



February 5, 2026

Mr. Sean Sohi
M&ES Construction Engineering
5325 Alton Parkway, Suite C #511
Irvine, CA 92604

Sent Via Email:
Sean92604@gmail.com

Subject: Setback Deviation Letter for 7 Senisa, Planning Area 20 (University Park); File No. 00971920-PSD

Dear Mr. Sohi:

Community Development Department staff completed review of the request for a reduced side-yard setback for a proposed residential addition at 7 Senisa Way located in Planning Area 20 (University Park) (Enclosure 1). The property is zoned 2.2B Low Density Residential and is subject to the general development standards contained in Section 3-37-13 of the Irvine Zoning Ordinance (Enclosure 2). This request is to consider a reduced side-yard setback of 3 feet in lieu of 5 feet pursuant to Section 3-27-13 of the Zoning Ordinance.

The property at 7 Senisa Way is located on Lot 38 of Tract 5922 and was constructed in 1966 under Building Permit No. 00028556, which was issued by the County of Orange (Enclosure 3). In accordance with the provisions in effect at the time of construction, the structure was legally built with a 3-foot side-yard setback on the western side of the lot.

The current 2.2B Low Density Residential development standards require a 5-foot setback from the side property line, rendering the western side-yard setback legal non-conforming. Pursuant to Section 3-27-13 of the Zoning Ordinance, the applicant has requested that the proposed addition be built at the same 3-foot setback as the existing building footprint along the existing westerly side.

Section 3-27-13 of the Irvine Zoning Ordinance allows residential additions to use the building setback requirement in effect at the time that the unit was originally constructed subject to the discretion of the Director of Community Development, if the following findings for a setback deviation request can be met:

- A. A representative number of units in the tract, which were subject to the same original setback requirement, have existing structures legally built to the setbacks similar to those being requested.

The proposed residential addition at 7 Senisa will continue to utilize the existing legal non-conforming setback standard for the addition. Staff researched building permits and plans for similar additions and determined that similar setbacks have previously been granted within this tract. Specifically, reduced setbacks were approved at 12 Satinwood Way in 2006 (File No. 00414279-RBPR); 12 Wintersweet Way in 2017 (File No. 00719405-RBPR); and 5 Senisa Way in 2022 (File No. 00882645-RBPR) (Enclosure 4). These approvals support the precedent to allow for a reduced setback for an addition in the front patio portion of the home. They also establish that approval of this request would be consistent with the scale and character of the surrounding homes.

- B. The construction of the building addition to the original setback requirement will be in harmony with the character of the neighborhood.

Construction of the single-story building addition at a 3-foot setback will be harmonious with the character of the neighborhood given that several residential units in Tract 5922 were also developed at a reduced side-yard setback. The placement, scale, massing, and height of the proposed addition is consistent with the character of the neighborhood, particularly with other recent renovations in the neighborhood. The applicant will be required to obtain a building permit to ensure the addition is consistent with current Building Code and Irvine Zoning Ordinance requirements, with the inclusion of the setback deviation. Based upon the above, the construction of the building addition will be in harmony with the aesthetic character of the neighborhood.

- C. The design materials and amenities utilized in the building addition will be consistent with the character of the neighborhood.

The design, materials, and amenities utilized in the building addition will be consistent with the character of the neighborhood. There are no neighboring residences adjacent to the westerly side where the building addition is proposed, therefore no Adjacent Neighbor Acknowledgement Letter was required. Additionally, the homeowners' association has approved the proposed residential addition and design (Enclosure 5). Finally, the proposed addition would be consistent with the scale of other approved properties in the project vicinity. Therefore, the overall design of the addition will be consistent with the scale and character of the neighborhood.

Based on an analysis of this request, it has been determined that the proposed addition meets the above findings. Therefore, the request for the reduced 3-foot setback for the proposed addition, as generally depicted in Enclosure 1, is approved. **Please include a copy of this approval letter on the plans for your next building permit application submittal.**

Mr. Sean Sohi
February 5, 2026
Page 3 of 3

Unless an appeal is filed prior to the expiration of the five-day appeal period ending at 5 p.m. Thursday, February 12, 2026, the approval granted by this letter shall become effective Friday, February 13, 2026.

If you have any questions or concerns on this matter, please contact Assistant Planner Adam Wong at 949-724-5491 or via email at adwong@cityofirvine.org.

Sincerely,



Stephanie Frady, AICP
Director of Community Development

Enclosures:

1. Written Request and Preliminary Plans
2. Section 3-37-13, 2.2 *Low Density Residential Standards*, of the Irvine Zoning Ordinance
3. Building Permit No. 00028556 for 7 Senisa Way
4. Samples of Residential Additions in Tract 5922
5. Homeowners' Association Approval Letter

cc: Ann Wuu, Acting Planning Manager
File: 00971920-PSD

Project description

Extend front entry approximately 9' x 9' to accommodate for a new entry way and bathroom.

Infill existing rear balcony approximately 17'x4' to create more interior habitable space.

Enclosed are 4 permitted projects where each of these permitted projects have extended

Their existing envelope to the property line as set forth by the original setback distance

Of 3 feet and to the original wall planes of the existing building structure.

HOA has approved this project along with materials, color and aesthetics. See letter of HOA approval on Go Post.

SeniSa

2 Story Neighbor

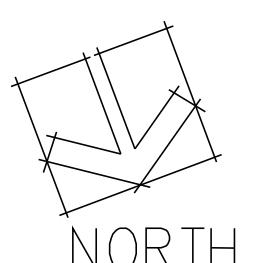
(E) 2 Story Residence

enisa

EXISTING BUILT AREA

 NEW FIRST AND/OR SECOND FLOOR ADDITION

SEE CONSTRUCTION SECURITY REQUIREMENTS GN-3



NORTH

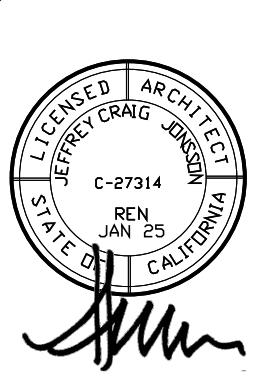
Scale: 1" = 5'-0"

Jeffrey Jonsson

Architect

6 Pearl Ave
Newport Beach, CA
662

9 412 3955
architecture



PROJECT NAME: **SOHI RESIDENCE**

7 Senisa Irvine, Ca

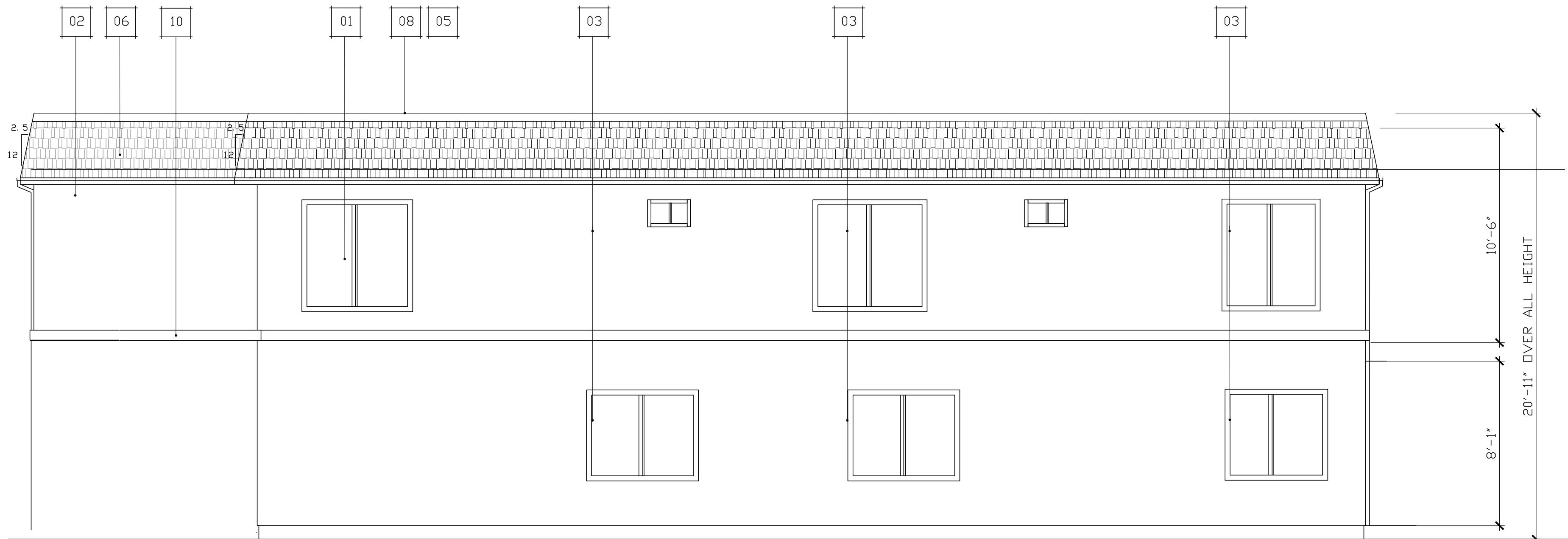
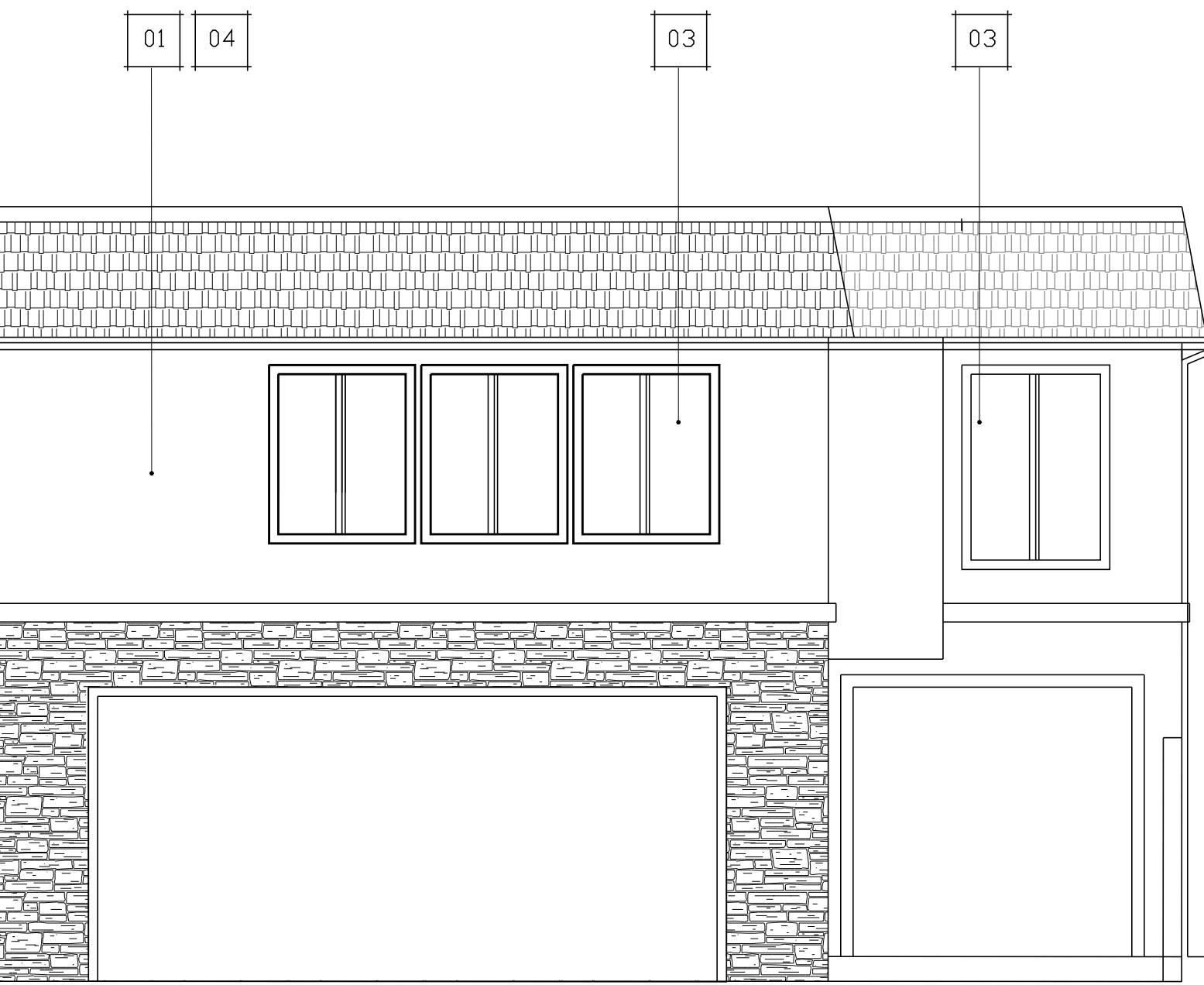
HEET TITLE:
SITE PLAN
RMP

