



February 5, 2026

Mr. Sean Sohi  
M&ES Construction Engineering  
5325 Alton Parkway, Suite C #511  
Irvine, CA 92604

**Sent Via Email:**  
[Sean92604@gmail.com](mailto:Sean92604@gmail.com)

**Subject: Setback Deviation Letter for 7 Senisa, Planning Area 20 (University Park); File No. 00971920-PSD**

Dear Mr. Sohi:

Community Development Department staff completed review of the request for a reduced side-yard setback for a proposed residential addition at 7 Senisa Way located in Planning Area 20 (University Park) (Enclosure 1). The property is zoned 2.2B Low Density Residential and is subject to the general development standards contained in Section 3-37-13 of the Irvine Zoning Ordinance (Enclosure 2). This request is to consider a reduced side-yard setback of 3 feet in lieu of 5 feet pursuant to Section 3-27-13 of the Zoning Ordinance.

The property at 7 Senisa Way is located on Lot 38 of Tract 5922 and was constructed in 1966 under Building Permit No. 00028556, which was issued by the County of Orange (Enclosure 3). In accordance with the provisions in effect at the time of construction, the structure was legally built with a 3-foot side-yard setback on the western side of the lot.

The current 2.2B Low Density Residential development standards require a 5-foot setback from the side property line, rendering the western side-yard setback legal non-conforming. Pursuant to Section 3-27-13 of the Zoning Ordinance, the applicant has requested that the proposed addition be built at the same 3-foot setback as the existing building footprint along the existing westerly side.

Section 3-27-13 of the Irvine Zoning Ordinance allows residential additions to use the building setback requirement in effect at the time that the unit was originally constructed subject to the discretion of the Director of Community Development, if the following findings for a setback deviation request can be met:

- A. A representative number of units in the tract, which were subject to the same original setback requirement, have existing structures legally built to the setbacks similar to those being requested.

The proposed residential addition at 7 Senisa will continue to utilize the existing legal non-conforming setback standard for the addition. Staff researched building permits and plans for similar additions and determined that similar setbacks have previously been granted within this tract. Specifically, reduced setbacks were approved at 12 Satinwood Way in 2006 (File No. 00414279-RBPR); 12 Wintersweet Way in 2017 (File No. 00719405-RBPR); and 5 Senisa Way in 2022 (File No. 00882645-RBPR) (Enclosure 4). These approvals support the precedent to allow for a reduced setback for an addition in the front patio portion of the home. They also establish that approval of this request would be consistent with the scale and character of the surrounding homes.

- B. The construction of the building addition to the original setback requirement will be in harmony with the character of the neighborhood.

Construction of the single-story building addition at a 3-foot setback will be harmonious with the character of the neighborhood given that several residential units in Tract 5922 were also developed at a reduced side-yard setback. The placement, scale, massing, and height of the proposed addition is consistent with the character of the neighborhood, particularly with other recent renovations in the neighborhood. The applicant will be required to obtain a building permit to ensure the addition is consistent with current Building Code and Irvine Zoning Ordinance requirements, with the inclusion of the setback deviation. Based upon the above, the construction of the building addition will be in harmony with the aesthetic character of the neighborhood.

- C. The design materials and amenities utilized in the building addition will be consistent with the character of the neighborhood.

The design, materials, and amenities utilized in the building addition will be consistent with the character of the neighborhood. There are no neighboring residences adjacent to the westerly side where the building addition is proposed, therefore no Adjacent Neighbor Acknowledgement Letter was required. Additionally, the homeowners' association has approved the proposed residential addition and design (Enclosure 5). Finally, the proposed addition would be consistent with the scale of other approved properties in the project vicinity. Therefore, the overall design of the addition will be consistent with the scale and character of the neighborhood.

Based on an analysis of this request, it has been determined that the proposed addition meets the above findings. Therefore, the request for the reduced 3-foot setback for the proposed addition, as generally depicted in Enclosure 1, is approved. **Please include a copy of this approval letter on the plans for your next building permit application submittal.**

Mr. Sean Sohi  
February 5, 2026  
Page 3 of 3

Unless an appeal is filed prior to the expiration of the five-day appeal period ending at 5 p.m. Thursday, February 12, 2026, the approval granted by this letter shall become effective Friday, February 13, 2026.

If you have any questions or concerns on this matter, please contact Assistant Planner Adam Wong at 949-724-5491 or via email at [adwong@cityofirvine.org](mailto:adwong@cityofirvine.org).

Sincerely,

A handwritten signature in black ink that reads "Stephanie Frady". The signature is written in a cursive, flowing style.

Stephanie Frady, AICP  
Director of Community Development

Enclosures:

1. Written Request and Preliminary Plans
2. Section 3-37-13, 2.2 *Low Density Residential Standards*, of the Irvine Zoning Ordinance
3. Building Permit No. 00028556 for 7 Senisa Way
4. Samples of Residential Additions in Tract 5922
5. Homeowners' Association Approval Letter

ec: Ann Wu, Acting Planning Manager  
File: 00971920-PSD

## **Project description**

Extend front entry approximately 9' x 9' to accommodate for a new entry way and bathroom.

Infill existing rear balcony approximately 17'x4' to create more interior habitable space.

Enclosed are 4 permitted projects where each of these permitted projects have extended

Their existing envelope to the property line as set forth by the original setback distance

Of 3 feet and to the original wall planes of the existing building structure.

HOA has approved this project along with materials, color and aesthetics. See letter of HOA approval on Go Post.



216 Pearl Ave  
Newport Beach, Ca  
92662

STAMP

Professional Engineer Seal for Jeffrey Craig Jensen, State of California, License C-27314, expires Jan 25, 2018.

SOHI  
RESIDENCE

SHEET TITLE:

**SITE PLAN  
BMP**

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[illegible]

# Senisa

## 2 Story Neighbor

(E) 2 Story  
Residence

Rear yard  
EXISTING CONC.PATIO

EXISTING CONC.PATIC

# Driveway

MIXING

SLOPE 1%

SAND BAGS

- EXISTING 6' PLASTER WALL  
- 6' CHAIN LINK FENCE

EXISTING CURB

LINE OF SETBACK

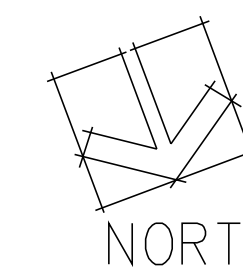
BLDG LINE

— EXISTING PLASTER FENCE

EXISTING BUILT AREA

NEW FIRST AND/OR SECOND FLOOR ADDITION

SEE CONSTRUCTION SECURITY REQUIREMENTS GN-3



NORTH

Scale: 1" = 5'-0"

