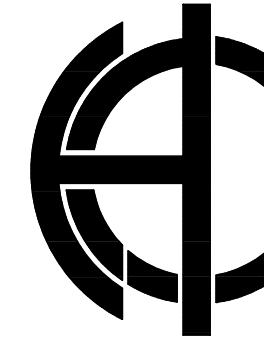
CASE #

00951354-PCPM

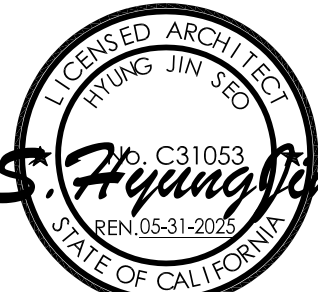
DATE

September 10, 2025

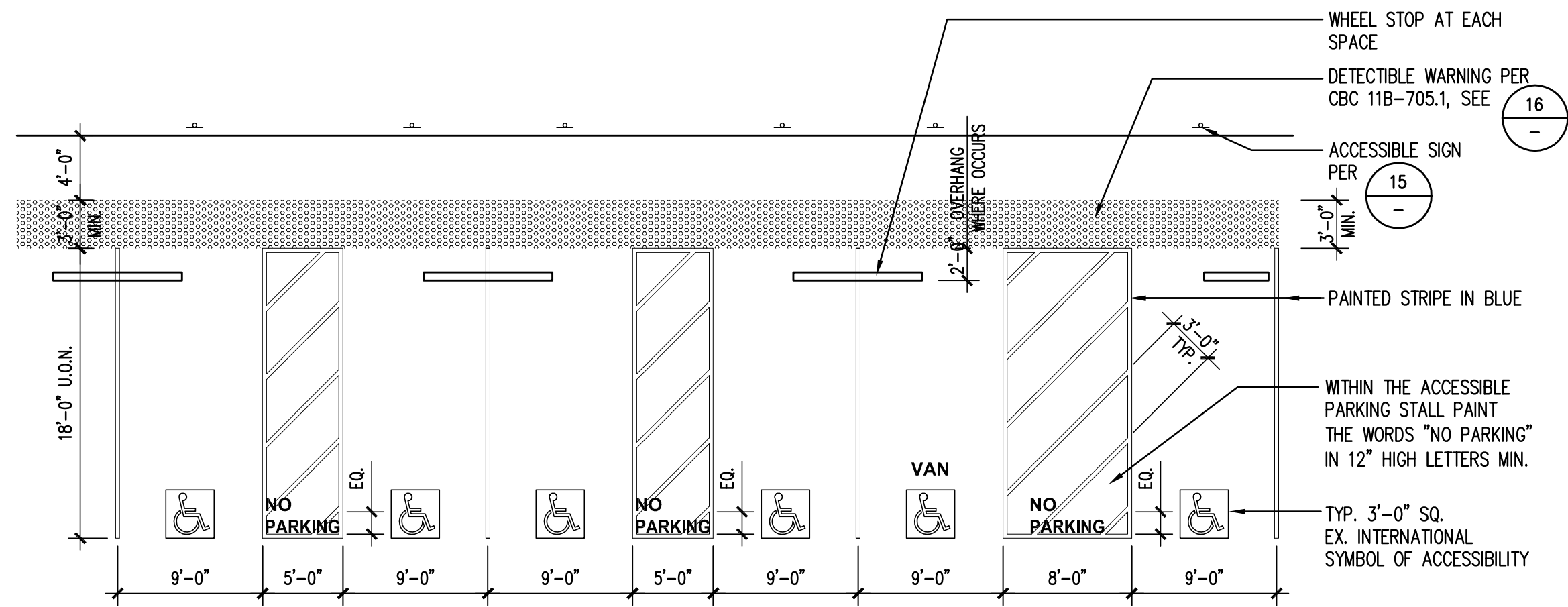
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HACINC, 2601 Walnut Ave, Suite E,
Irvine, CA 92780
1-949-892-9732, E.haci@haciinc.com