CE: THE DESIGNS SHOWN AND DESCRIBED HEREIN, INCLUDING ALL TECHNICAL DRAWINGS, GRAPHICS, AND MODELS (EDF), ARE PROPRIETARY AND SHALL NOT BE COPIED, REPLICATED, REUSED OR COMMERCIALY EXPLOITED IN WHOLE OR IN PART, WITHOUT THE WRITTEN PERMISSION OF JEFFREY JONSSON ARCHITECT. ADDITIONALLY, THESE DOCUMENTS HAVE BEEN PREPARED FOR THE USE OF THE ARCHITECT AND ARE NOT INTENDED TO BE USED BY OTHERS, UNLESS THEY ARE PRESENT AND APPROVED BY THE ARCHITECT. THE ARCHITECT DOES NOT WARRANT IN ANY WAY THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS. THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND ARE AVAILABLE FOR LIMITED REVIEW AND EVALUATION BY THE CLIENT, CONSULTANTS, CONTRACTORS, GOVERNING AGENCIES, ORS, AND OFFICE PERSONNEL, ONLY IN ACCORDANCE WITH THIS NOTICE. ADDITIONALLY, CONTRACTORS SHALL VERIFY CONDITIONS AND SHALL NOT SCALE THE DRAWINGS AT ANY TIME. RIGHTS RESERVED. © COPYRIGHT, JEFFREY JONSSON ARCHITECT, 2010

LAST ISSUE DATE: 05. 27. 23

ISSUE DATE: _____

HEET

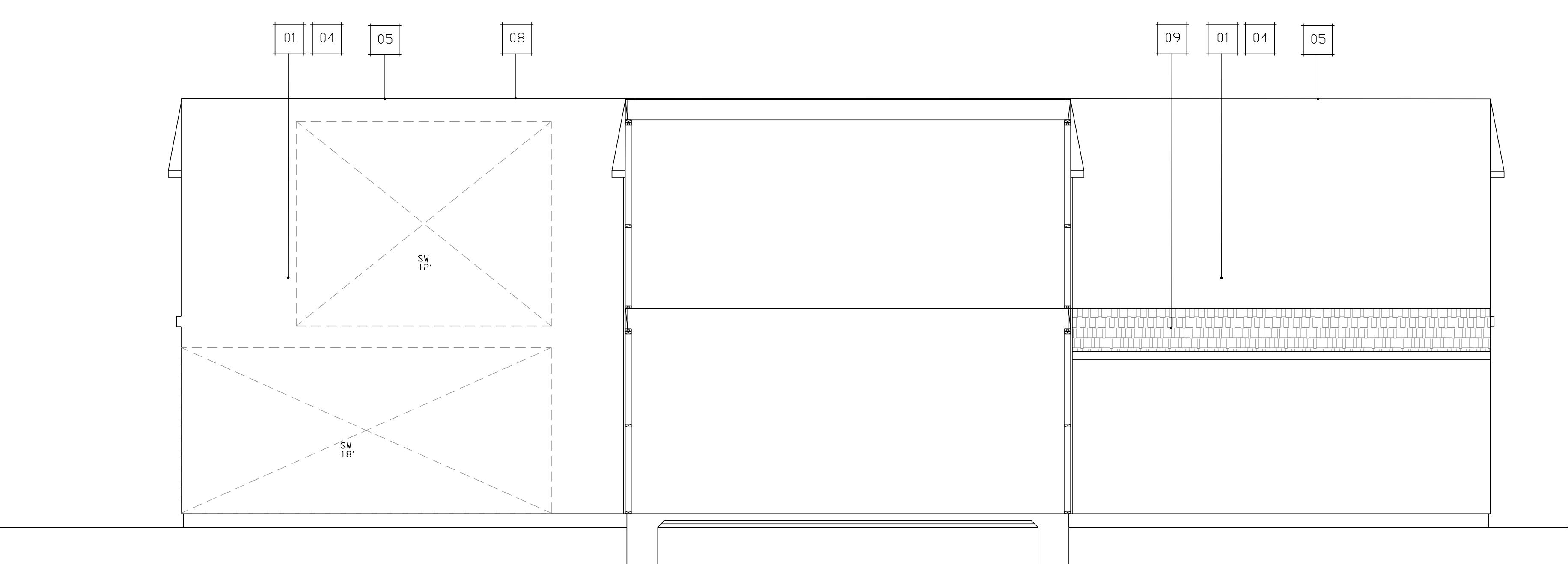


FRONT ELEVATION

Scale: 1/4" = 1'-0"

RIGHT SIDE ELEVATION

Scale: 1/4" = 1'-0"



REAR ELEVATION

Scale: 1/4" = 1'-0"

LEFT SIDE ELEVATION

Scale: 1/4" = 1'-0"

ELEVATION NOTES

01. EXTERIOR PLASTER WITH TEXTURE TO MATCH EXISTING
02. NEW FASCIA PLASTER TO MATCH EXISTING
03. VINYL WINDOWS
04. PROVIDE R-13 INSULATION IN ALL NEW EXTERIOR WALLS
05. PROVIDE R-38 INSULATION WITH RADIANT BARRIER ROOF SHT'G
06. CLASS A ICC ESR 1475 ROOF MATERIAL AND SLOPE TO MATCH EXISTING
07. MANUFACTURED LEDGER STONE
08. CLASS A ICC ESR 1274 ROOF MATERIAL TO MATCH EXISTING SLOPE TO DRAIN ROOFING TO BE INSTALLED PER MANUFACTURERS SPECIFICATION AND ICC
09. EXISTING ROOF AND WALL TO REMAIN
10. 3 1/2" DRAINAGE GAP

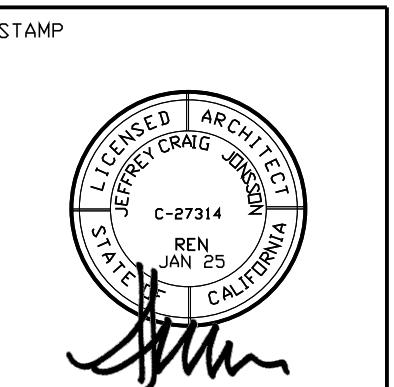
Jeffrey Jonsson

Architect

216 Pearl Ave
Newport Beach, Ca
92662

949 412 3955

Architecture Planning Engineering



PROJECT NAME:

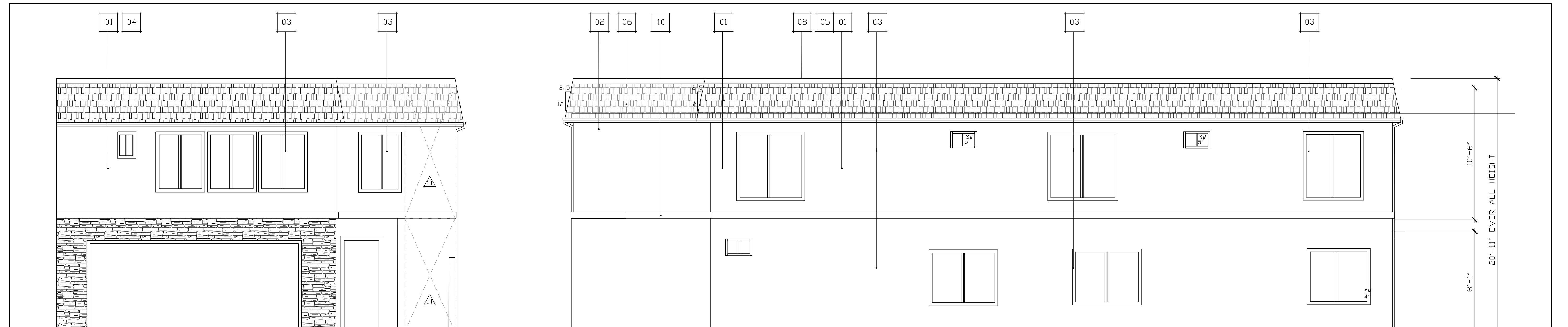
7 Senisa Irvine, Ca

SHEET TITLE:
**EXISTING
ELEVATIONS**

NOTICE: THE DESIGNS SHOWN AND DESCRIBED HEREIN, INCLUDING ALL TECHNICAL DRAWINGS, GRAPHICS, AND MODELS HEREOF, ARE PROPRIETARY AND SHALL NOT BE COPIED, REPLICATED, OR IN PART, USED OR COMMERCIALIZED EXCEPT IN WHOLE OR IN PART, WITHOUT THE WRITTEN PERMISSION OF JEFFREY JONSSON ARCHITECT. ADDITIONALLY, THESE DOCUMENTS HAVE BEEN PREPARED TO DESCRIBE NEW WORK ONLY AND DO NOT REPRESENT AS-BUILT OR ACCURATE EXISTING CONDITIONS. THE ARCHITECT DOES NOT WARRANT IN ANY WAY THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS. THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND ARE AVAILABLE FOR LIMITED REVIEW AND EVALUATION BY THE CLIENT, CONSULTANTS, CONTRACTORS, GOVERNING AGENCIES, VENDORS, AND OFFICE PERSONNEL ONLY IN ACCORDANCE WITH THIS NOTICE. ADDITIONALLY, CONTRACTORS SHALL VERIFY

LAST ISSUE DATE: 05. 27. 23

SHEET



Jeffrey Jonsson

chitect

6 Pearl Ave
Newport Beach, CA
92662

49 412 3955

Architecture Planning Engineering

AMP



PROJECT NAME:

SOH

RESIDENCE

7 Senisa Irvine, Ca

HEET TITLE: **PROPOSED ELEVATIONS**

THE DESIGNS SHOWN AND DESCRIBED HEREIN, INCLUDING ALL TECHNICAL DRAWINGS, GRAPHICS, AND MODELS (PDF), ARE PROPRIETARY AND SHALL NOT BE COPIED, REPLICATED, REUSED OR COMMERCIALY EXPLOITED IN WHOLE OR IN PART, WITHOUT THE WRITTEN PERMISSION OF JEFFREY JONSSON ARCHITECT. ADDITIONALLY, THESE DOCUMENTS HAVE BEEN PREPARED TO DESCRIBE NEW WORK ONLY AND DO NOT CONTAIN ANY EXISTING CONSTRUCTION OR DESIGN CONDITIONS. THE ARCHITECT DOES NOT WARRANT IN ANY WAY THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS. THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND ARE AVAILABLE FOR LIMITED REVIEW AND EVALUATION BY THE CLIENT, CONSULTANTS, CONTRACTORS, GOVERNING AGENCIES, ORS, AND OFFICE PERSONNEL ONLY IN ACCORDANCE WITH THIS NOTICE. ADDITIONALLY, CONTRACTORS SHALL VERIFY CONDITIONS AND SHALL NOT SCALE THE DRAWINGS AT ANY TIME. RIGHTS RESERVED © COPYRIGHT, JEFFREY JONSSON ARCHITECT, 2010

ST ISSUE DATE: 05. 27. 23

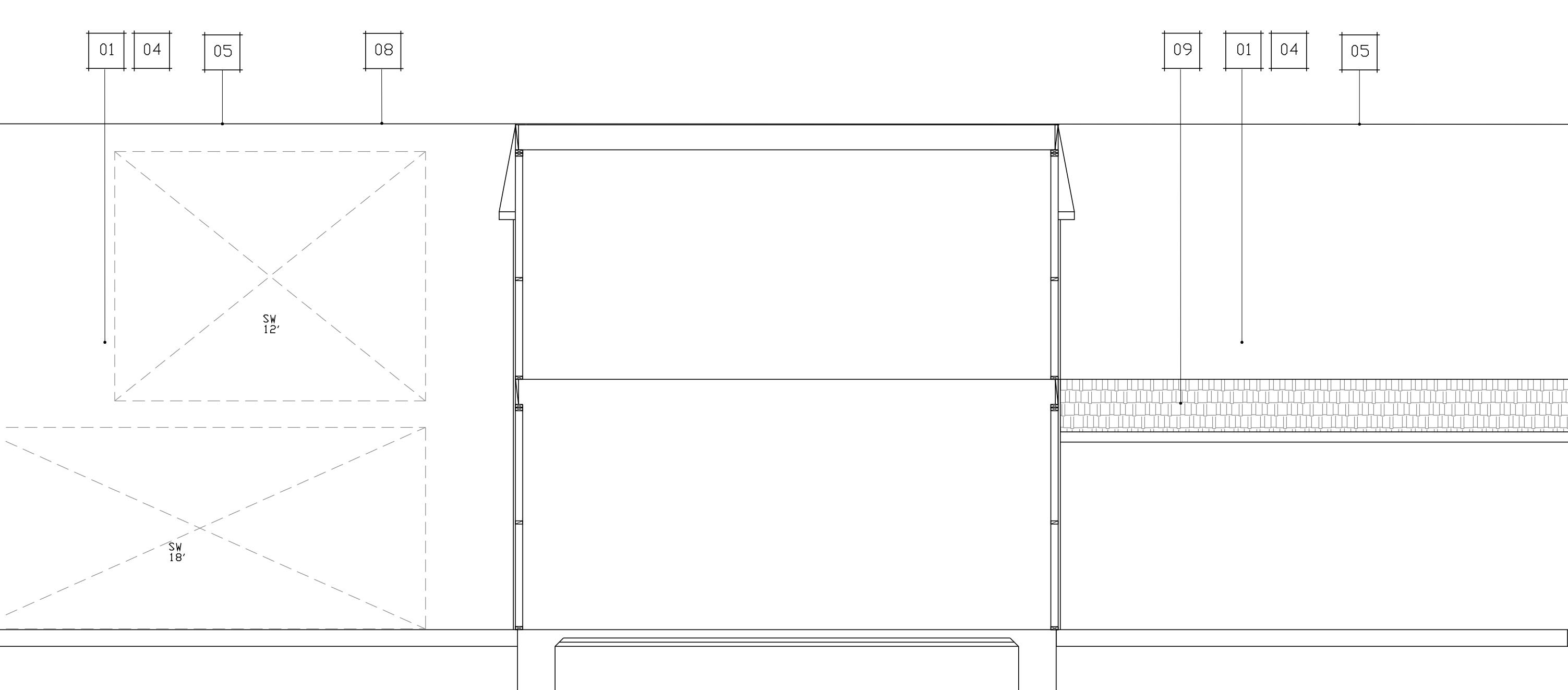
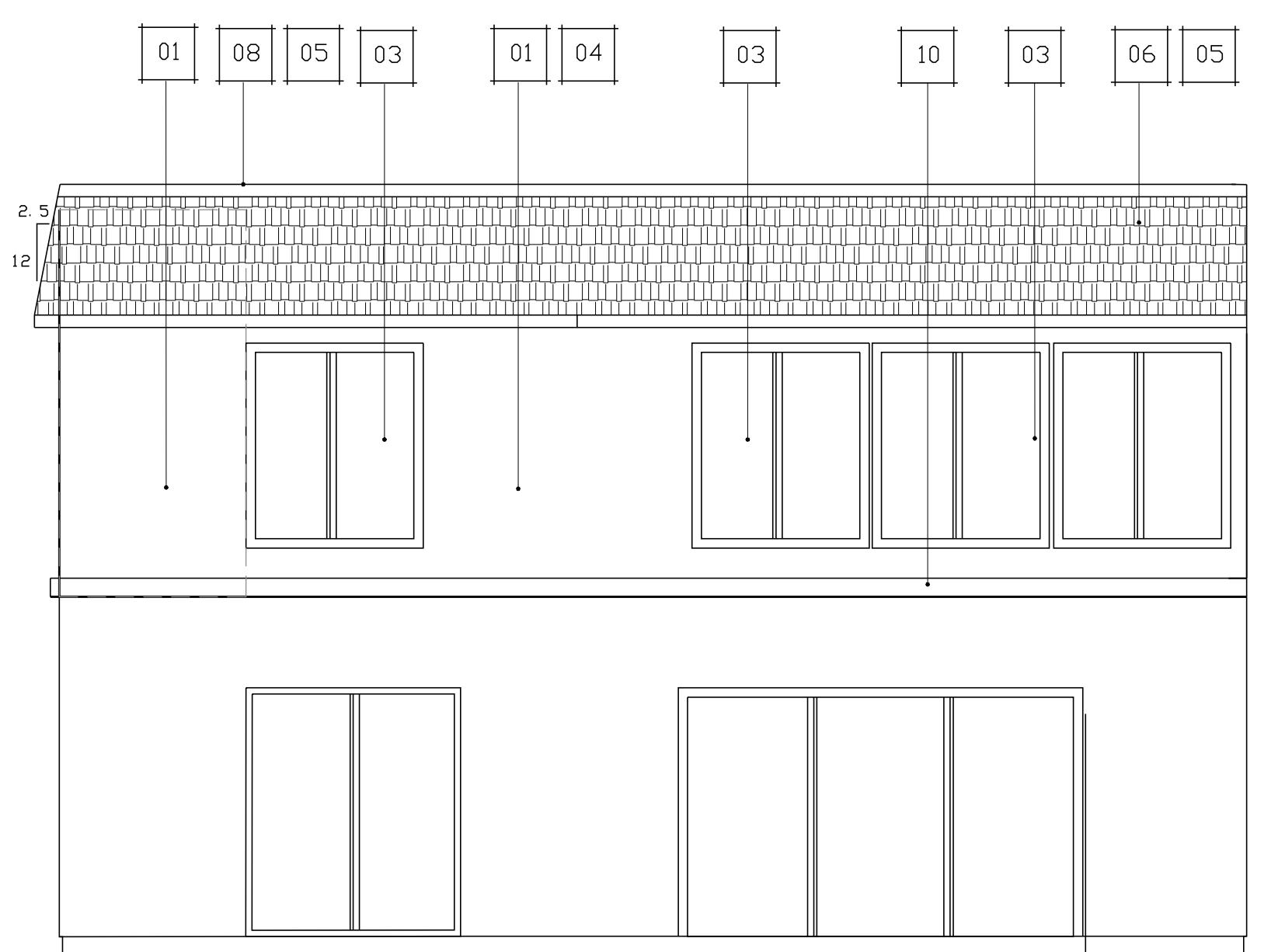
CHKD: _____