Architect

949 412 3955

STAMP

PROJECT NAME

7 Senisa  
Irvine, Ca

SHEET TITLE

## EXISTING ELEVATIONS

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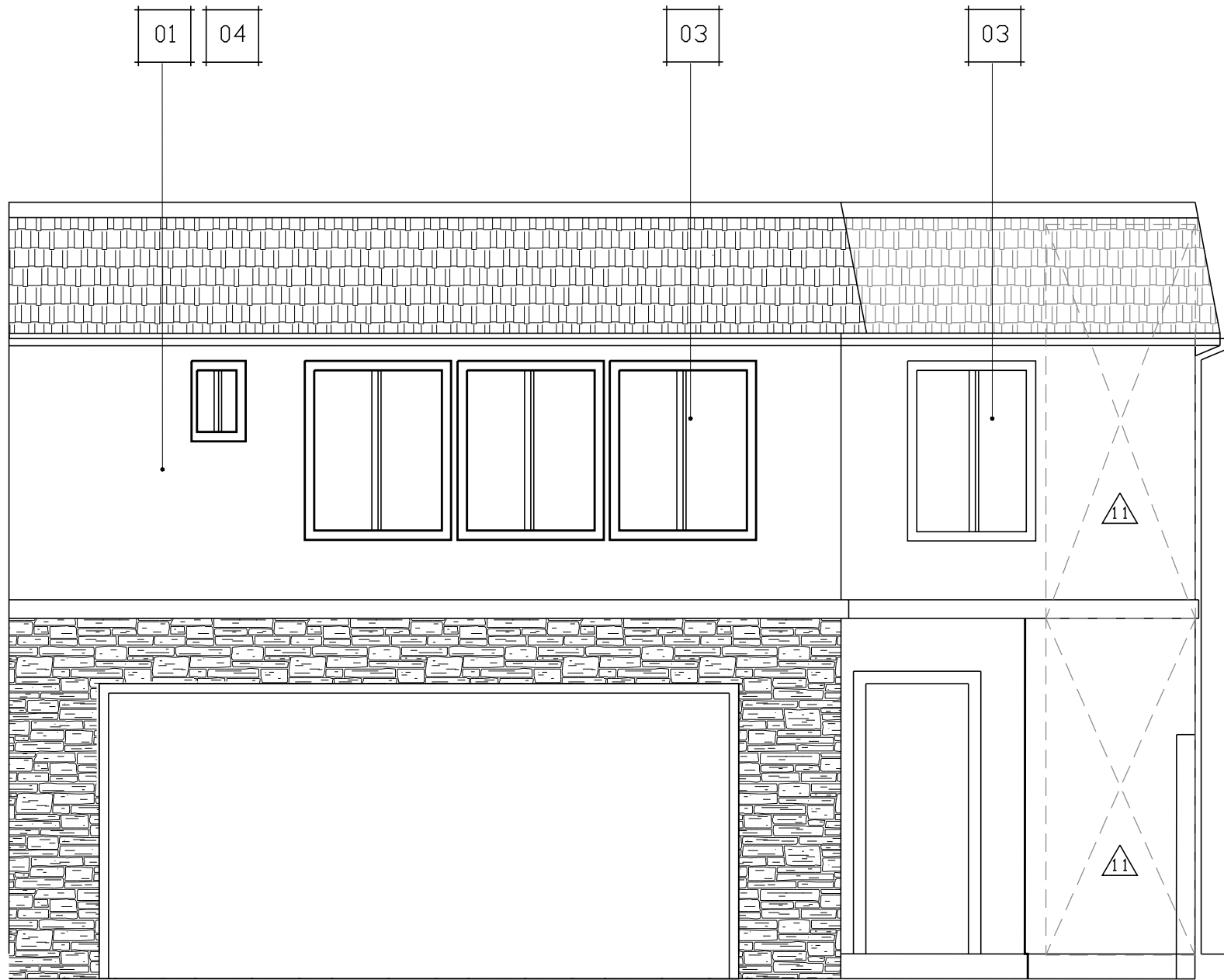
LAST ISSUE DATE: 05.27.23

BY: \_\_\_\_\_ CHKD: \_\_\_\_\_

SHEET

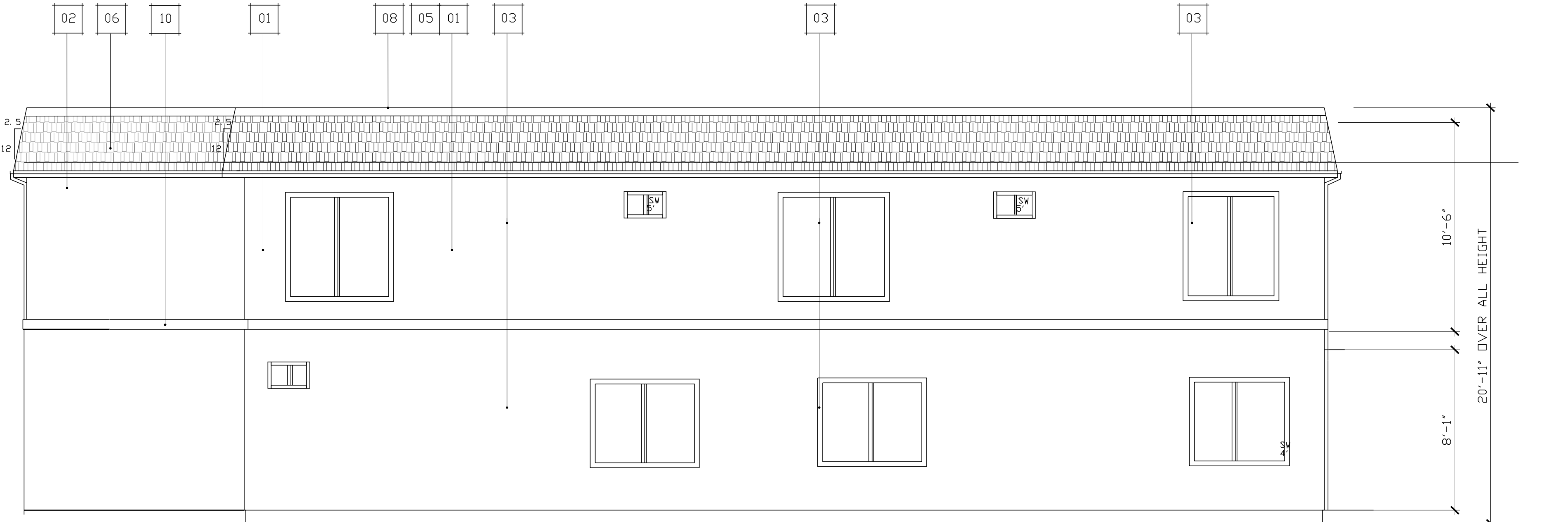
## ELEVATION NOTES

01. EXTERIOR PLASTER WITH TEXTURE TO MATCH EXISTING
02. NEW FASCIA PLASTER TO MATCH EXISTING
03. VINYL WINDOWS
04. PROVIDE R-13 INSULATION IN ALL NEW EXTERIOR WALLS
05. PROVIDE R-38 INSULATION WITH RADIANT BARRIER ROOF SHTG
06. CLASS A ICC ESR 1475 ROOF MATERIAL AND SLOPE TO MATCH EXISTING
07. MANUFACTURED LEDGER STONE
08. CLASS A ICC ESR 1274 ROOF MATERIAL TO MATCH EXISTING SLOPE TO DRAIN ROOFING TO BE INSTALLED PER MANUFACTURERS SPECIFICATION AND ICC
09. EXISTING ROOF AND WALL TO REMAIN
10. 3 1/2" DRAINAGE GAP