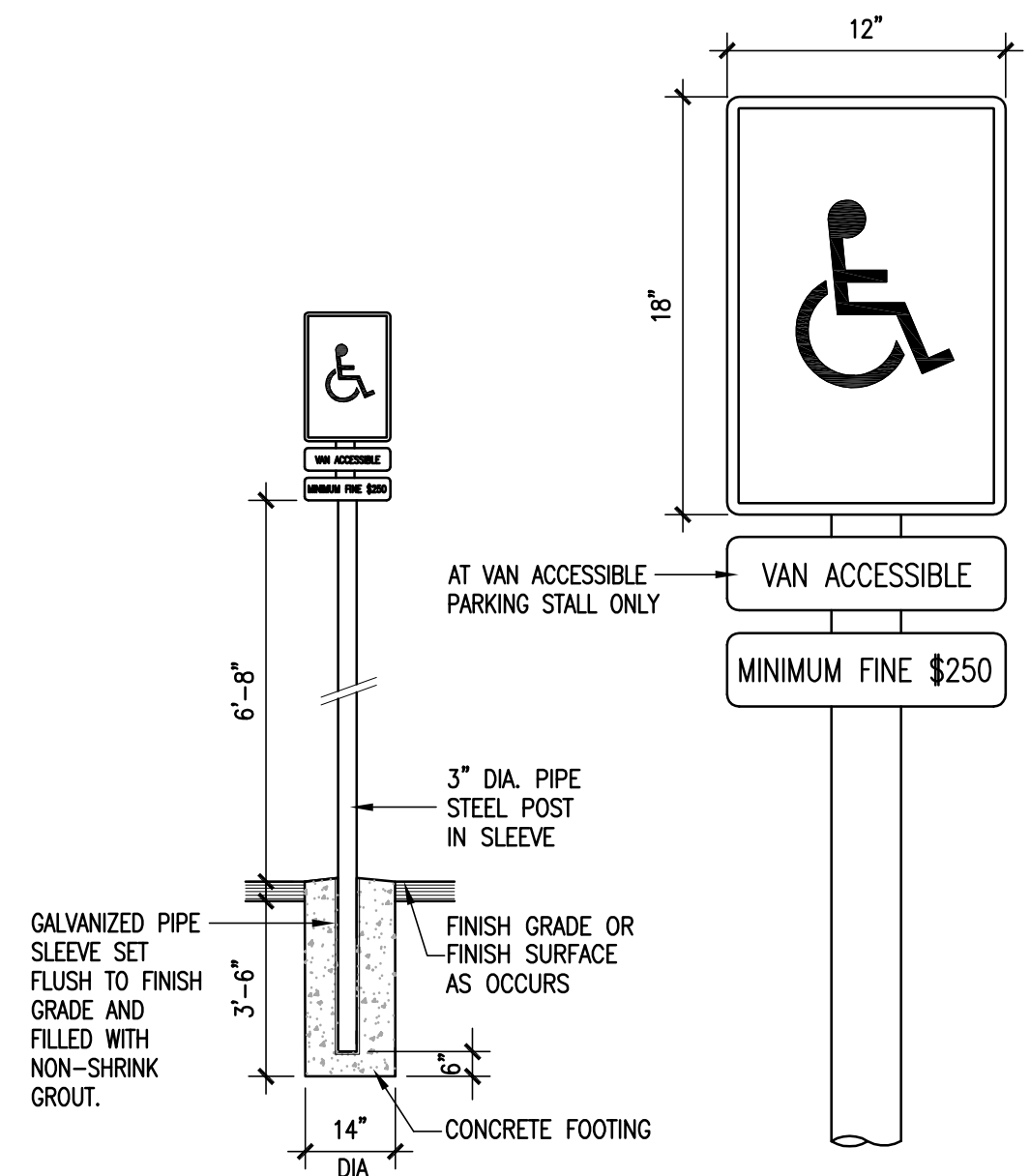
Rancho San Joaquin Driving Range



NOTE: THE MAXIMUM SLOPE OF THE PARKING SURFACE AT THE ACCESSIBLE SPACE AND ADJACENT ACCESS AISLE, IN ANY DIRECTION, SHALL BE $\leq 1:48$.

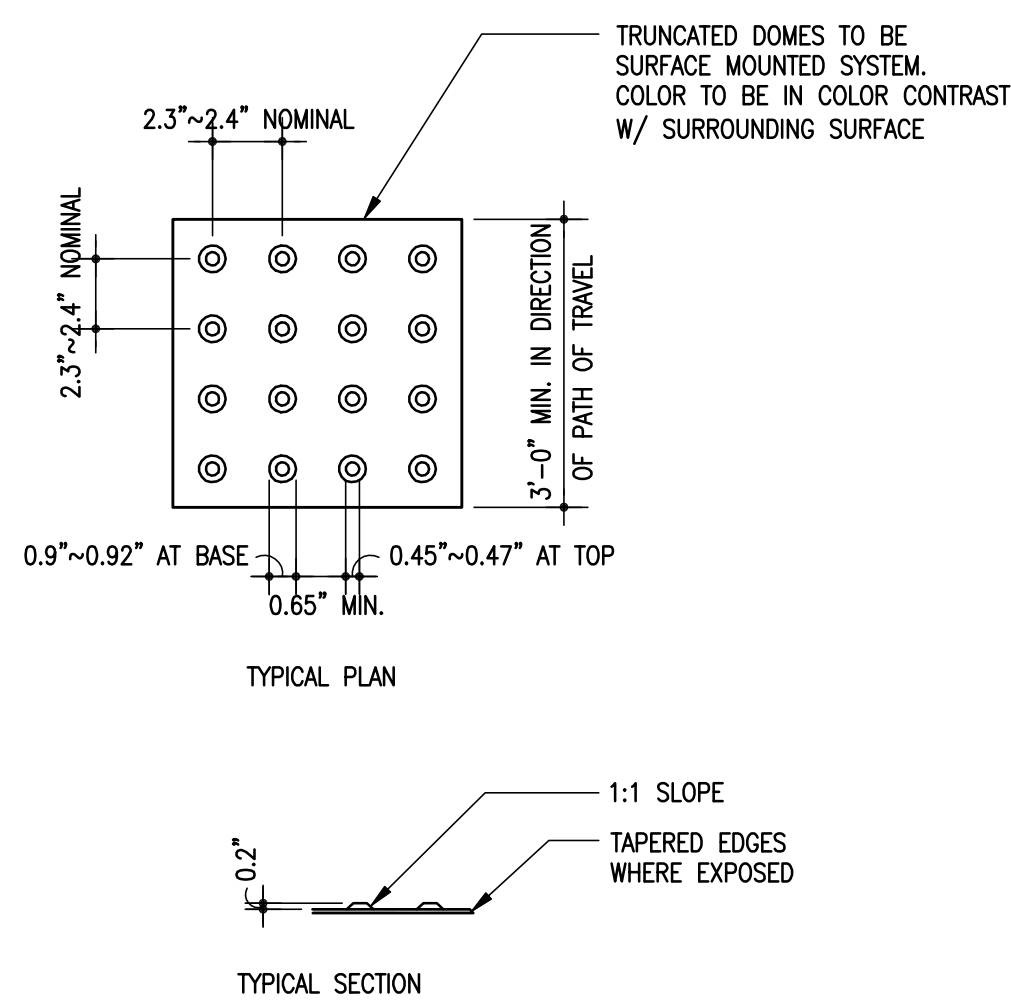
05 ACCESSIBLE STALLS

REF. SCALE: 1/8" = 1'-0"