FRONT ELEVATION

Scale: 1/4" = 1'-0"

RIGHT SIDE ELEVATION

Scale: 1/4" = 1'-0"



REAR ELEVATION

Scale: 1/4" = 1' 0"

LEFT SIDE ELEVATION

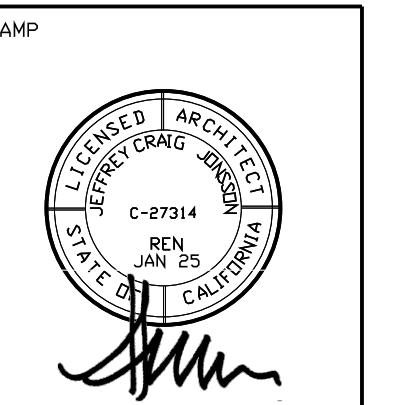
Environ Biol Fish (2007) 79:113–123

ELEVATION NOTES

01. EXTERIOR PLASTER WITH TEXTURE TO MATCH EXISTING
02. NEW FASCIA PLASTER TO MATCH EXISTING
03. VINYL WINDOWS
04. PROVIDE R-13 INSULATION IN ALL NEW EXTERIOR WALLS
05. PROVIDE R-38 INSULATION WITH RADIANT BARRIER ROOF SHT'G
06. CLASS A ICC ESR 1475 ROOF MATERIAL AND SLOPE TO MATCH EXISTING
07. MANUFACTURED LEDGER STONE
08. CLASS A ICC ESR 1274 ROOF MATERIAL TO MATCH EXISTING SLOPE TO DRAIN ROOFING TO BE INSTALLED PER MANUFACTURERS SPECIFICATION AND ICC
09. EXISTING ROOF AND WALL TO REMAIN
10. 3 1/2" DRAINAGE GAP

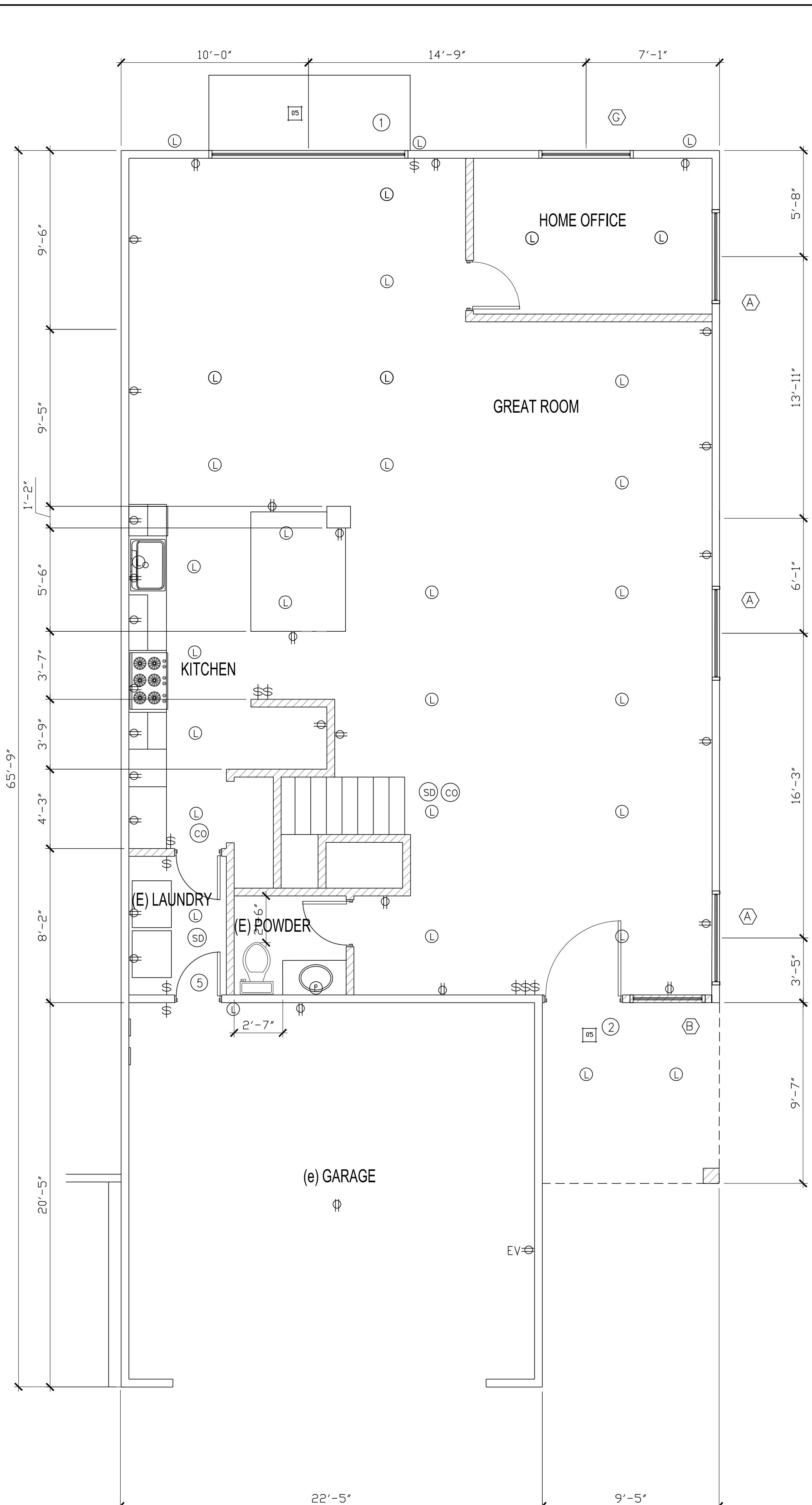
SHEET

A-3.1

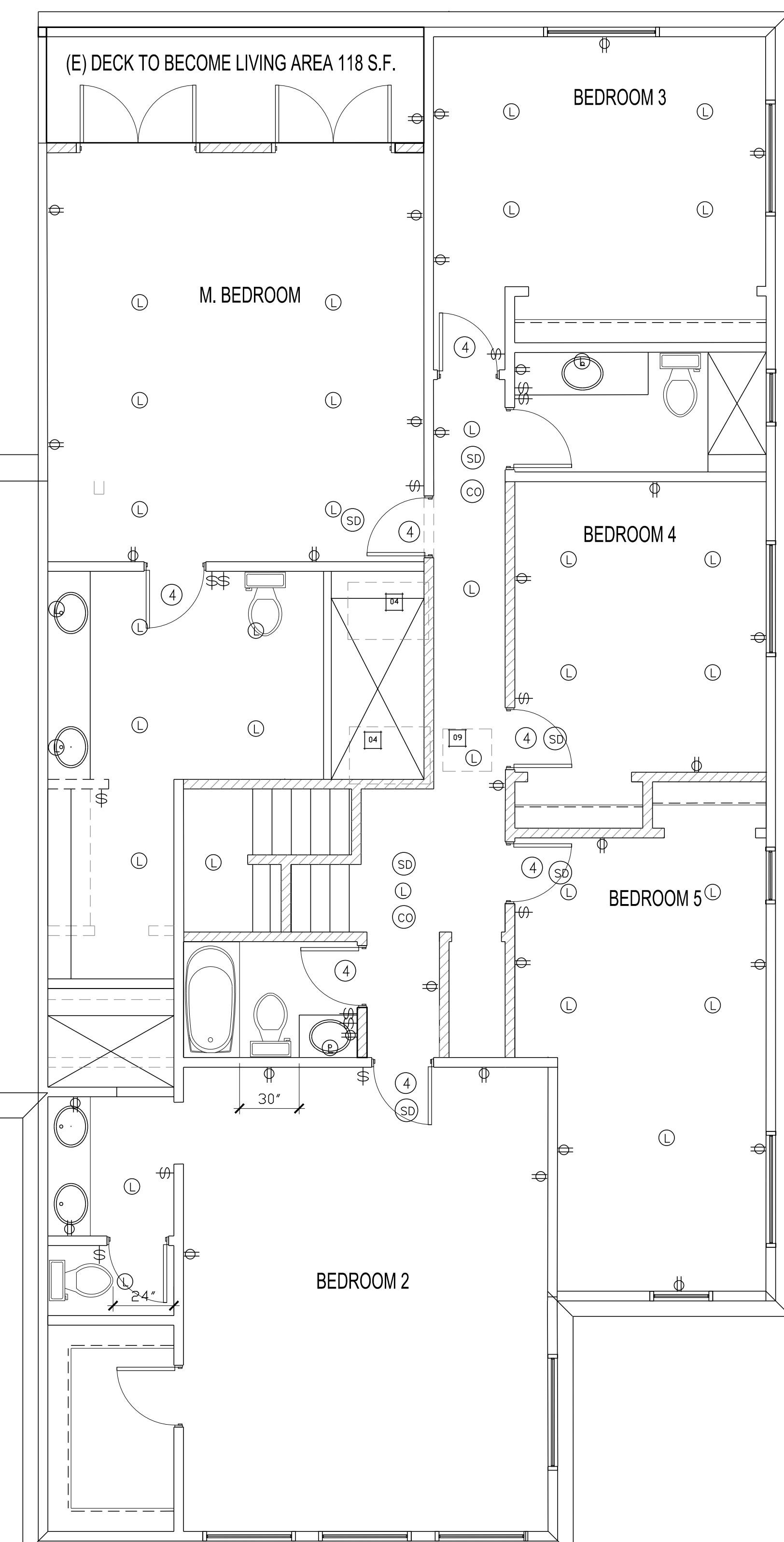
SOHI
RESIDENCE7 Senisa
Irvine, CaEXISTING
FLOOR PLAN