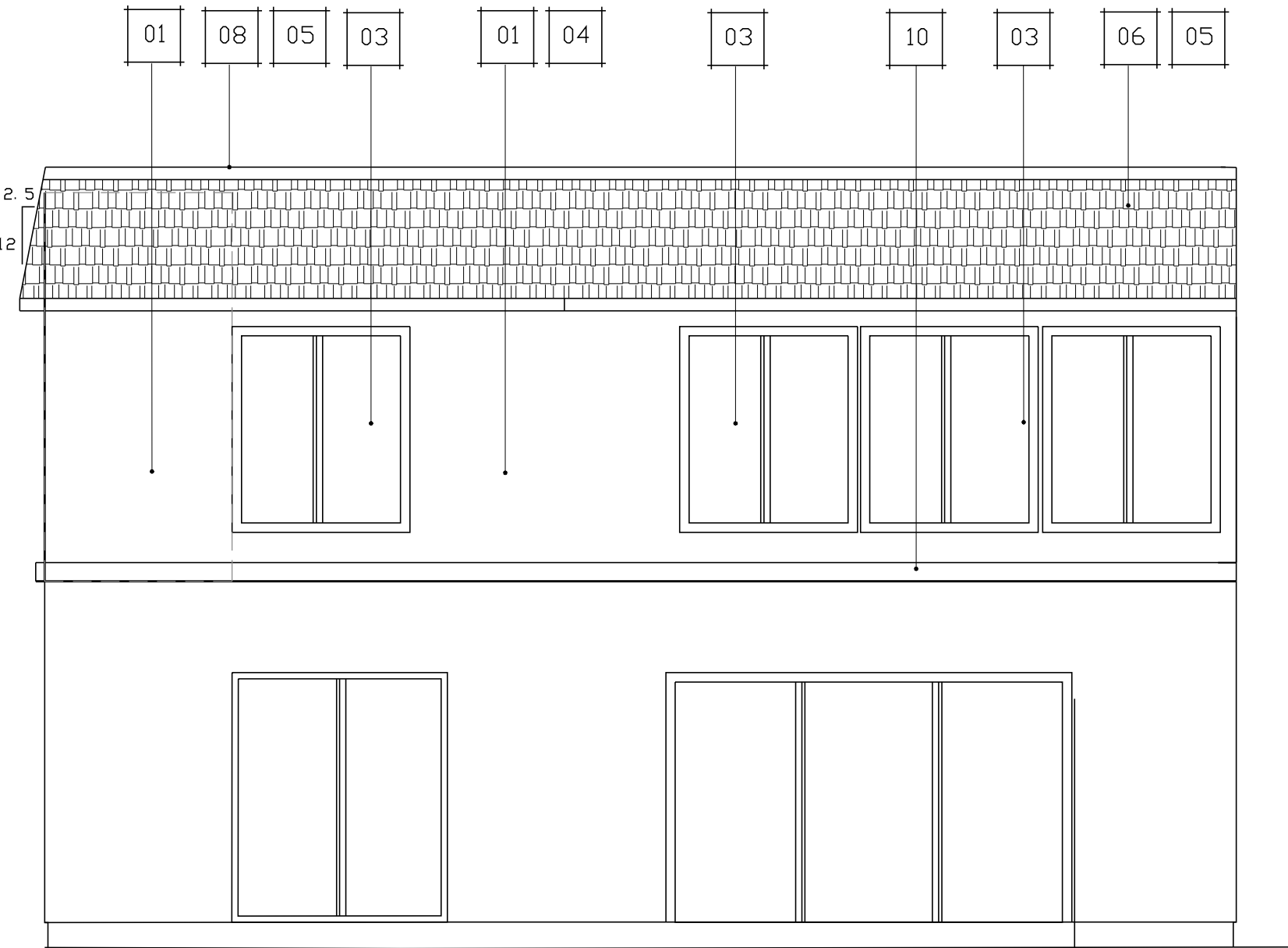
FRONT ELEVATION

Scale: 1/4" =1'-0"



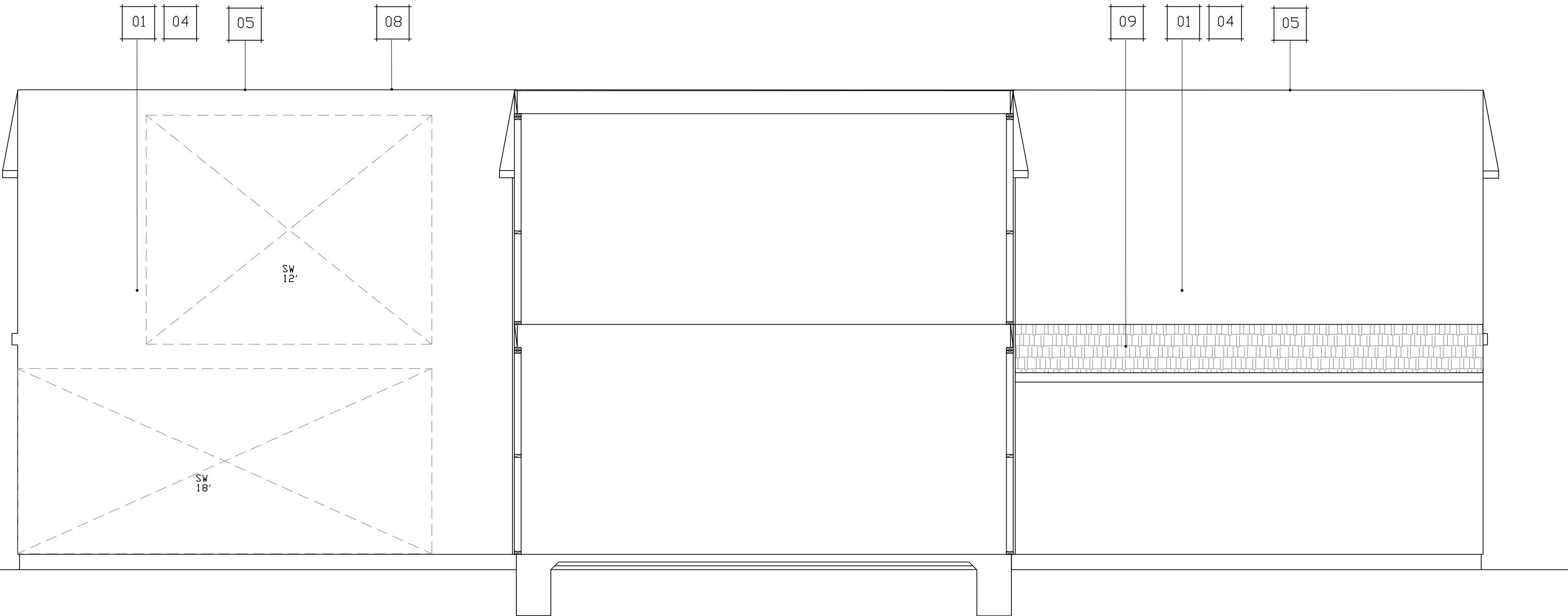
RIGHT SIDE ELEVATION

Scale: 1/4" =1'-0"



REAR ELEVATION

Scale: 1/4" =1'-0"



LEFT SIDE ELEVATION

Scale: 1/4" =1'-0"

## ELEVATION NOTES

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07. MANUFACTURED LEDGER STONE
08. CLASS A ICC ESR 1274 ROOF MATERIAL TO MATCH EXISTING SLOPE TO DRAIN ROOFING TO BE INSTALLED PER MANUFACTURERS SPECIFICATION AND ICC
09. EXISTING ROOF AND WALL TO REMAIN
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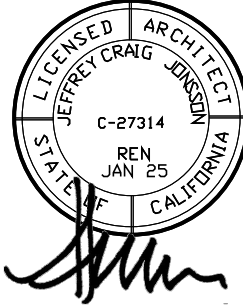
Jeffrey Jonsson  
Architect

216 Pearl Ave  
Newport Beach, Ca  
92662

949 412 3955

Architecture  
Planning  
Engineering

STAMP



PROJECT NAME:

SOHI  
RESIDENCE

7 Senisa  
Irvine, Ca

SHEET TITLE:

PROPOSED  
ELEVATIONS

NOTES: THE RESIDENCE SHOWN AND DESCRIBED HEREIN, INCLUDING ALL FEATURES, FINISHES, DIMENSIONS, MATERIALS, AND MEASUREMENTS, ARE BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND THE ARCHITECT'S VISUAL INSPECTION OF THE EXISTING STRUCTURE. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR THE RESULTS OF HIS VISUAL INSPECTION. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE EXTERIOR ELEVATIONS AND TO THE PREPARATION OF THE DRAWINGS. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR THE RESULTS OF HIS VISUAL INSPECTION. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE EXTERIOR ELEVATIONS AND TO THE PREPARATION OF THE DRAWINGS.

LAST ISSUE DATE: 05.27.23

BY: CHKD:

SHEET

A-3.1

FAMP

C-27314  
REN  
JAN 25

LICENSED ARCHITECT  
JEFFREY CRAIG JORDON  
STATE OF CALIFORNIA

*[Signature]*

SHEET TITLE:

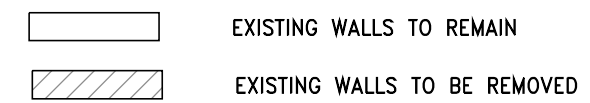
EXISTING  
FLOOR PLAN

A-1

EXISTING FIRST FLOOR PLAN

EXISTING SECOND FLOOR PLAN

Scale: 1/4" = 1'-0"





- |    |  |
|----|--|
| 05 |  |
| 06 | IN LINE WATER HEATER   |
| 07 | ONE LAYER $\frac{5}{8}$ " TYPE "X" DRYWALL WALLS AND CEILING                                   |
| 08 | EXISTING FIRST FLOOR OVER HANG TO REMAIN   |
| 09 | NEW WALLS AND MATERIAL SHALL NOT ENCROACH OVER<br>22'X30'W/ PLYWOOD PLATFORM, LIGHT AND SWITCH |

## NOTES

ALL BRANCH CIRCUITS SUPPLYING RECEPTILES IN FAMILYROOMS, DINING  
LIVING ROOMS PARLORS LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION  
ROOMS, CLOSETS. HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE  
PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER afci 210.12(B) CEC  
OUTLETS IN BATHROOM, NEAR SINKS AND IN GARAGE  
SHALL BE GFCI

SINGLE LINE DIAGRAM, PANEL SCHEDULES AND LOAD CALCS  
FOR ELECTRICAL SYSTEM WILL BE PROVIDED AT THE JOBSITE FOR  
ELECTRICAL INSPECTOR

ALL RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES

ALL BEDROOMS, BASEMENTS OR ROOMS USED FOR SLEEPING SHALL HAVE EMERGENCY RESCUE WINDOWS

- A. MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT.
- B. MINIMUM CLEAR OPENING WIDTH OF 20 INCHES.
- C. MINIMUM NET CLEAR HEIGHT OF 24 INCHES.
- D. WINDOW SILL HEIGHT OF NOT MORE THAN 44" IS PROHIBITED

A SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR SHALL BE INSTALLED OUTSIDE OF EACH EXISTING SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENT. SMOKE DETECTORS SHALL ALSO BE INSTALLED IN EACH BEDROOM. ALARMS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL ALARMS. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WITH BATTERY BACKUP. COMBINED SMOKE/CARBON MONOXIDE ALARMS MAY BE USED.