15 ACCESSIBLE PARKING SIGN

REF. SCALE: 1 1/2" = 1'-0"



16 TRUNCATED DOME

REF. SCALE: 1/2" = 1'-0"

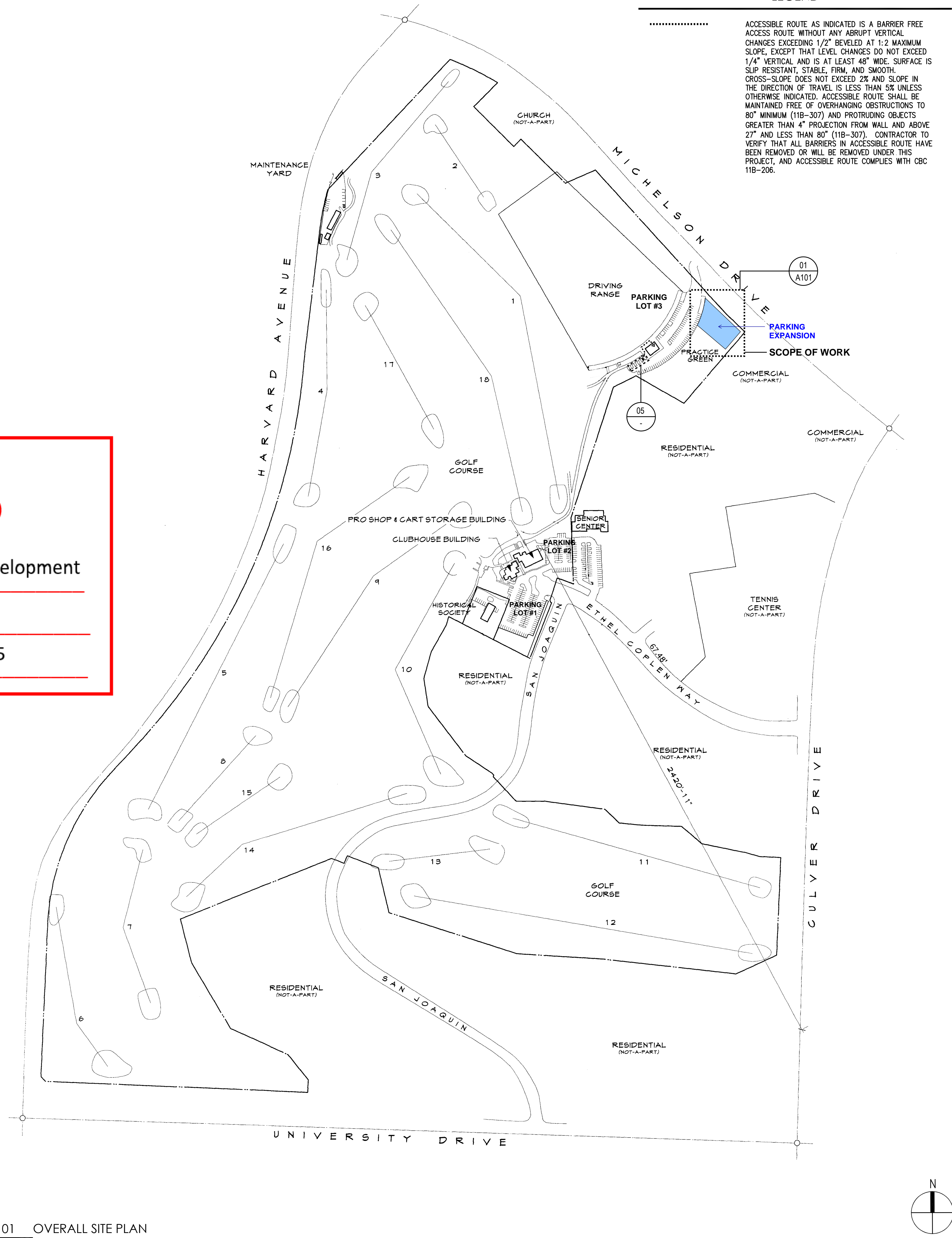
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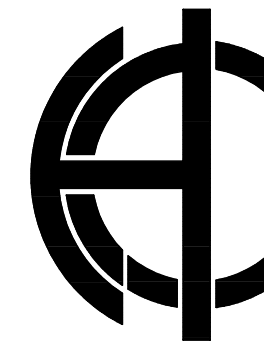


01 OVERALL SITE PLAN

SCALE: 1" = 250'

LEGEND

ACCESSIBLE ROUTE AS INDICATED IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM, AND SMOOTH. CROSS-SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. ACCESSIBLE ROUTE SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM (11B-307) AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80" (11B-307). CONTRACTOR TO VERIFY THAT ALL BARRIERS IN ACCESSIBLE ROUTE HAVE BEEN REMOVED OR WILL BE REMOVED UNDER THIS PROJECT, AND ACCESSIBLE ROUTE COMPLIES WITH CBC 11B-206.



HACINC, 2601 Walnut Ave, Suite E,
Irvine, CA 92618
1-949-892-9732, E.haci@hacinc.com



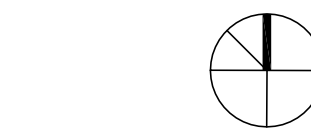
Rancho San Joaquin Driving Range
Parking Expansion
1 Ethel Copen Way,
Irvine, CA 92612

Developed for Step Management Inc

Revision	Description	Date

Revision	Description	Date

Key Plan N.T.S.