NOTICE: THE DESIGNS SHOWN AND DESCRIBED HEREIN, INCLUDING ALL TECHNICAL DRAWINGS, GRAPHS, AND MODELS, ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT. THEY ARE TO BE KEPT IN CONFIDENCE AND NOT COPIED, WHOLLY OR IN PART, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THESE DESIGNS HAVE NOT BEEN PREPARED TO SPECIFY NEW WORK ONLY AND CONDITIONS OF USE ARE NOT STATED. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR ANY LOSS OR DAMAGE SUFFERED BY THE CONTRACTOR OR OTHER PERSONS DUE TO THE USE OF THIS INFORMATION. THE ARCHITECT'S PLANS AND DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE RETURNED TO THE ARCHITECT UPON COMPLETION OF THE CONTRACT. THE CONTRACTOR AND OTHER VENDORS, AND OFFICE PERSONNEL, ONLY IN ACCORDANCE WITH THE CONTRACT, ARE PERMITTED TO MAKE COPIES OF THE PLANS AND DRAWINGS. THE CONTRACTOR SHALL NOT SCALE THE DRAWINGS AT ANY TIME. ALL RIGHTS RESERVED. © COPYRIGHT JEFFREY JONSSON ARCHITECT 2003

LAST ISSUE DATE: 05.27.23
BY: CHKD



EXISTING FIRST FLOOR PLAN

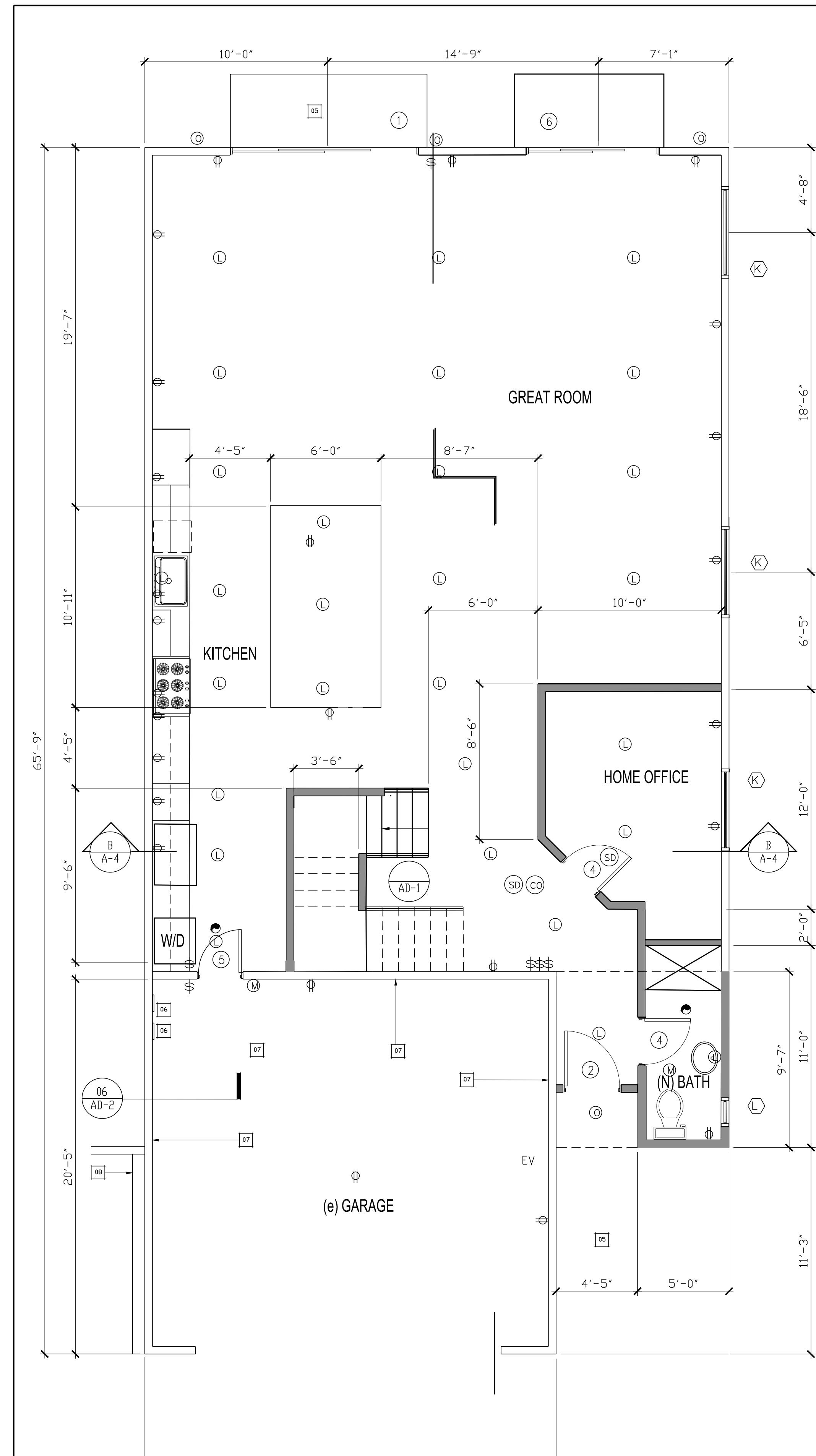


EXISTING SECOND FLOOR PLAN

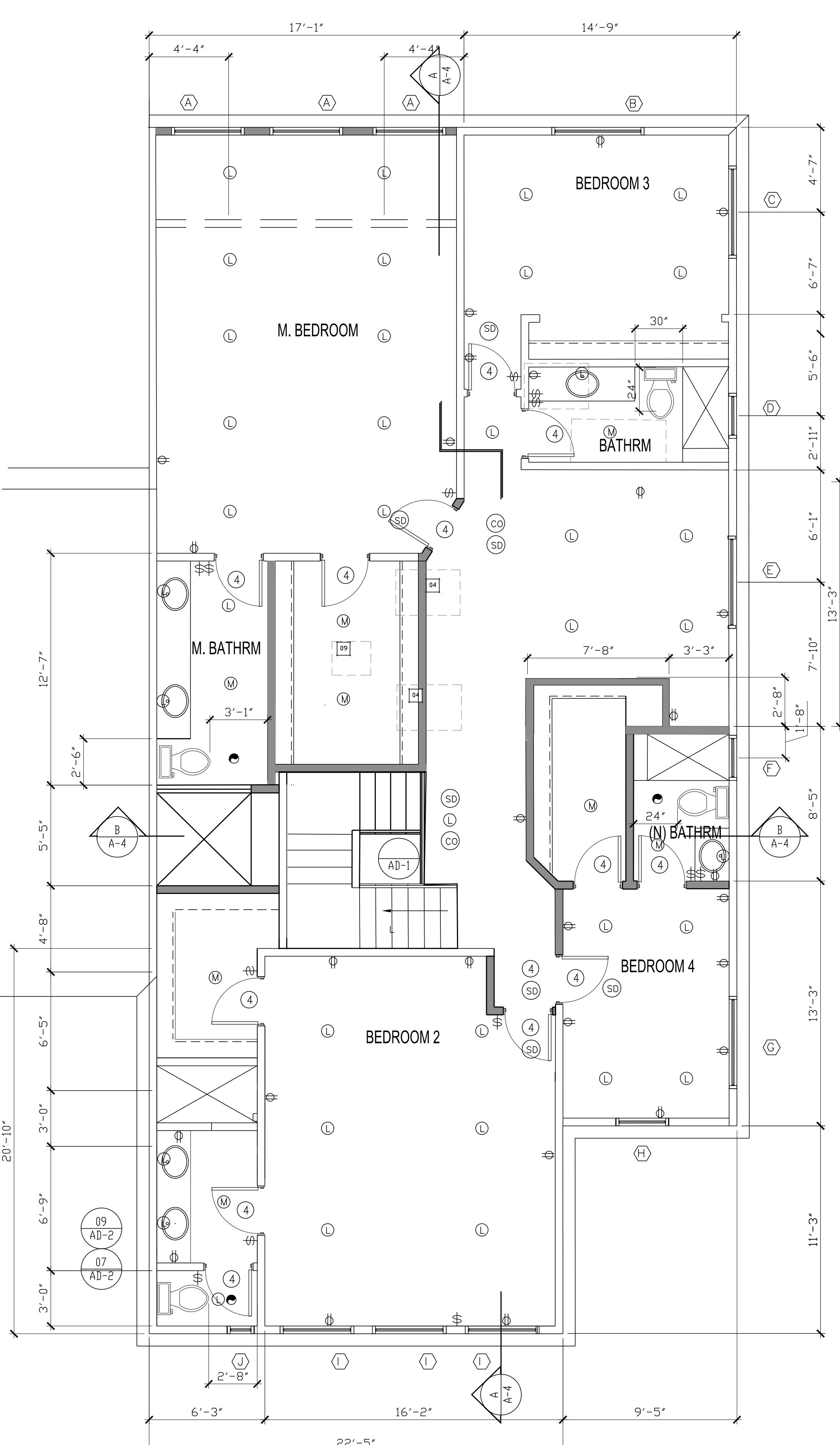
Scale: 1/4" = 1'-0"