PROVIDE APPROVED HOUSE NUMBERS VISIBLE AND LEGIBLE FROM STREET  
CONTRASTING COLOR ARABIC NUMBERS 4" HIGH 1/2" STROKE MIN.

SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUB WITH SHOWER HEADS  
SHALL BE FINISHED WITH A SMOOTH NONABSORBENT SURFACE TO A HEIGHT  
NOT LESS THAN 6' ABOVE FLOOR. R307.2. CEMENT, FIBER CEMENT, GLASS MAT  
GYPSUM OR FIBER-REINFORCED GYPSUM BACKERS SHALL BE USED FOR BASE  
FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS IN  
SHOWER AREA. R702.4.2.

NET AREA OF SHOWER RECEPTOR SHALL BE NOT LESS THAN 1.02 SQ. IN. OF FLOOR AREA AND ENCOMPASS A 30" MIN. DIAMETER CIRCLE. (CPC 310.9.1)

DWELLING UNIT SHALL BE PROVIDED WITH HEATING FACILITIES CAPABLE OF MAINTAINING A ROOM TEMPERATURE OF 68 DEGREES AT A POINT 3 ABOVE FIN. FLR

REPLACE ALL NON COMPLIANT PLUMBING FIXTURES  
ALL NEW AND EXISTING PLUMBING FIXTURES SHALL MEET THE LOW FLOW STANDARDS

## LEGEND

- |  |  |
|--|--|
|  |  |
|  |  |
|  |  |
|  |  |
|  |  |

**WALLS TO BE REMOVED**

**EXISTING WALLS TO REMAIN**

**NEW WALLS**

  - ① PER 150.0.(k)3A OUTDOOR LIGHTING MUST EITHER HAVE PHOTOCELL AND MOTION SENSOR OR PHOTO CONTROL AND AUTOMATIC TIME SWITCH CONTROL, ASTRONOMICAL TIME CLOCK OR ENERGY MANAGEMENT CONTROL SYSTEM
  - ② (N) HIGH EFFICACY LED LIGHT ON DIMMER
  - ③ (N) LED W/VACANCY SENSOR
  - ④ (N) 50 CFM ENERGY STAR RATED HUMIDISTAT EXHAUST FAN SWITCH SEPARATELY VENT TO OUTSIDE. MAX. SOUND RATING OF 3 SONE FOR INTERMITTENT OPERATION. SWITCH ON DIMMER
  - ⑤ ALL LIGHTING IN CLOSETS AND UTILITY ROOMS MUST BE HIGH EFFICACY LUMINAIRES AND AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY VACANCY SENSOR.
  - ⑥ PER 150.0.(k) c. vi RECESSED DOWN LIGHTING SHALL COMPLY WITH REFERENCE JOINT APPENDIX JAB REQUIREMENTS
  - ⑦ PER 150.0. (k)2.K DIMMERS (OR VACANCY SENSORS) SHALL CONTROL ALL LUMINAIRES

# WINDOW SCHEDULE

- |   |                                |
|---|--------------------------------|
| A | (N) 5050 SLDG WINDOW           |
| B | (E) 5050 TEMP GL SLDG WINDOW   |
| C | (E) 5050 SLDG WINDOW           |
| D | (E) 1624 SLDG WINDOW           |
| E | (E) 5050 SLDG WINDOW           |
| F | (E) 1624 SLDG WINDOW           |
| G | (E) 5050 SLDG WINDOW           |
| H | (E) 4050 SLDG WINDOW           |
| I | (E) 4050 SLIDING GL WINDOW     |
| J | (N) 1616 AWNING TEMP GL WINDOW |
| K | (E) 5050 TEMP GL SLDG WINDOW   |
| L | (N) 1616 AWNING TEMP GL WINDOW |

# DOOR SCHEDULE

- 1 (E) 10'X6'-8" TEMP GLASS SLIDING DOOR
- 2 (N) 3068 STAIN GRADE ENTRY DOOR
- 3 PR 2068 TEMP GL SINGLE LITE FRENCH
- 4 2668 RAISED PANEL METAL DOOR
- 5 2668 SC 20 MIN. SELF CLOSING DR WITH LATCH
- 6 (N) 6'X6'-8" TEMP GLASS SLIDG DOOR

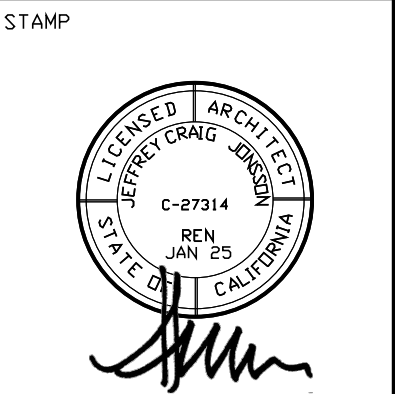
Jeffrey Jonsson

Architect

216 Pearl Ave  
Newport Beach, Ca  
92662

949 412 3955

Architecture  
Planning  
Engineering



PROJECT NAME

# SOHI

## RESIDENCE

7 Senisa  
Irvine, Ca

SHEET TITLE

## PROPOSED PLANS

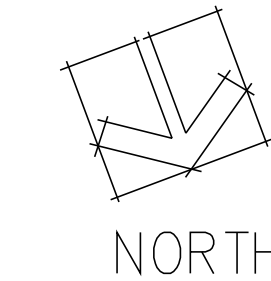
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LAST ISSUE DATE: 10.27.23

BY: \_\_\_\_\_ CHKD: \_\_\_\_\_

SHEET

A-2



## Sec. 3-37-13. - 2.2 Low Density Residential.

- A. *Intent.* This category allows zero to 6.5 dwelling units per net acre, which is approximately equivalent to the General Plan Low Density category of zero to five dwelling units per gross acre. Attached and conventional housing, as well as other appropriate uses such as churches and child care centers, are allowed.

(2.2A and 2.2B) University Park (Planning Area 20).

(2.2C) Westpark (Planning Area 14).

(2.2D) Orchard Hills (Planning Area 1).

- B. *Intensity standard.*

0—6.5 dwelling units per net acre.

2.2C: 0—6.9 dwelling units per net acre (Westpark).

2.2D: 0—31.0 dwelling units per net acre (Planning Area 1). Individual project densities in 2.2D may exceed 6.5 dwelling units/net acre. However, no individual project may exceed 31.0 dwelling units/net acre and the overall density within all of 2.2D cannot exceed 6.5 dwelling units/net acre. For individual residential projects within 2.2D, the development standards to be applied shall depend on the actual net density of the individual residential product as follows:

1. For projects from 0 to 6.5 dwelling units per net acre, Section 3-37-13 development standards shall apply.
2. For projects from 6.6 to 12.5 dwelling units per net acre, Section 2-37-14 development standards shall apply.
3. For projects from 12.6 to 31.0 dwelling units per net acre, Section 3-37-15 development standards shall apply.

- C. *Permitted uses.* <sup>1, 6</sup>

1. Accessory use.
2. Agriculture (interim use).
3. Cottage food operations.
4. Home care.
5. Home occupation permit.
6. Information center.
7. Manufactured structure (up to two years).
8. Model home sales complex.
9. Park.