Date	Drawn By
Project Numbers	Checked By
202201.01	
Sheet Title	

OVERALL SITE PLAN

Sheet Number

A100

00951354-PCPM

GENERAL NOTES

1. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, LIGHTING, POWER, AND COMMUNICATIONS NECESSARY TO ACCOMPLISH THE DEMOLITION WORK AS DESCRIBED ON THE DRAWINGS
2. THE CONTRACTOR SHALL CLEAN ALL ADJACENT SPACES AND IMPROVEMENTS OF ALL DEBRIS CAUSED BY DEMOLITION OPERATIONS AS DIRECTED BY OWNER AND OR THE ARCHITECT.
3. THE CONTRACTOR SHALL DISPOSE OF REMOVED AND DEMOLISHED ITEMS INCLUDING TRASH AND DEBRIS OFF THE OWNER'S PREMISES IN A LEGAL FASHION, LEAVING THE PREMISES IN A BROOM-CLEAN CONDITION.
4. THE CONTRACTOR SHALL ACCOMPLISH ALL DEMOLITION WORK IN ACCORDANCE WITH ALL GOVERNMENTAL REQUIREMENTS, SUPPLYING ADEQUATE PROTECTION AROUND ALL OPENINGS, PROVIDING ALL BARRICADES AND SAFEGUARDS AT ALL HOLES, SHAFT OPENINGS, ETC., TO PREVENT INJURY TO WORKMEN AND OTHERS HAVING BUSINESS WITHIN AND ABOUT THE PREMISES. ALSO PROVIDE ALL SAFEGUARDS AS REQUIRED BY THE BUILDING CODE, OSHA, OR OTHER DEPARTMENTS HAVING JURISDICTION. TAKE FULL RESPONSIBILITY FOR ALL SAFETY PRECAUTIONS AND METHODS.
5. ALL CONSTRUCTION MATERIALS TO BE RECYCLED TO THE MAXIMUM FEASIBLE EXTENT. ALL RECYCLABLE CONSTRUCTION MATERIALS ARE TO BE TAKEN TO AN APPROVED TRANSFER STATION.
6. MAINTAIN CONNECTIONS TO EXISTING SITE LIGHTING AND PARKING LOT LIGHTING DURING CONSTRUCTION.
7. CONTRACTOR TO STORE SALVAGED MATERIALS ON SITE IN A PROTECTED AREA AND IS RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF DEVICE FOR REUSE.
8. DEMOLITION SHALL INCLUDE ALL EXISTING CEILINGS, AND CEILING ELECTRICAL AND MECHANICAL FIXTURES, UNLESS NOTED OTHERWISE.
9. PRIOR TO WORK, CONTRACTOR SHALL FIELD VERIFY IF THERE IS ANY STRUCTURAL WALL AND FIRE RATED WALL THAT ARE TO BE REMOVED AND NOTIFY ARCHITECT.
10. CONTRACTOR SHALL THOROUGHLY INVESTIGATE STRUCTURE AND PROVIDE SHORING PRIOR TO DEMOLITION AS NECESSARY.