EXISTING WALLS TO REMAIN
EXISTING WALLS TO BE REMOVED

SHEET
A-1



PROPOSED FIRST FLOOR PLAN



PROPOSED SECOND FLOOR PLAN

Scale: 1/4" = 1'-0"

PLAN NOTES

- 01 NEW SHOWER W/ 14" DEEP X 14" HIGH SEAT.
- 02 NEW TOILET NEW SINK, FULL LENGTH MIRROR, COUNTER TOP AND CABINET WITH DRAWERS.
- (E) 100 AMP SERVICE
- 03 2 (N) FAU 94.7 AFUE ONE FOR FIRST AND ONE FOR SECOND FLR CAPIBLE OF MAINTAINING MIN 68 DEGREES 3' AFF
- 04 NEW MIN. 3' X WIDTH OF DOOR CONC. STOOP

- 06 IN LINE WATER HEATER
- 07 ONE LAYER $\frac{5}{8}$ " TYPE "X" DRYWALL WALLS AND CEILING
- 08 EXISTING FIRST FLOOR OVER HANG TO REMAIN
NEW WALLS AND MATERIAL SHALL NOT ENCROACH OVER PL
- 09 22"X30"W/ PLYWOOD PLATFORM, LIGHT AND SWITCH

NOTES

NOTES

ALL BRANCH CIRCUITS SUPPLYING RECEPTICLES IN FAMILYROOMS, DINING LIVING ROOMS PARLORS LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS. HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER afci 210.12(B) CEC OUTLETS IN BATHROOM, NEAR SINKS AND IN GARAGE SHALL BE GFCI
SINGLE LINE DIAGRAM, PANEL SCHEDULES AND LOAD CALCS FOR ELECTRICAL SYSTEM WILL BE PROVIDED AT THE JOBSITE FOR ELECTRICAL INSPECTOR
ALL RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES

ALL BEDROOMS, BASEMENTS OR ROOMS USED FOR SLEEPING SHALL HAVE
EMERGENCY RESCUE WINDOWS

- A. MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT.
- B. MINIMUM CLEAR OPENING WIDTH OF 20 INCHES.
- C. MINIMUM NET CLEAR HEIGHT OF 24 INCHES.
- D. WINDOW SILL HEIGHT OF NOT MORE THAN 44" ABOVE F.F.
IS PROHIBITED

A SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR SHALL BE INSTALLED OUTSIDE OF EACH EXISTING SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENT. SMOKE DETECTORS SHALL ALSO BE INSTALLED IN EACH BEDROOM. ALARMS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL ALARMS. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WITH BATTERY BACKUP. COMBINED SMOKE/CARBON MONOXIDE ALARMS MAY BE USED.

PROVIDE APPROVED HOUSE NUMBERS VISIBLE AND LEGIBLE FROM STREET CONTRASTING COLOR ARABIC NUMBERS 4" HIGH 1/2" STROKE MIN.

SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUB WITH SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH NONABSORBANT SURFACE TO A HEIGHT NOT LESS THAN 6' ABOVE FLOOR. R307.2. CEMENT, FIBER CEMENT, GLASS MAT GYPSUM OR FIBER-REINFORCED GYPSUM BACKERS SHALL BE USED FOR BASE FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS IN SHOWER AREA. R702.4.2.

NET AREA OF SHOWER RECEPTOR SHALL BE NOT LESS THAN 1,024 SQ. IN. OF FLOOR AREA AND ENCOMPASS A 30" MIN. DIAMETER CIRCLE. (CPC 310.9.1)

DWELLING UNIT SHALL BE PROVIDED WITH HEATING FACILITIES CAPABLE OF MAINTAINING A ROOM TEMPERATURE OF 68 DEGREES AT A POINT 3' ABOVE FIN. FLR

REPLACE ALL NON COMPLIANT PLUMBING FIXTURES

ALL NEW AND EXISTING PLUMBING FIXTURES SHALL MEET THE LOW FLOW STANDARDS

LEGEND

WALLS TO BE REMOVED
EXISTING WALLS TO REMAIN
NEW WALLS

- Ⓐ PER 150.0(k)3A OUTDOOR LIGHTING MUST EITHER HAVE PHOTOCELL AND MOTION SENSOR OR PHOTO CONTROL AND AUTOMATIC TIME SWITCH CONTROL, ASTRONOMICAL TIME CLOCK OR ENERGY MANAGEMENT CONTROL SYSTEM
- Ⓛ (N) HIGH EFFICACY LED LIGHT ON DIMMER
- Ⓜ (N) LED W/VACANCY SENSOR
- ◐ (N) 50 CFM ENERGY STAR RATED HUMIDISTAT EXHAUST FAN SWITCH SEPARATELY VENT TO OUTSIDE. MAX. SOUND RATING OF 3 SONE FOR INTERMITTENT OPERATION.
\$ SWITCH ON DIMMER

ALL LIGHTING IN CLOSETS AND UTILITY ROOMS MUST BE HIGH EFFICACY LUMINAIRES AND AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY VACANCY SENSOR.

PER 150.0(k) C vi RECESSED DOWN LIGHTING SHALL COMPLY WITH REFERENCE JOINT APPENDIX JA8 REQUIREMENTS

PER 150.0 (k)2 K DIMMERS (OR VACANCY SENSORS) SHALL CONTROL ALL LUMINAIRES

WINDOW SCHEDULE

- A (N) 5050 SLDG WINDOW
- B (E) 5050 TEMP GL SLDG WINDOW
- C (E) 5050 SLDG WINDOW
- D (E) 1624 SLDG WINDOW
- E (E) 5050 SLDG WINDOW
- F (E) 1624 SLDG WINDOW
- G (E) 5050 SLDG WINDOW
- H (E) 4050 SLDG WINDOW
- I (E) 4050 SLIDING GL WINDOW
- J (N) 1616 AWNING TEMP GL WINDOW
- K (E) 5050 TEMP GL SLDG WINDOW

DOOR SCHEDULE

- 1 (E) 10'X6'-8" TEMP GLASS SLIDING DOOR
- 2 (N) 3068 STAIN GRADE ENTRY DOOR
- 3 PR 2068 TEMP GL SINGLE LITE FRENCH
- 4 2668 RAISED PANEL METAL DOOR
- 5 2668 SC 20 MIN. SELF CLOSING DR WITH LATCH
- 6 (N) 6'X6'-8" TEMP GLASS SLDG DOOR

Jeffrey Jonsson

Architect

216 Pearl Ave
Newport Beach, Ca
92662

949 412 3955
Architecture
Planning
Engineering

STAMP

PROJECT NAME:

SOHI RESIDENCE

7 Senisa
Irvine, Ca

SHEET TITLE:

PROPOSED PLANS

NOTICE. THE DESIGNS SHOWN AND DESCRIBED HEREIN, INCLUDING ALL TECHNICAL DRAWINGS, SPECIFICATIONS, AND MODELS THEREOF, ARE PROPRIETARY AND SHALL NOT BE COPIED, DUPLICATED, REUSED OR COMMERCIALLY EXPLOITED IN WHOLE OR IN PART, WITHOUT THE WRITTEN PERMISSION OF JEFFREY JONSDOM ARCHITECT. ADDITIONALLY, THESE DOCUMENTS HAVE BEEN PREPARED TO DESCRIBE NEW WORK ONLY AND DO NOT REPRESENT AS-BUILT OR ACCURATE EXISTING CONDITIONS. THE ARCHITECT DOES NOT WARRANT IN ANY WAY THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS. THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND ARE AVAILABLE FOR LIMITED REVIEW AND EVALUATION BY THE CLIENT, CONSULTANTS, CONTRACTORS, GOVERNING AGENCIES, VENDORS, AND OFFICE PERSONNEL ONLY IN ACCORDANCE WITH THIS NOTICE. ADDITIONALLY, CONTRACTORS SHALL VERIFY DIMENSIONS AND SHALL NOT SCALE THE DRAWINGS AT ANY TIME.

LAST ISSUE DATE: 10. 27. 23

A-2

Sec. 3-37-13. - 2.2 Low Density Residential.

A. *Intent.* This category allows zero to 6.5 dwelling units per net acre, which is approximately equivalent to the General Plan Low Density category of zero to five dwelling units per gross acre. Attached and conventional housing, as well as other appropriate uses such as churches and child care centers, are allowed.

(2.2A and 2.2B) University Park (Planning Area 20).

(2.2C) Westpark (Planning Area 14).

(2.2D) Orchard Hills (Planning Area 1).

B. *Intensity standard.*

0—6.5 dwelling units per net acre.

2.2C: 0—6.9 dwelling units per net acre (Westpark).

2.2D: 0—31.0 dwelling units per net acre (Planning Area 1). Individual project densities in 2.2D may exceed 6.5 dwelling units/net acre. However, no individual project may exceed 31.0 dwelling units/net acre and the overall density within all of 2.2D cannot exceed 6.5 dwelling units/net acre. For individual residential projects within 2.2D, the development standards to be applied shall depend on the actual net density of the individual residential product as follows:

1. For projects from 0 to 6.5 dwelling units per net acre, Section 3-37-13 development standards shall apply.
2. For projects from 6.6 to 12.5 dwelling units per net acre, Section 2-37-14 development standards shall apply.
3. For projects from 12.6 to 31.0 dwelling units per net acre, Section 3-37-15 development standards shall apply.

C. *Permitted uses.*^{1, 6}

1. Accessory use.
2. Agriculture (interim use).
3. Cottage food operations.
4. Home care.
5. Home occupation permit.
6. Information center.
7. Manufactured structure (up to two years).
8. Model home sales complex.
9. Park.