10. Public park facility (only in public parks).
11. Residential beekeeping as an accessory use. (Only in single-family detached homes and single-family attached homes with single property ownership of the lot.)
12. Residential shelter.
13. Residential, accessory dwelling unit.
14. Residential, attached.
15. Residential, single-family detached.
16. School, public.
17. Supportive housing — Small.
18. Transitional housing — Small.
19. Wireless communication facility (may require a wireless communication facility permit, a minor conditional use permit, a major conditional use permit or may be prohibited, depending on the type of installation and the location of the installation site, pursuant to the review procedures matrix in [Section 2-37.5-3](#)).

D. *Conditional uses.*<sup>2, 6</sup>

1. Boarding house.
2. Child care center.
3. Church.<sup>3</sup>
4. Community facility.
5. Convalescent home.
6. Manufactured structure (over two years).
7. Recreational vehicle storage, private.
8. Residential care facility.
9. School, private.<sup>4</sup>
10. Senior housing.
11. Supportive housing — Large.
12. Transitional housing — Large.
13. Utility building and facility.

E.	<i>Minimum site size</i>			4,000 square feet
				2.2D: 3,000 square feet
F.	<i>Maximum site coverage</i>			50%

G.	<i>Maximum building height</i>		35 feet
H.	<i>Minimum site landscaping</i>		Not applicable to Low Density Residential
I.	<i>Building setbacks<sup>5</sup>from:</i>		
		Freeways, transportation corridors	
		Major highways	
		Primary highways	
		Secondary highways:	
		In nonresidential areas	
		In residential areas	
		Commuter highways and local streets	
		North-south San Diego Creek ROW	
		East-west San Diego Creek ROW	
		Private drives	
		Interior boundary if adjacent to residential uses:	



		Side	5 feet
		Rear	10 feet
		Interior boundary if adjacent to nonresidential uses:	
		Side	10 feet
		Rear	10 feet
		Building to building	6 feet

<sup>1</sup> Some permitted uses may have to conform to or fulfill conditions of approval imposed in conjunction with previous discretionary approvals. Additionally, a Master Plan application may need to be processed (see [Chapter 2-17](#)).

<sup>2</sup> A Master Plan application may be required in addition to a conditional use permit (see [Chapter 2-17](#)).

<sup>3</sup> A church that proposes to locate in an existing permanent building and meets all the general development standards will not require a conditional use permit (CUP).

<sup>4</sup> A private school for adults (18 years and older) that proposes to locate in an existing permanent building and meets all the general development standards will not require a conditional use permit.

<sup>5</sup> Exceptions to these building setback requirements appear on the setback exceptions matrix in [Section 3-27-2](#).

(Code 1976, § V.E-325.2.2; Ord. No. 92-3, 4-14-92; Ord. No. 92-21, § 6, 11-24-92; Ord. No. 93-7, 6-22-93; Ord. No. 93-14, § 3, 10-12-93; Ord. No. 94-2, § 3, 2-8-94; Ord. No. 94-7, § 3, 6-14-94; Ord. No. 94-15, § 3, 12-13-94; Ord. No. 94-16, 12-13-94; Ord. No. 95-3, § 3B, 4-25-95; Ord. No. 95-4, § 1, 5-9-95; Ord. No. 95-7, § 4, 7-11-95; Ord. No. 95-8, § 3, 7-11-95; Ord. No. 95-12, § 3, 9-12-95; Ord. No. 95-16, § 2, 10-10-95; Ord. No. 96-2, § 2, 1-23-96; Ord. No. 96-18, § 4, 12-10-96; Ord. No. 05-12, § 6, 6-28-05; Ord. No. 05-13, § 4, 7-12-05; Ord. No. 05-16, § 2, 7-12-05; Ord. No. 09-02, § 3, 3-24-09; [Ord. No. 12-04, § 5\(Exh. A\), 3-13-12](#); Ord. No. [12-12, § 5\(Exh. A\), 9-25-12](#); Res. No. 15-86, § 3(Exh. A), 8-11-15; Ord. No. [18-05, Exh. A, 4-24-18](#); [Ord. No. 22-07, § 3\(Exh. A\), 5-10-22](#); [Ord. No. 22-12, § 4\(Exh. A\), 8-9-22](#))

B 13596

APPLICATION FOR  
BUILDING PERMIT

BUILDING ADDRESS 9316 SENISA WAY		DESCRIPTION OF WORK	
TOWN OR SCHOOL DISTRICT IRVINE		NEW <input checked="" type="checkbox"/> ADD <input type="checkbox"/> ALTER <input type="checkbox"/> REPAIR <input type="checkbox"/> DEMOLISH <input type="checkbox"/>	
OWNER SWARTZ-LINKLATER CO.		SIZE SQ FT 16,550.00 NO OF STORIES 2 NO OF FAMILIES 1	
MAILING ADDRESS 3910 HARMAN ST. PHONE 229-4100		USE OF STRUCTURE SINGLE FAMILY DWELLING	
CITY SAN DIEGO, CALIF.		LEGAL DESCRIPTION LOT 38 BLOCK 5922	
ARCHITECT OR ENGINEER THOMAS RICHARDSON		PLEASE ATTACH MEYER AND BOUNDS	
ADDRESS 13912 PANDORA ST. S.A.		I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE INFORMATION I HAVE PROVIDED IS CORRECT AND AGREE TO COMPLY WITH ALL COUNTY ORDINANCES AND STATE LAWS REGULATING BUILDING CONSTRUCTION	
CONTRACTOR SAME AS OWNER		SIGNATURE OF PERMITTEE Robert M. Thomas JR.	
ADDRESS		ADDRESS 13912 PANDORA ST. S.A.	
LICENSE NO.			
ZONING REGULATIONS			
ENGINEER BY G. L. LAYE		DATE CLEARED 5-17-66	
PLAN FULLY DIMENSIONED?		YES NO	
ALL BUILDINGS SHOWN ON PLAN (PER APPLICANT)			
MATH USE		ACC USE	
REQUIRED BUILDING SITE FRONTAGE?		YES NO	
BUILDING HEIGHT?		STORIES AND FEET	
UNLINED LAND AREA		YES NO	
VARIANCE REQUIRED?		APPROVED NO	
STREET WIDTH		CORNER LOT	
BUILDING SETBACK		PROPERTY LINE	
SIDE YARD FRONT		EAVE PROTECTION	
SIDE YARD LEFT		EAVE PROTECTION	
REAR YARD (TOP)		WIDTH OF ALLEY	
SEPARATION BETWEEN BUILDINGS			
CHIMNEY IN REQUIRED SIDE YARD PROJECTS			
PORCH IN REQUIRED YARD PROJECTS			
STAIRS IN REQUIRED YARD PROJECTS			
PARKING AREA REQUIRED		CAPACITY CARS	
REMARKS:			
VALUATION \$		22,600	
L. SUPPLEMENT GROUP		I & J	
PC FEE \$		36.00	
RPT FEE \$		72.00	
TIME OF CONSTRUCTION		5	
INSPECTION RECORD			
APPROVALS		DATE	
FOUNDATION, ELEVATION, FORMS AND MATERIALS			
REINFORCED MASONRY OR CONCRETE			
BOND BEAM			
UNDERPINNING			
ROOF SHEET			
ROOFING			
FRAMING			
LATH OR DRYWALL INTERIOR			
LATH EXTERIOR			
PASTER FROWN COAT			
FINAL			

GRADING PERMIT REQUIRED

Rough Grading Approved

DEPARTMENT OF BUILDING AND SAFETY

SANTA ANA, CALIF.