LEGEND

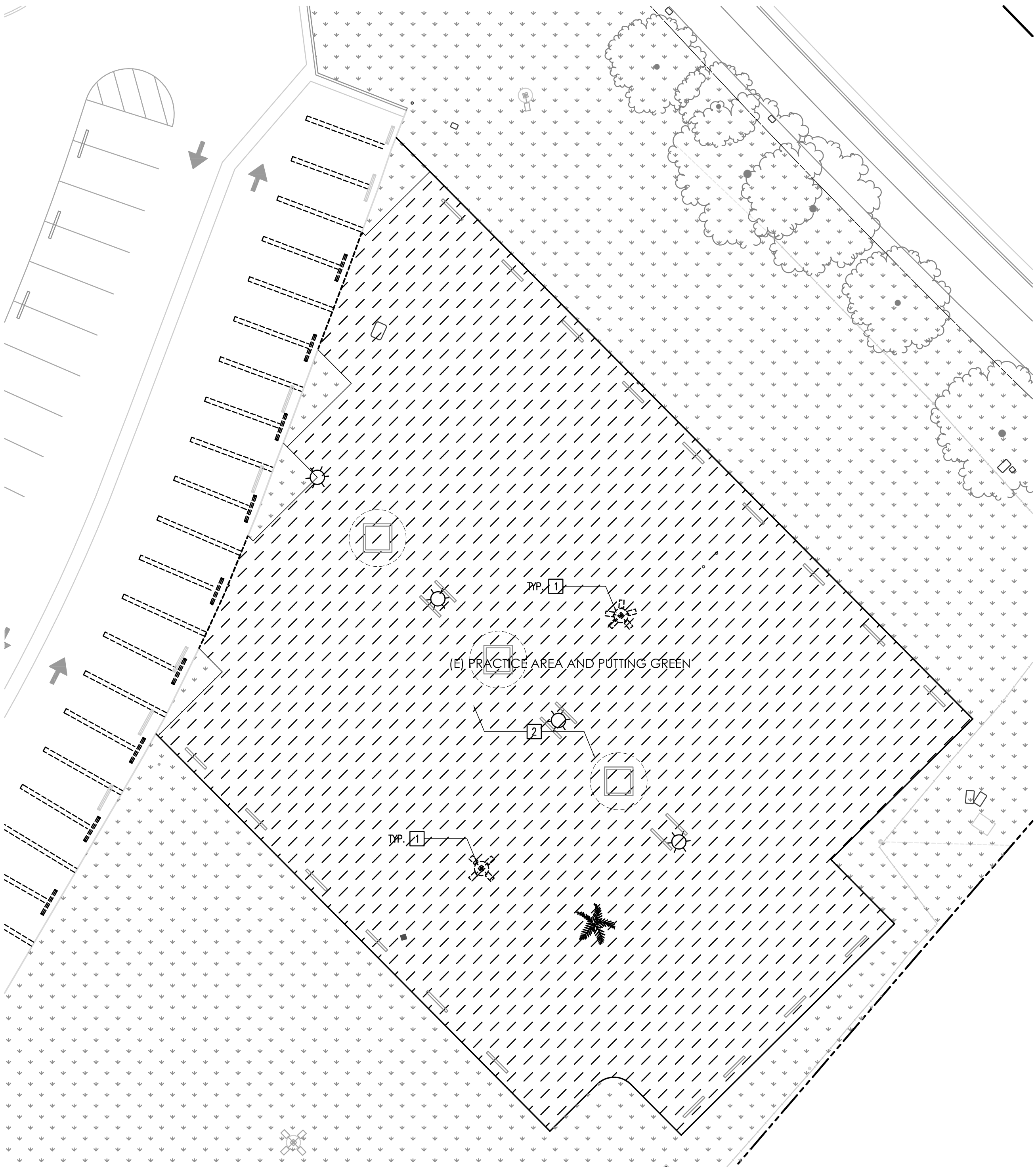
----- TO BE REMOVED

KEYNOTES

- 1 REMOVE EXISTING LIGHT POLE
- 2 REMOVE EXISTING GREEN TO RECEIVE ASPHALT

The intent of this drawing is to describe in general the demolition areas affected by the project construction. It is not intended as a detailed description of existing items or elements to be removed. The Contractor should visit the site and review any available Record Documents to become familiar with the existing conditions and include the removal of all items necessary for the proper execution and completion of the work. The Contract Documents are complementary, and what is required by one shall be binding as if required by all to the extent that it is reasonably inferable from them as being necessary to produce the intended results.

Protect existing adjacent buildings and utilities in place and/or as indicated. Cap all utilities at appropriate points. All existing electrical / telephone / catv utilities shall be removed as indicated or back to the point where the specific utility system enters the work area. Coordinate demolition of all utilities with the Campus and/or Architect. All utilities connected to existing buildings to remain shall continue to be operational during the demolition process.

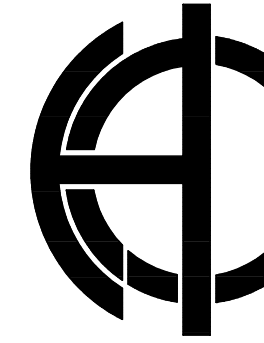


01 EXISTING/DEMOLITION SITE PLAN

SCALE : 1/16" = 1'-0"

City of Irvine
APPROVED

BY Director of Community Development
CASE # 00951354-PCPM
DATE September 10, 2025



HAC INC, 2601 Walnut Ave, Suite E,
Irvine, CA 92780
1-949-892-9732 E: hae@hacinc.com



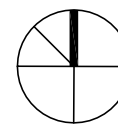
Rancho San Joaquin Driving Range
Parking Expansion
1 Ethel Coplen Way,
Irvine, CA 92612

Developed for Step Management Inc

Revision	Description	Date

Revision	Description	Date

Key Plan N.T.S.



Date	Drawn By
Project Numbers	Checked By
202201.01	
Sheet Title	

EXISTING SITE /
DEMO. PLAN

Sheet Number

D100

00951354-PCPM

City of Irvine

APPROVED

BY

Director of Community Development

CASE #

00951354-PCPM

DATE

September 10, 2025

LEGEND

ACCESSIBLE ROUTE AS INDICATED IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM, AND SMOOTH. CROSS-SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. ACCESSIBLE ROUTE SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM (11B-307) AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80" (11B-307). CONTRACTOR TO VERIFY THAT ALL BARRIERS IN ACCESSIBLE ROUTE HAVE BEEN REMOVED OR WILL BE REMOVED UNDER THIS PROJECT, AND ACCESSIBLE ROUTE COMPLIES WITH CBC 11B-206.

KEYNOTES

1

EXPANDED PARKING LOT

2

NEW LANDSCAPE WITH ONE 15 GALLON CANOPY TREE (CAMPHOR TREE)

3

NEW LED POLE LIGHT - LIGHT OUTPUT DIRECTED DOWNWARDS TO COMPLY WITH CALGREEN SECTION 5.106.8 LIGHT POLLUTION REDUCTION

4

PLANTERS -

A.

SHALL HAVE MINIMUM INTERNAL AREA OF 25 SQUARE FEET, EXCLUDING A CURB OR BORDER AREA; CURB WIDTHS SHALL BE CONSISTENT WITH THE CITY'S STANDARDS AND DESIGN MANUAL.

B.

ALL LANDSCAPE PLANTERS WITH TREES SHALL HAVE A MINIMUM INTERNAL DIMENSION OF 4 1/2 FEET.

C.