10. Public park facility (only in public parks).
11. Residential beekeeping as an accessory use. (Only in single-family detached homes and single-family attached homes with single property ownership of the lot.)
12. Residential shelter.
13. Residential, accessory dwelling unit.
14. Residential, attached.
15. Residential, single-family detached.
16. School, public.
17. Supportive housing — Small.
18. Transitional housing — Small.
19. Wireless communication facility (may require a wireless communication facility permit, a minor conditional use permit, a major conditional use permit or may be prohibited, depending on the type of installation and the location of the installation site, pursuant to the review procedures matrix in Section 2-37.5-3).

D. *Conditional uses.*^{2, 6}

1. Boarding house.
2. Child care center.
3. Church.³
4. Community facility.
5. Convalescent home.
6. Manufactured structure (over two years).
7. Recreational vehicle storage, private.
8. Residential care facility.
9. School, private.⁴
10. Senior housing.
11. Supportive housing — Large.
12. Transitional housing — Large.
13. Utility building and facility.

E.	<i>Minimum site size</i>	4,000 square feet
		2.2D: 3,000 square feet
F.	<i>Maximum site coverage</i>	50%

G.	<i>Maximum building height</i>	35 feet
H.	<i>Minimum site landscaping</i>	Not applicable to Low Density Residential
I.	<i>Building setbacks⁵ from:</i>	
	Freeways, transportation corridors	50 feet
	Major highways	50 feet
	Primary highways	42 feet
	Secondary highways:	
	In nonresidential areas	35 feet
	In residential areas	25 feet
	Commuter highways and local streets	15 feet 2.2A: 20 feet 2.3C: 15-foot average, 10-foot minimum (Westpark)
	North-south San Diego Creek ROW	2.2C: 50-foot minimum parking setback with 65-foot average setback; 65-foot building setback with 75-foot average setback (Westpark)
	East-west San Diego Creek ROW	2.2C: 30 feet (Westpark)
	Private drives	10 feet
	Interior boundary if adjacent to residential uses:	

		Side	5 feet
		Rear	10 feet
	Interior boundary if adjacent to nonresidential uses:		
		Side	10 feet
		Rear	10 feet
	Building to building		6 feet

¹ Some permitted uses may have to conform to or fulfill conditions of approval imposed in conjunction with previous discretionary approvals. Additionally, a Master Plan application may need to be processed (see [Chapter 2-17](#)).

² A Master Plan application may be required in addition to a conditional use permit (see [Chapter 2-17](#)).

³ A church that proposes to locate in an existing permanent building and meets all the general development standards will not require a conditional use permit (CUP).

⁴ A private school for adults (18 years and older) that proposes to locate in an existing permanent building and meets all the general development standards will not require a conditional use permit.

⁵ Exceptions to these building setback requirements appear on the setback exceptions matrix in [Section 3-27-2](#).

(Code 1976, § V.E-325.2.2; Ord. No. 92-3, 4-14-92; Ord. No. 92-21, § 6, 11-24-92; Ord. No. 93-7, 6-22-93; Ord. No. 93-14, § 3, 10-12-93; Ord. No. 94-2, § 3, 2-8-94; Ord. No. 94-7, § 3, 6-14-94; Ord. No. 94-15, § 3, 12-13-94; Ord. No. 94-16, 12-13-94; Ord. No. 95-3, § 3B, 4-25-95; Ord. No. 95-4, § 1, 5-9-95; Ord. No. 95-7, § 4, 7-11-95; Ord. No. 95-8, § 3, 7-11-95; Ord. No. 95-12, § 3, 9-12-95; Ord. No. 95-16, § 2, 10-10-95; Ord. No. 96-2, § 2, 1-23-96; Ord. No. 96-18, § 4, 12-10-96; Ord. No. 05-12, § 6, 6-28-05; Ord. No. 05-13, § 4, 7-12-05; Ord. No. 05-16, § 2, 7-12-05; Ord. No. 09-02, § 3, 3-24-09; Ord. No. 12-04, § 5(Exh. A), 3-13-12; Ord. No. 12-12, § 5(Exh. A), 9-25-12; Res. No. 15-86, § 3(Exh. A), 8-11-15; Ord. No. 18-05, Exh. A, 4-24-18; Ord. No. 22-07, § 3(Exh. A), 5-10-22; Ord. No. 22-12, § 4(Exh. A), 8-9-22)

B 13596

APPLICATION FOR
BUILDING PERMIT

BUILDING ADDRESS 9316 SENISA WAY
 TOWN OR SCHOOL DISTRICT IRVINE
 OWNER SMARTZ-LINELATTER CO.
 MAILING ADDRESS 3710 HAWAIIAN ST. PHONE 224-4006
 CITY SAN DIEGO, CALIF.
 ARCHITECT OR ENGINEER THOMAS & RICHARDSON
 ADDRESS 13412 PONDEROSA ST. SA
 CONTRACTOR SAME AS OWNER
 ADDRESS
 LICENSE NO.

DESCRIPTION OF WORK
 NEW ADD ALTER REPAIR DEMOLISH
 SIZE 16' 0" X 30' 0" FT. NO. OF STORIES 2 NO. OF FAMILIES 1
 USE OF STRUCTURE SINGLE FAMILY DWELLING
 GARAGE E
 LEGAL DESCRIPTION LOT 35 BLOCK 5922

1. PLEASE ATTACH METES AND BOUNDS.
 2. I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE INFORMATION I HAVE PROVIDED IS CORRECT AND AGREE TO COMPLY WITH ALL COUNTY ORDINANCES AND STATE LAWS REGULATING BUILDING CONSTRUCTION.

SIGNATURE OF PERMITTEE Robert W. Thomas, Jr.
 ADDRESS 13412 PONDEROSA ST. SA.

ZONING REGULATIONS
 SUPERVISORY DATE PLANS DRAWN 5-12-66
 PLAT PLAN FULLY BOUNDARIED? YES NO
 ALL BUILDINGS SHOWN ON PLAN PER APPROVAL? YES
 MAIN USE ACC USE ZONE BLDG H
 REQUIRED BUILDING SITE FRONTAGE? YES NO
 BUILDING HEIGHT STORIES AND FEET
 APPROVED LAND AREA YES NO
 VARIANCE REQUIRED APPROVED NO
 STREET WIDTH CORNER LOT INT 217
 BUILDING SETBACK FT FT PROPERTY LINE
 SIDE YARD RIGHT EAVE PROTECTION
 SIDE YARD LEFT EAVE PROJECTION
 REAR YARD IN FT FT WIDTH OF ALLEY
 SEPARATION BETWEEN BUILDINGS
 CHIMNEY IN REQUIRED SIDE YARD PROJECTS
 PORCH IN REQUIRED YARD PROJECTS
 STAIRS IN REQUIRED YARD PROJECTS
 PARKING AREA REQUIRED CAPACITY CARS
 REMARKS:

VALUATION \$ 22,600
 S. SURVEY GROUP I & J
 PC FEE \$ 36.00
 RPT FEE \$ 72.00
 CONSTRUCTION

INSPECTION RECORD

ITEM	DATE	INSPECTOR'S SIGNATURE
FOUNDATION LOCATION FORMS AND MATERIALS		
REINFORCED MASONRY OR CONCRETE		
BOND BEAM		
UNDERPINNING		
ROOF SHEA	5-12-66	Robert W. Thomas, Jr.
ROOFING		
FRAMING		
LATH OR DRYWALL INTERIOR		
LATH EXTERIOR		
PAINTER BROWN COAT	5-17-66	Robert W. Thomas, Jr.
FINAL	10-17-66	Robert W. Thomas, Jr.

GRADING PERMIT REQUIRED

Rough Grading Approved

DEPARTMENT OF BUILDING AND SAFETY

SANTA ANA, CALIF.

COUNTY OF ORANGE

VALIDATION

ENCLOSURE 3

72.00 2

36.00 7

104.00

TOTAL

OCT 10 1966

JUL 1966

5-12-66

Samples of Residential Additions in Tract 5922

12 Satinwood Way (00414279-RBPR)



ENCLOSURE 4



Res Alt/Add/2nd Story Deck Permit

00414279-RBPR

ADDRESS: 12 SATINWOOD WAY
TRACT: 5922
APN: 45305125
PLANNING AREA: 20

DESCRIPTION OF WORK:
ADDITION OVER GARAGE AND ENTRY

CONTRACTOR
I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.
License Class _____ Lic No _____
Date 3/6/06 Contractor _____

OWNER-BUILDER
I hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law for the following reason:
 I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale
 I, as owner of the property, am exclusively contracting with licensed contractors to construct the project
 I am exempt under Sec. _____, B&PC, for this Reason
Date 3-6-06 Owner _____

WORKERS' COMPENSATION
I hereby affirm under penalty of perjury one of the following declarations:
 I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
 I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance is carrier and policy number are Carrier _____
Policy # _____
 I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions

Date _____ Applicant _____

WARNING. FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES

CONSTRUCTION LENDING AGENCY
I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec 3097, Civ C)
Lender's Name _____
Lender's Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes

3-6-06
Signature of Applicant or Agent Date
Corey Pace 3-6-06
Print Applicant's/Agent's Name

OWNER: COREY PACE
ADDRESS: 12 SATINWOOD
CITY, ST ZIP: IRVINE CA 92612
PHONE: (949) 387-8894

APPLICANT: COREY PACE
ADDRESS: 12 SATINWOOD
CITY, ST ZIP: IRVINE CA 92612
CONTACT: Corey Pace 949-387-8894
PHONE: (949) 387-8894

CONTRACTOR:
ADDRESS:
CITY, ST ZIP:
CONTR LIC EXP:
IRV BUS LIC: EXP DATE:

VALUATION: \$ 40,781
STORIES: 2 NO. UNITS: 1
CODE YR: 2001 TOT SQFT: 725

USE	OCC	CONST TYPE	SQ FT
RES. SFD	R-3	Type V-N	725

PERMIT FEES

Microfilm	12.75
Energy Surcharge Insp	35.00
Issuance Fee Res	15.00
Elec Fixtures Res	5.46
Fixture/Trap Res	8.57
Outlet Installation Res	2.55
Outlets/Switches Res	11.83
Res Addition Insp	449.50
Ventilating Fan Res	16.63
State Seismic Res	4.10