COUNTY OF ORANGE

VALIDATION

ENCLOSURE 3

OCT 19 1966

APR 1966

72.00

36.00 7

108.00

PLAN SHEET

TOTAL

## **Samples of Residential Additions in Tract 5922**

**12 Satinwood Way (00414279-RBPR)**



ENCLOSURE 4



# Res Alt/Add/2nd Story Deck Permit

ADDRESS: 12 SATINWOOD WAY  
TRACT: 5922 LOT: 88  
APN: 45305125  
PLANNING AREA: 20

00414279-RBPR

DESCRIPTION OF WORK:  
ADDITION OVER GARAGE AND ENTRY

CONTRACTOR

## LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class \_\_\_\_\_ Lic No \_\_\_\_\_  
Date 3/6/06 Contractor \_\_\_\_\_

OWNER-BUILDER

## OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law for the following reason

- ☒ I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale
- ☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project
- ☐ I am exempt under Sec. \_\_\_\_\_, B&PC, for this Reason \_\_\_\_\_

Date 3-6-06 Owner [Signature]

WORKERS' COMPENSATION

## WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations

- ☐ I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- ☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance is carrier and policy number are \_\_\_\_\_

Policy # \_\_\_\_\_

- ☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions

Date \_\_\_\_\_ Applicant \_\_\_\_\_

**WARNING, FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES**

## CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec 3097, Civ C)

Lender's Name \_\_\_\_\_

Lender's Address \_\_\_\_\_

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes

[Signature] 3-6-06  
Signature of Applicant or Agent Date

Corey Pace 3-6-06  
Print Applicant's/Agent's Name

OWNER: COREY PACE

ADDRESS: 12 SATINWOOD  
CITY, ST ZIP: IRVINE CA 92612  
PHONE: (949) 387-8894

APPLICANT: COREY PACE

ADDRESS: 12 SATINWOOD  
CITY, ST ZIP: IRVINE CA 92612  
CONTACT: Corey Pace 949-387-8894  
PHONE: (949) 387-8894

CONTRACTOR:

ADDRESS:  
CITY, ST ZIP:  
CONTR LIC EXP:  
IRV BUS LIC:

EXP DATE:

VALUATION: \$ 40,781

STORIES: 2

NO. UNITS: 1

CODE YR: 2001

TOT SQFT: 725

USE

OCC

CONST TYPE

SQ FT

RES. SFD

R-3

Type V-N

725

## PERMIT FEES

Microfilm	12.75
Energy Surcharge Insp	35.00
Issuance Fee Res	15.00
Elec Fixtures Res	5.46
Fixture/Trap Res	8.57
Outlet Installation Res	2.55
Outlets/Switches Res	11.83
Res Addition Insp	449.50
Ventilating Fan Res	16.63
State Seismic Res	4.10

Total Permit Fees: \$561.39

Receipt# 00021538

TCA Receipt: TCA:

PLAN CHECK #: 00409813-RRR

PLANNING APPROVAL: PETER COX 1/11/2006

BUILDING APPROVAL: RAY LUNA 3/6/2006

PERMIT ISSUED BY: ROBERT HOLLAND 3/6/2006

**PERMIT EXPIRATION** Permit becomes null & void if work is not started in 180 days or if work is suspended for 180 days or more. Residential permit expiration: addition - 18 months, all others 6 months from date of permit.

INSPECTION

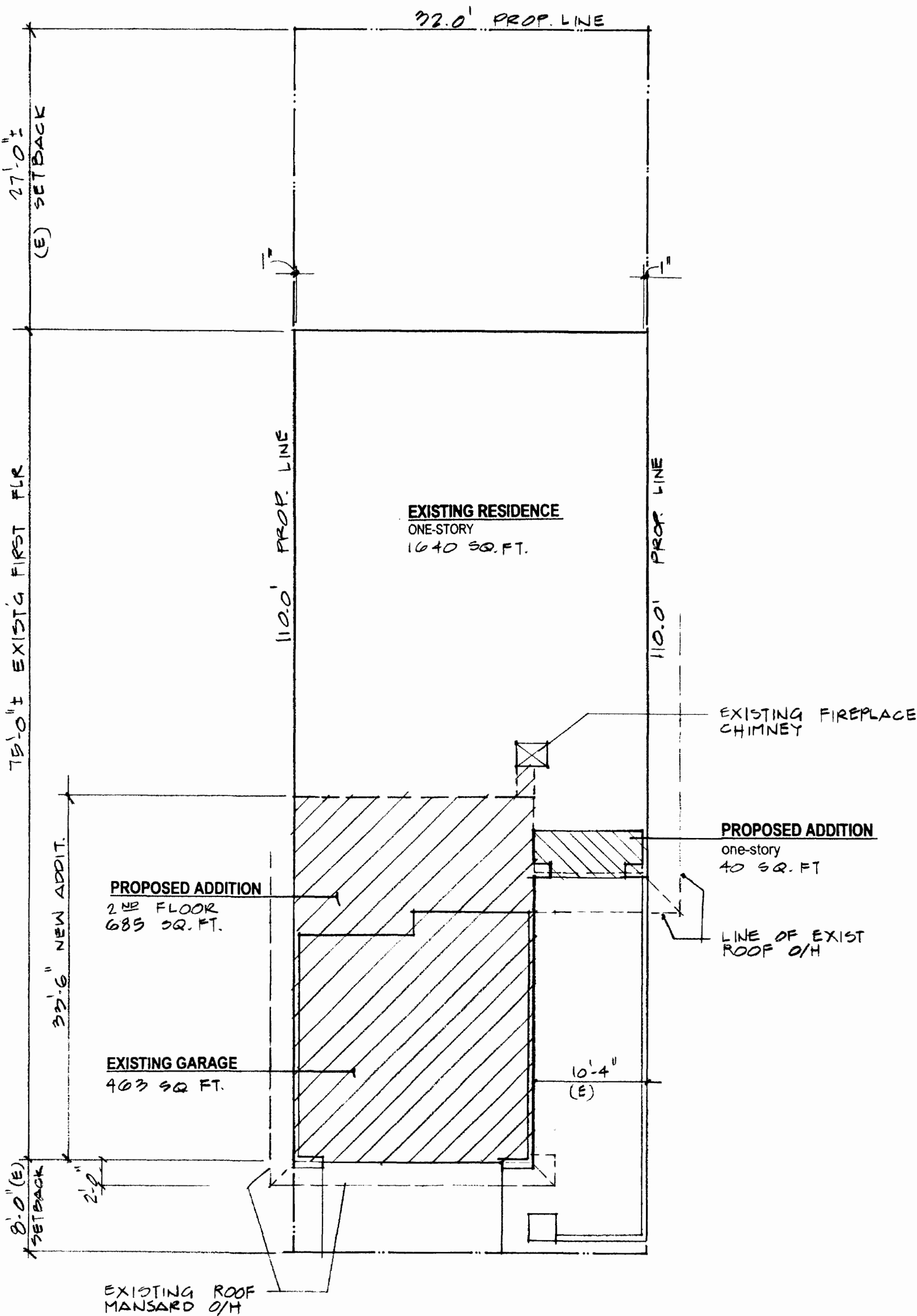
c:\edenreports\permits rp

NOTICE:

Pursuant to Assembly Bill 3020, no excavation permit is valid unless the following is performed  
1 UNDERGROUND SERVICE ALERT has been contacted and has provided inquiry ID Number  
2 The applicant agrees to contact and obtain an inquiry ID Number from UNDERGROUND SERVICE ALERT (1-800-422-4133) at least 2 working days prior to commencing excavation

CONTRACTOR WORKING HOURS

Weekdays: 7 AM - 7 PM  
Saturday: 9 AM - 6 PM  
Sunday/Holiday PROHIBITED



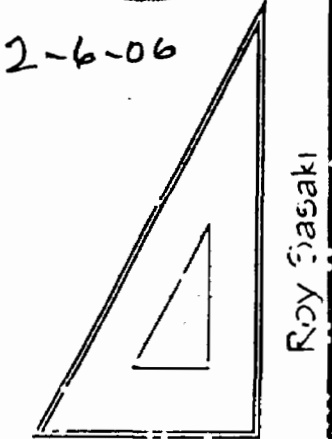
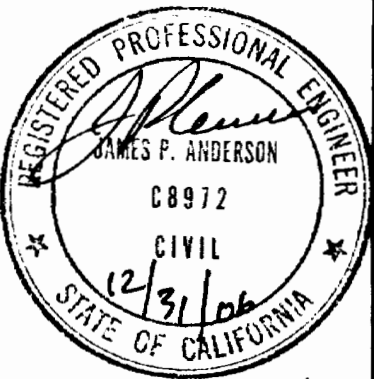
12 SATINWOOD WAY

site plan

1/8" = 1'-0"

5. Please include the following note on the plans if there are no easements:  
I COREY PACE (property owner or owner's authorized agent) certify that the subject doesn't contain any easements, which restrict the use of my property.  
[Signature] Date 2-10-06  
Signature (owner or authorized agent)

REVISIONS	BY



Roy's Drafting Service  
957 Carnation Avenue  
Costa Mesa, CA 92626  
ph: 714.549.4768

**PROPOSED 2<sup>ND</sup> FLR. ADDITION**  
**COREY & DAYNA PACE**  
**12 SATINWOOD WAY**  
**IRVINE, CA 92612**

DRAWN
CHECKED
DATE
SCALE AS SHOWN
JOB NO.
SHEET
<b>A-1</b>
OF SHEETS

**12 Wintersweet Way (00719405-RBPR)**





## Res Alt/Add/2nd Story Deck Permit

ADDRESS: 12 WINTERSWEET WAY  
TRACT: 5922 LOT: 21  
APN: 45305244  
PLANNING AREA: 20

00719405-RBPR

### DESCRIPTION OF WORK:

ADDITION: ENCLOSE ATRIUM & FOYER. REMODEL FOYER,  
CONVERT BEDROOM TO OFFICE, RELOCATE DOOR &  
COAT CLOSET IN LIVING ROOM. 2 NEW SKYLIGHTS.  
DEMO FIREPLACE.