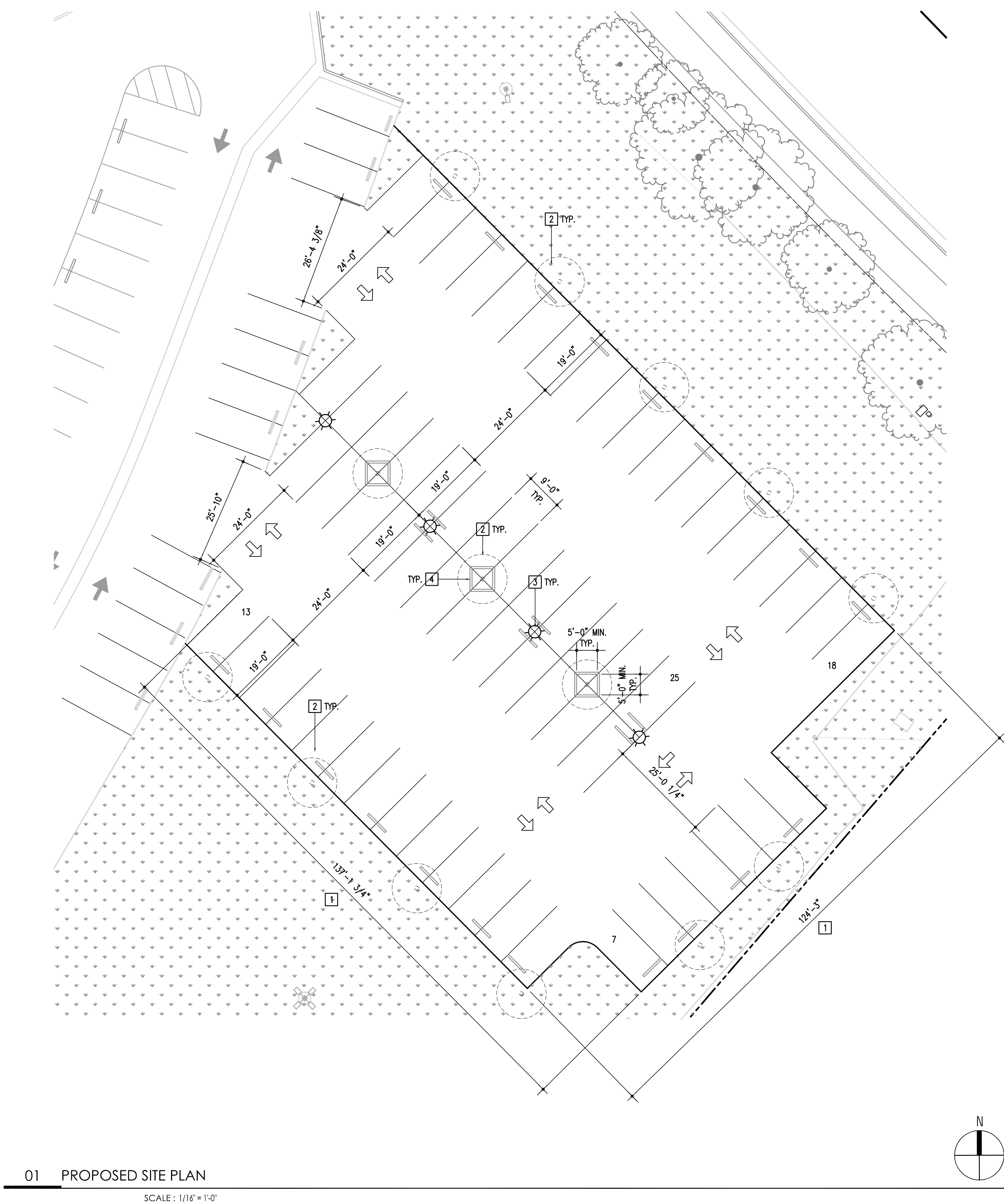
PARKING AREA INFIELD PLANTERS OR TREE WELLS SHALL BE PLACED AT THE INTERSECTION OF PARKING STALLS AND BE DESIGNED TO REDUCE DAMAGE TO TREES FROM VEHICLES OVERHANGING THE PLANTER. SINGLE TREES WITHIN THESE PLANTERS SHALL BE INSTALLED AT THE CENTER OF THE PARKING STALL INTERSECTIONS.

D.

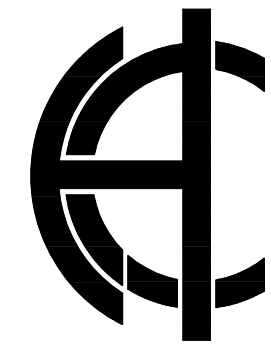
ROW END PLANTERS SHALL NOT EXCEED THE LENGTH OF A STANDARD PARKING STALL OR TWO PARKING STALLS DEPENDING ON ROW WIDTH, INCLUDING CURB OR BORDER. VEHICLES SHALL NOT OVERHANG PLANTERS OR TREE WELLS BY MORE THAN TWO FEET. HOWEVER, PROJECTS LOCATED WITHIN PLANNING AREA 34 ARE SUBJECT TO PLANNING AREA 34 DESIGN GUIDELINES AND ARE PERMITTED TO HAVE AN OVERHANG OF 2 1/2 FEET; HOWEVER, ONLY TWO FEET OF THE OVERHANG CAN COUNT TOWARD THE MINIMUM PARKING DIMENSION OF THE PARKING STALL. AREA OF VEHICLE INTRUSION INTO LANDSCAPE PLANTER WILL NOT COUNT TOWARDS MEETING MINIMUM SITE LANDSCAPE REQUIREMENTS.

CALGREEN COMPLIANCE

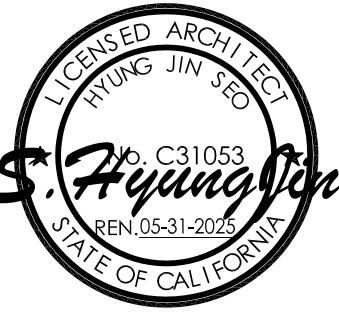
60 KVA MINIMUM POWER IS REQUIRED PER 2022 CAL GREEN CODE TABLE 5.106.5.6.3.



01 PROPOSED SITE PLAN
SCALE : 1/16" = 1'-0"



HACINC, 2601 Walnut Ave, Suite E,
Irvine, CA 92618
1-949-892-9732 E: hinc@hacinc.com



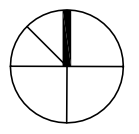
Rancho San Joaquin Driving Range
Parking Expansion
1 Ethel Coplen Way,
Irvine, CA 92612

Developed for Step Management Inc

Revision	Description	Date

Revision	Description	Date

Key Plan N.T.S.



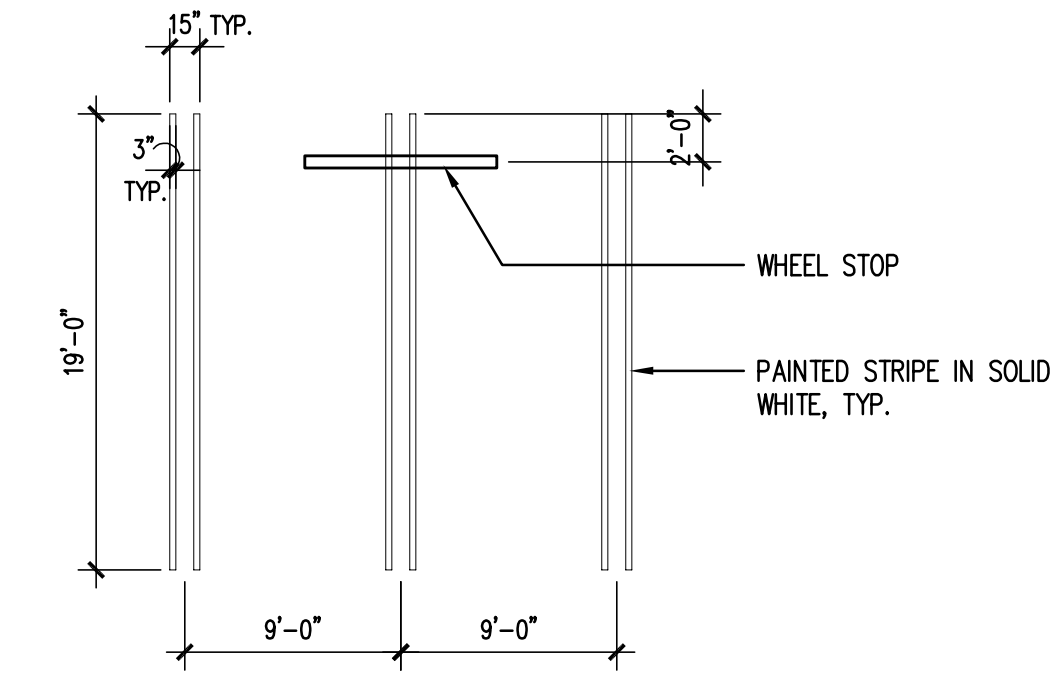
Date	Drawn By
202201.01	
Project Numbers	Checked By
202201.01	
Sheet Title	

SITE PLAN

Sheet Number

A101

00951354-PCPM



PARKING SUMMARY	
PARKING SUMMARY:	
NUMBER OF EXISTING TEES =	68
TOTAL REQUIRED	68 STALLS
EXISTING TOTAL PARKING STALLS:	
ADDED PARKING STALLS:	102
TOTAL PARKING PROVIDED:	
ACCESSIBLE PARKING:	57 (63 ADDED 5 REMOVED FOR DRIVEWAY)
VAN ACCESSIBLE PARKING	159
	5
	1

NOTE

ALL PARKING FACILITIES, EXCEPT THOSE SERVING TWO OR FEWER DWELLING UNITS ON A SINGLE LOT, SHALL BE GRADED AND DRAINED SO AS TO PROVIDE THE DISPOSAL OF ALL SURFACE WATER ON THE SITE.