CONTRACTOR

#### LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class \_\_\_\_\_ Lic.No. \_\_\_\_\_

Date 08/15/2018 Contractor \_\_\_\_\_

OWNER-BUILDER

#### OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law for the following reason:

- ☐ I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale.
- ☒ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project.
- ☐ I am exempt under Sec. \_\_\_\_\_, B&PC, for this Reason \_\_\_\_\_

Date 8/15/2018 Owned AMY CHOW

WORKERS' COMPENSATION

#### WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

- ☐ I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- ☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance is carrier and policy number are:

Carrier \_\_\_\_\_

Policy # \_\_\_\_\_

- ☒ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 8/15/2018 Applicant AMY CHOW

**WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.**

#### CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.)

Lender's Name \_\_\_\_\_

Lender's Address \_\_\_\_\_

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent

Date

Print Applicant's/Agent's Name

OWNER: AMY CHOW

ADDRESS: 12 WINTERSWEET WAY

CITY, ST ZIP: IRVINE CA 92612

PHONE: (949) 701-7177

APPLICANT: COAST ENGINEERING DESIGNS INC>

ADDRESS: 10231 SLATER AVE

CITY, ST ZIP: FOUNTAIN VALLEY CA 92708

CONTACT: FARHAD REZAI 714.593.0337

PHONE: (714) 593-0337

CONTRACTOR:

ADDRESS:

CITY, ST ZIP:

CONTR LIC EXP:

IRV BUS LIC:

EXP DATE:

VALUATION: \$ 37,401

STORIES: 2

NO. UNITS: 1

CODE YR: 2016

TOT SQFT: 960

USE

Convert atrium to addition  
Interior alteration  
Air Condition

OCC

R-2  
R-2  
R-2

CONST. TYPE

Two 5B  
Miscellaneous  
RESIDENTIAL

SQ FT

189  
771

By signing this permit I certify that I will comply with the latest California Plumbing Code regarding flushing procedures should PEX water piping be installed.

Outdoor fireplaces, barbeques and ovens shall not use solid fuel per AQMD requirements, and shall conform to all set back requirements. Underground metallic gas piping is prohibited. Please check with your HOA/Community Association before construction to obtain their approval, if necessary.

Prior to proceeding with work for a TANKLESS WATER HEATER obtain HOA approval if work involves new ventilation terminating at an exterior wall adjoining a neighbor's yard, or the home the heater serves is within a multi-family building.

**Total Permit Fees: \$767.61**

Receipt#

00176564

TCA Receipt:

TCA:

PLAN CHECK #: 00716678-RRR

PLANNING APPROVAL: TIFFANY LIN 7/25/2017

BUILDING APPROVAL: INTERWEST 8/5/2017

PERMIT ISSUED BY: DEANNE BAPTISTA 8/15/2018

**PROJECT DURATION: 18 months –Overall for Room Additions or major reconstruction, and no more than 6 months to complete exterior wall finishes and roofing; 6 months – Any other type of permitted work. Note- this permit shall become null & void if work is suspended for 180 days or more. See City of Irvine Information Bulletin No. 222 for more information regarding owner and contractor responsibilities. See Inspection Record Card for Smoke Detector and Carbon Monoxide Alarm requirements.**







**5 Senisa Way (00882645-RBPR)**





## Res Alt/Add/2nd Story Deck Permit

00882645-RBPR

ADDRESS: 5 SENISA WAY

TRACT: 5922

LOT: 37

APN: 45305228

PLANNING AREA: 20

DESCRIPTION OF WORK:

(E-PLAN) RESIDENTIAL ADDITION & REMODEL.

CONTRACTOR

### LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class \_\_\_\_\_ Lic.No. \_\_\_\_\_

Date 09/16/2022 Contractor \_\_\_\_\_

OWNER-BUILDER

### OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law for the following reason:

- ☐ I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale.
- ☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project.
- ☐ I am exempt under Sec. \_\_\_\_\_, B&PC, for this Reason \_\_\_\_\_

Date 9/16/2022 Owner SEAN SOHI

WORKERS' COMPENSATION

### WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

- ☐ I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- ☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance is carrier and policy number are:  
Carrier \_\_\_\_\_

Policy # \_\_\_\_\_

- ☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 9/16/2022 Applicant \_\_\_\_\_

**WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.**

LENDER

### CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.)

Lender's Name \_\_\_\_\_

Lender's Address \_\_\_\_\_

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent \_\_\_\_\_ Date \_\_\_\_\_

Print Applicant's/Agent's Name \_\_\_\_\_

OWNER: SEAN SOHI

ADDRESS: 5405 ALTON PKWY SUITE 5A #511

CITY, ST ZIP: IRVINE CA 92604

PHONE: (949) 235-8750

APPLICANT: SEAN SOHI

ADDRESS: 5405 ALTON PKWY SUITE 5A #511

CITY, ST ZIP: IRVINE CA 92604

CONTACT: SEAN SOHI 949-235-8750

PHONE: (949) 235-8750

CONTRACTOR:

ADDRESS:

CITY, ST ZIP:

CONTR LIC EXP:

IRV BUS LIC:

EXP DATE:

VALUATION: \$60,212

STORIES: 0

CODE YR: 2019

NO. UNITS:

TOT SQFT: 678

USE	OCC	CONST. TYPE	SQ FT
1ST FLOOR ADDED LIVING (COVR-3		Type VB	70
2ND FLOOR ADDED LIVING (COVR-3		Type VB	190
Air Condition		RESIDENTIAL	
KITCHEN REMODEL		Miscellaneous	236
BATHROOM REMODEL		Miscellaneous	182

### PERMIT FEES

SB 1473 fee - Due to State	2.70
SB 1473 fee - Admin	0.30
Energy Surcharge Insp	53.72
Issuance Fee Res	23.23
Air Conditioning Res	349.40
Dishwasher Res	13.50
Elec Fixtures,hard wired appl	38.83
Fixture/Trap Res	105.30
Furnace/Burner Res	174.50
Garbage Disposal Res	27.00
Outlets/Switches Res	26.64
Res Remodel Insp	656.30
Water Heater/Vent Res	29.28
State Seismic Res	7.83
SlurrySeal Res Remodel/Add	20.34

Total Permit Fees: \$1,528.87

Receipt# 00246137

TCA Receipt: TCA:

PLAN CHECK #: 00860023-RRR

PLANNING APPROVAL: LYNNNAE GUZMAN 6/13/2022

BUILDING APPROVAL: AREZOO RAHIMI 8/30/2022

PERMIT ISSUED BY: JOHN VAN DER WALL 9/16/2022

PERMIT FINALED BY: BRYAN WARRINER 5/25/23

ACTION CODE: 86

PROJECT DURATION: 18 months –Overall for Room Additions or major reconstruction, and no more than 6 months to complete exterior wall

finishes and roofing; 6 months – Any other type of permitted work. Note- this permit shall become null & void if work is suspended for 180