IMPERVIOUS AREA

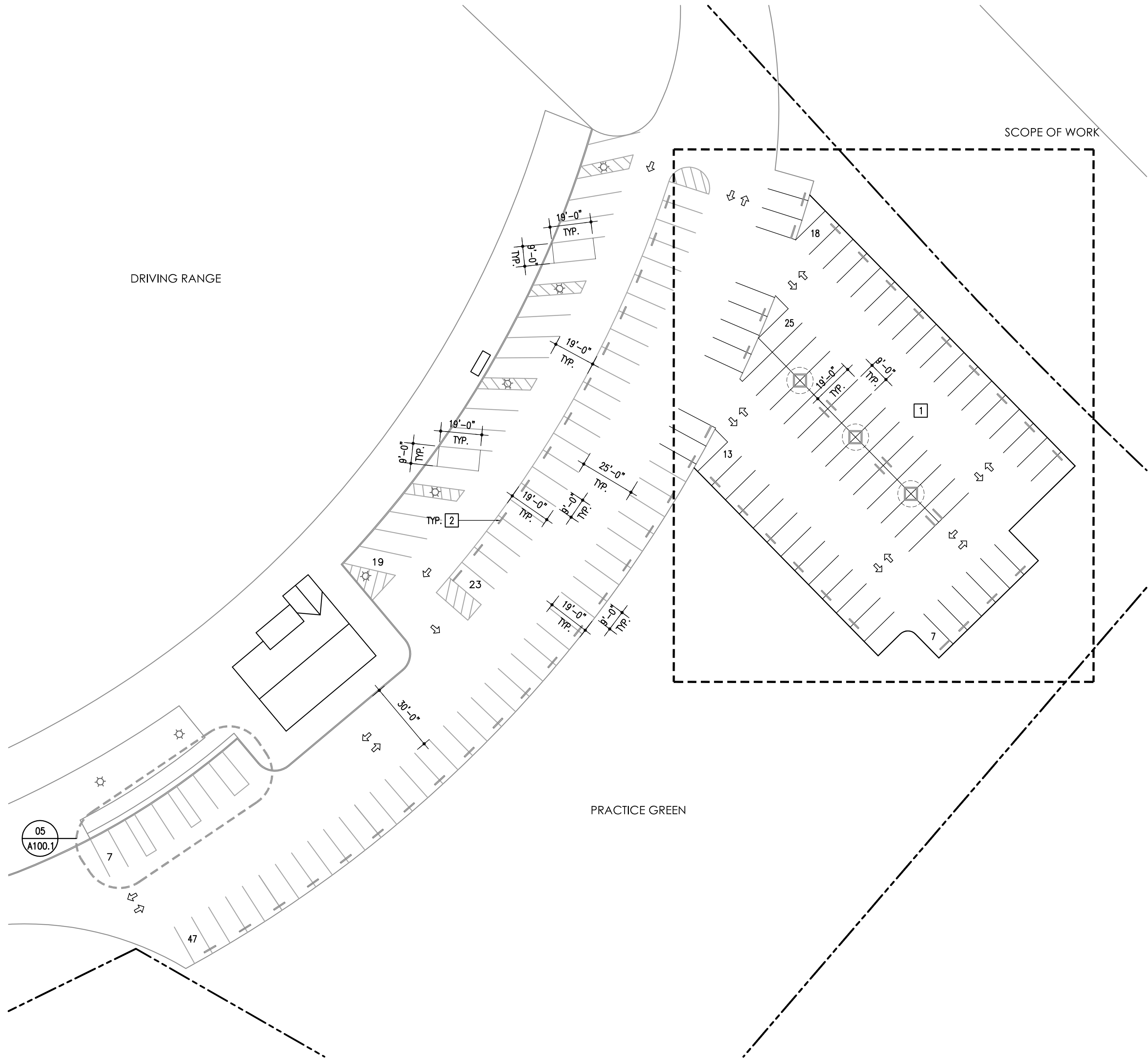
— SF OD IMPERVIOUS AREA ADDED

05 TYP. PARKING STALLS

REF. SCALE : 1/8" = 1'-0"

City of Irvine
APPROVED

BY Director of Community Development
CASE # 00951354-PCPM
DATE September 10, 2025

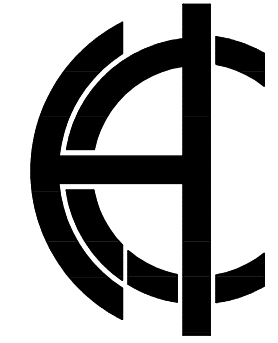


01 EXISTING SITE / DEMO. PLAN

SCALE : 1" = 250'

KEYNOTES

- 1 EXPANDED PARKING LOT, SEE 01 A101
- 2 CONCRETE WHEEL STOP



HACENC, 2601 Walnut Ave, Suite E,
Irvine, CA 92618
1-949-892-9732 E: haco@hacenc.com

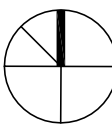


Rancho San Joaquin Driving Range
Parking Expansion
1 Ethel Coplen Way,
Irvine, CA 92612
Developed for Step Management Inc

Revision	Description	Date

Revision	Description	Date

Key Plan N.T.S.



Date	Drawn By
Project Numbers	Checked By
202201.01	
Sheet Title	

PARTIAL SITE PLAN

Sheet Number

A100.1

00951354-PCPM

NOTICE OF EXEMPTION



TO: ☐ State of California
Office of Planning & Research
PO Box 3044
Sacramento, CA 95812-3044

☒ County Clerk
County of Orange

PO Box 238
Santa Ana, CA 92702

FROM: City of Irvine
Community Development Department
PO Box 19575
Irvine, CA. 92623-9575
Attn: Hernan DeSantos
Senior Planner
949-724-6441
hdesantos@cityofirvine.org

SUBJECT: Filing of **Notice of Exemption** in compliance with Section 15062 of the Public Resources Code.

Project Title and File No.: Rancho San Joaquin Golf Course – Minor Modification (File No. 00951354-PCPM) to Conditional Use Permit 77-CP-0111.

Project Location: One Ethel Coplen Way in Planning Area 19 (Rancho San Joaquin) within the City of Irvine, County of Orange.
(include County)

Project Description: Allows the removal of two short game areas and one practice putting green located at the southern portion of the property to expand the existing parking lot and increase the parking stalls by 57 spaces for a total of 159 parking spaces.

Approving Public Agency: City of Irvine
Zoning Administrator
PO Box 19575
Irvine, CA 92623-9575

Approval Date: September 10, 2025
Resolution No. Not Applicable

Project Applicant: Hace Inc, on behalf of Rancho San Joaquin Golf Course 2601 Walnut Avenue, Suite A
Tustin, CA 92780
Attn: Hyung Jin Seo, Project Applicant
949.892.9732
hseo@haceinc.com

Exempt Status:
(check one)

- ☐ Ministerial (Section 21080(b)(1); 15268)
- ☐ Declared Emergency (Section 21080(b)(3); 15269(a))
- ☐ Emergency Project (Section 21080(b)(4); 15269(b)(c))
- ☐ Statutory Exemption:
- ☒ Categorical Exemption: Section 15311, Class 11 for Accessory Structures
- ☐ General Rule Exemption (Section 15061(b)(3))

Reasons Why Project Is Exempt: Section 15311 of the CEQA Guidelines, Class 11 Categorical Exemption, which consists of construction, or placement of minor structures accessory to (appurtenant to) existing commercial, industrial, or institutional facilities. The proposed modification allows the removal of two short game areas and one practice putting green located at the southern portion of the property to expand the existing parking lot and increase the parking stalls by 57 spaces for a total of 159 parking spaces on property that has been previously disturbed and developed as a public golf course/driving range.

Hernan DeSantos, Senior Planner
Name and Title

Hernan DeSantos
Signature

September 10, 2025
Date