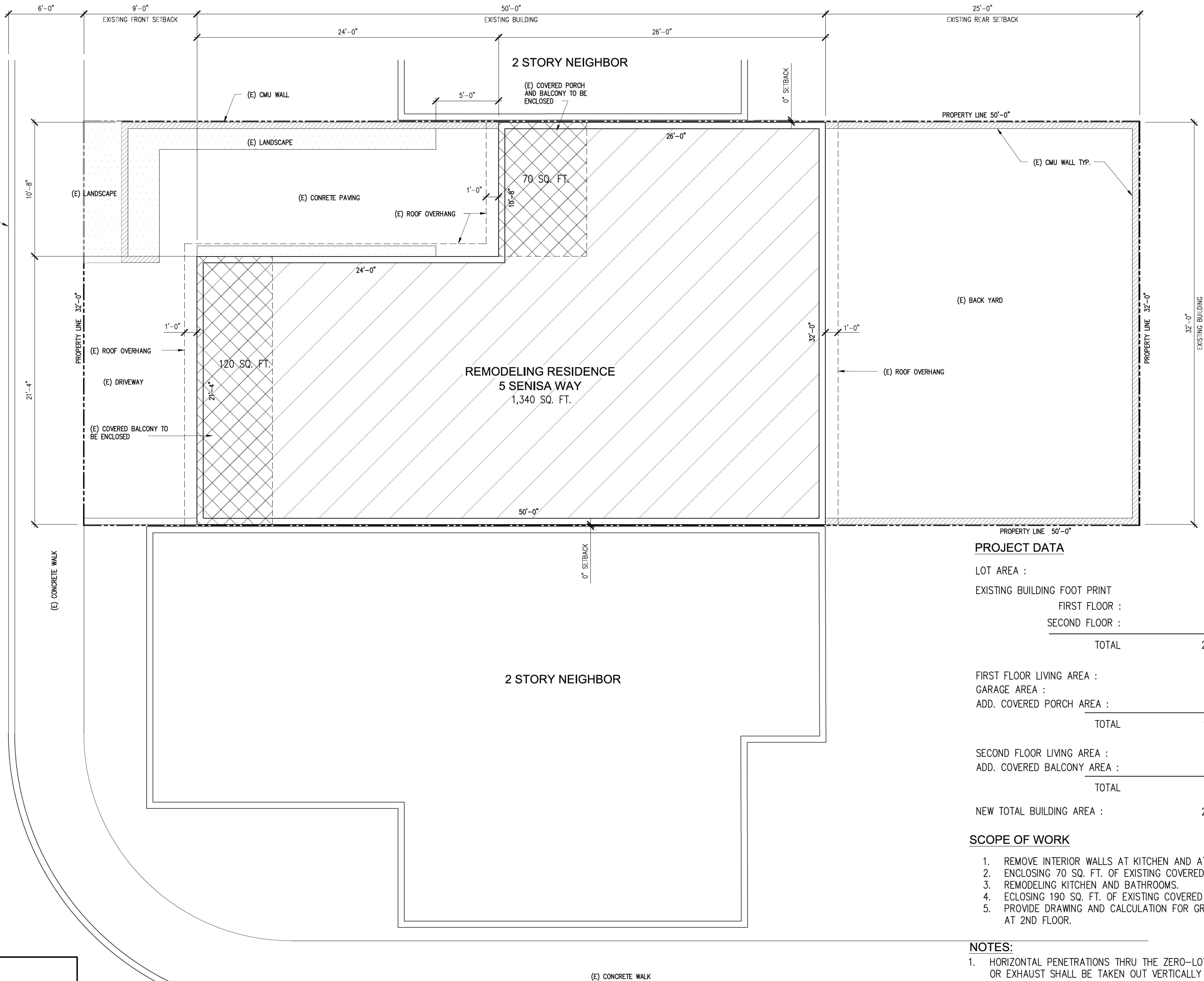
days or more. See City of Irvine Information Bulletin No. 222 for more information regarding owner and contractor responsibilities.

See Inspection Record Card for Smoke Detector and Carbon Monoxide Alarm requirements.

NOTICE: Pursuant to Assembly Bill 3020, no excavation permit is valid unless the following is performed:  
1. UNDERGROUND SERVICE ALERT has been contacted and has provided inquiry ID. Number  
2. The applicant agrees to contact and obtain an inquiry ID. Number from UNDERGROUND SERVICE ALERT (1-800-422-4133) at least 2 working days prior to commencing excavation.

CONSTRUCTION WORKING HOURS  
Weekdays: 7 AM - 7 PM, Saturday: 9 AM - 6 PM  
Sunday/Holiday: PROHIBITED

SENISA WAY



**NOTE:**

TOTAL 4 WATER CLOSETS.

WATER CLOSET FIXTURE UNITS WILL REQUIRE A MINIMUM 4" SANITARY SEWER DRAIN BEGINNING AT THE WATER CLOSET AND RUNNING TO THE SEWER MAIN IN THE STREET.

CONTRACTOR SHALL VERIFY EXISTING SANITARY SEWER LATERAL MEETS CAPACITY (REF: 2019 CPC 703.2 AND TABLE 703.2). WHERE DRAIN IS UNDERSIZED, CONTRACTOR SHALL UPGRADE MAIN SANITARY SEWER DRAIN TO BE 4" MINIMUM DIAMETER.

**PROJECT DATA**

LOT AREA :	2,700 SQ. FT.
EXISTING BUILDING FOOT PRINT	
FIRST FLOOR :	1,340 SQ. FT. (INCL. 70 SQ. FT. (E) COVERED PORCH)
SECOND FLOOR :	1,290 SQ. FT. (INCL. 190 SQ. FT. (E) COVERED BALCONIES)
TOTAL	2,630 SQ. FT.
FIRST FLOOR LIVING AREA :	790 SQ. FT.
GARAGE AREA :	480 SQ. FT.
ADD. COVERED PORCH AREA :	70 SQ. FT.
TOTAL	1,340 SQ. FT.
SECOND FLOOR LIVING AREA :	1,100 SQ. FT.
ADD. COVERED BALCONY AREA :	190 SQ. FT.
TOTAL	1,290 SQ. FT.
NEW TOTAL BUILDING AREA :	2,630 SQ. FT.

**SCOPE OF WORK**

1. REMOVE INTERIOR WALLS AT KITCHEN AND AT COVERED PORCH.
2. ENCLOSING 70 SQ. FT. OF EXISTING COVERED PORCH.
3. REMODELING KITCHEN AND BATHROOMS.
4. ECLOSING 190 SQ. FT. OF EXISTING COVERED BALCONIES.
5. PROVIDE DRAWING AND CALCULATION FOR GRANDFATHERED ENCLOSED BALCONIES AT 2ND FLOOR.

**NOTES:**

1. HORIZONTAL PENETRATIONS THRU THE ZERO--LOT LINE WALL ARE NOT PERMITTED. ALL VENTING OR EXHAUST SHALL BE TAKEN OUT VERTICALLY THRU THE ROOF.
2. ALL THRU AND MEMBRANE PENETRATIONS IN A FIRE RATED WALLS SHALL BE IN ACCORDANCE WITH CRC R302.4.

SENISA WAY



SITE PLAN

1/4" = 1'-0"

OWNER/APPLICANT  
**SOHI RESIDENCE**  
5 Senisa  
Irvine, CA 92612

HOUSE REMODELING  
LOCATED AT:  
5 Senisa  
Irvine, CA 92612

**BLUE HORIZON**  
CONSULTING ENGINEERS INC.

28 CORPORATE PLAZA, SUITE 100  
NEWPORT BEACH, CA 92660  
P (949) 822-1488  
mail@bhceeng.com  
www.bhceeng.com



07/01/22

D.S. S. KASHANI  
DRAWN C. NGUYEN  
C.D.  
PROJ. MGR.  
DATE 02/06/22

JOB 21-46

SP-1



# UNIVERSITY COMMUNITY ASSOCIATION

January 27, 2026

M. & E. S. Construction  
5325 Alton Parkway, STE C #511  
Irvine, CA 92604

**RE: CC&R Compliance Review for Home Improvement**  
7 Senisa Way  
Account# 00252-2007

Dear M. & E. S. Construction:

The Board of Directors/Manager for the University Community Association has approved your plans for **Home Addition/Alteration: Per Settlement Agreement per Board of Directors.**

At this time, you may proceed with your project. Please be reminded that the approval is based on conformance to the University Community Association CC&R's. This approval does not release you from obtaining other necessary approval and/or permits if applicable.

Please remember that improvements must conform to the approved plan and approval will expire six (6) months from the date of this letter.

Thank you for adhering to the submittal requirements for the University Community Association. Your cooperation is appreciated.

Sincerely,

UNIVERSITY COMMUNITY ASSOCIATION  
BOARD OF DIRECTORS