Total Permit Fees: \$561.39

Receipt#: 00021538

TCA Receipt: TCA:

PLAN CHECK #: 00409813-RRA

PLANNING APPROVAL: PETER COX 1/11/2006

BUILDING APPROVAL: RAY LUNA 3/6/2006

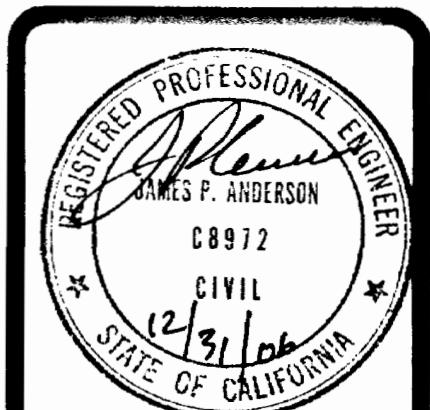
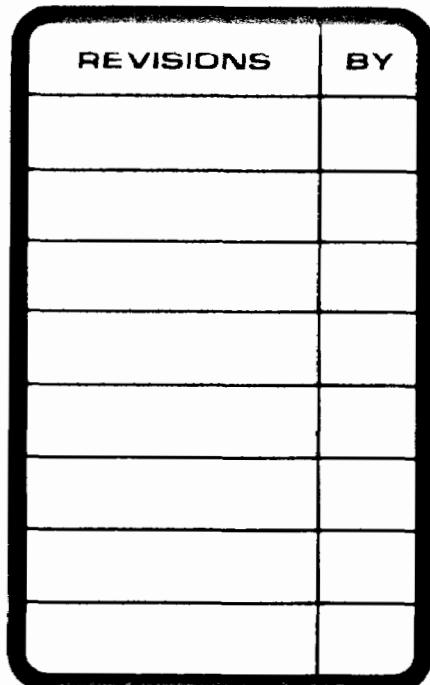
PERMIT ISSUED BY: ROBERT HOLLAND 3/6/2006

PERMIT EXPIRATION: Permit becomes null & void if work is not started in 180 days or if work is suspended for 180 days or more. Residential permit expiration: addition - 18 months, all others 6 months from date of permit.

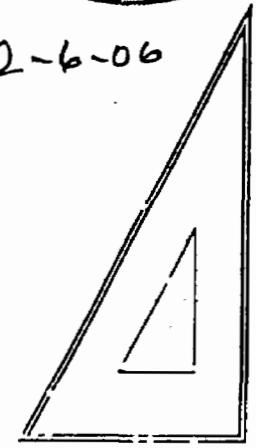
INSPECTION

CONTRACTOR WORKING HOURS
Weekdays: 7 AM - 7 PM
Saturday: 9 AM - 6 PM
Sunday/Holiday: PROHIBITED

NOTICE:
Pursuant to Assembly Bill 3020, no excavation permit is valid unless the following is performed
 1 UNDERGROUND SERVICE ALERT has been contacted and has provided inquiry ID Number _____
 2 The applicant agrees to contact and obtain an inquiry ID Number from UNDERGROUND SERVICE ALERT
(1-800-422-4133) at least 2 working days prior to commencing excavation



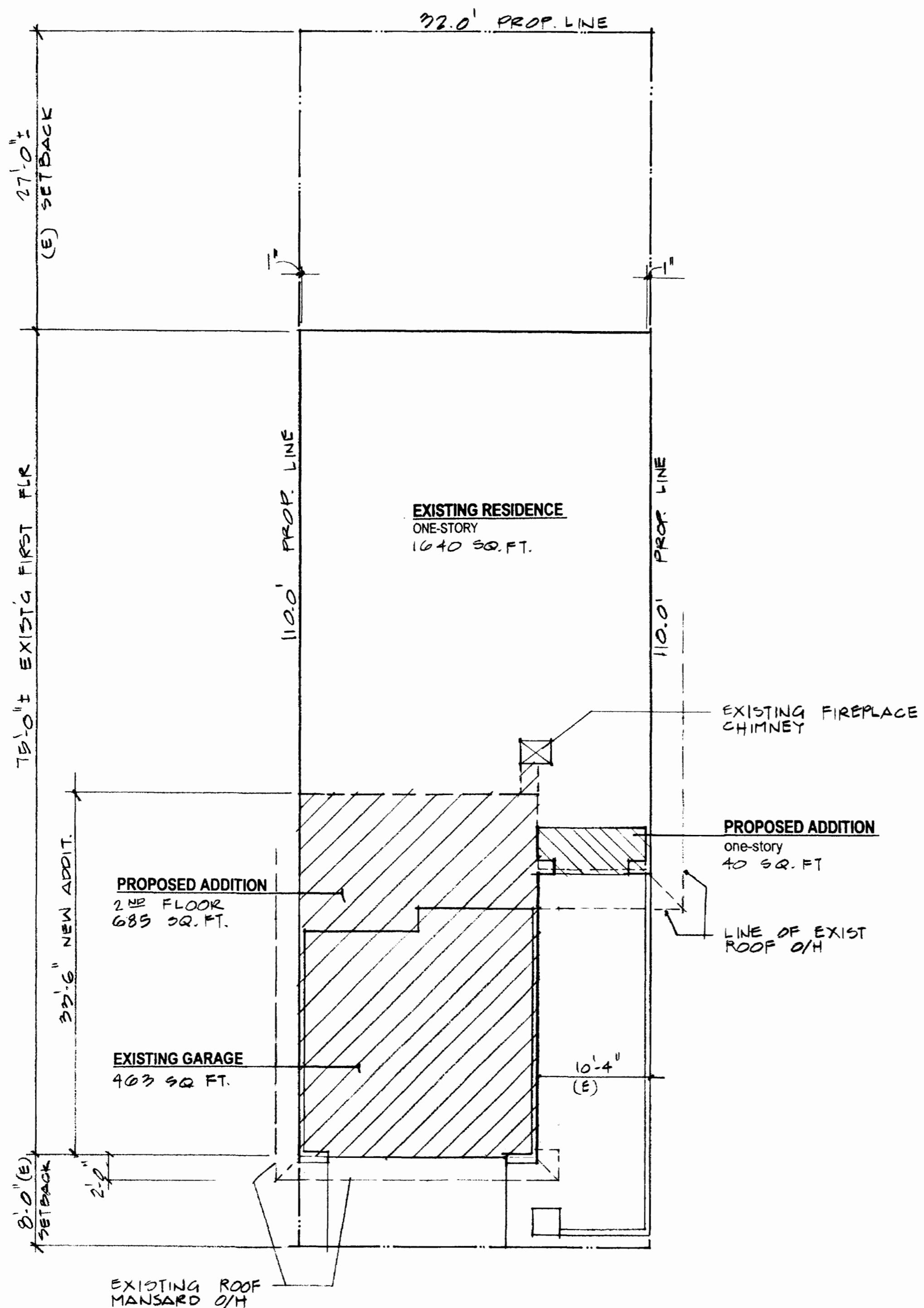
2-6-06



Roy Sasaki

Roy's Drafting Service
957 Carnation Avenue
Costa Mesa, CA 92626
ph: 714.549.4768

PROPOSED 2nd FLR. ADDITION
COREY & DAYNA PACE
12 SATINWOOD WAY
IRVINE, CA 92612



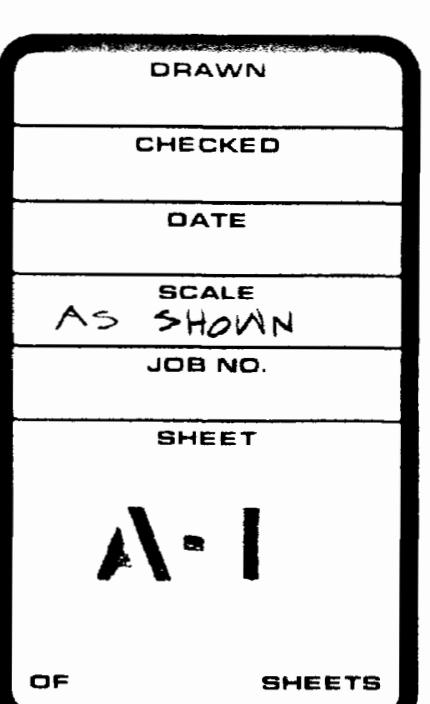
12 SATINWOOD WAY

site plan

$$1/8" = 1'-0"$$

5. Please include the following note on the plans if there are no easements:
I SOLELY PAGE (property owner or owner's authorized agent) certify that the subject doesn't contain any easements, which restrict the use of my property.

Date



12 Wintersweet Way (00719405-RBPR)





Res Alt/Add/2nd Story Deck Permit

00719405-RBPR

DESCRIPTION OF WORK:

ADDITION: ENCLOSE ATRIUM & FOYER. REMODEL FOYER, CONVERT BEDROOM TO OFFICE, RELOCATE DOOR & COAT CLOSET IN LIVING ROOM. 2 NEW SKYLIGHTS. DEMO FIREPLACE.

ADDRESS: 12 WINTERSWEET WAY
TRACT: 5922 LOT: 21
APN: 45305244
PLANNING AREA: 20

OWNER: AMY CHOW

ADDRESS: 12 WINTERSWEET WAY
CITY, ST ZIP: IRVINE CA 92612
PHONE: (949) 701-7177

APPLICANT: COAST ENGINEERING DESIGNS INC>

ADDRESS: 10231 SLATER AVE
CITY, ST ZIP: FOUNTAIN VALLEY CA 92708
CONTACT: FARHAD REZAI 714.593.0337
PHONE: (714) 593-0337

CONTRACTOR:

ADDRESS:
CITY, ST ZIP:
CONTR LIC EXP:
IRV BUS LIC: EXP DATE:

PERMIT FEES

SB 1473 fee - Due to State	1.80
Microfilm	3.75
SB 1473 fee - Admin	0.20
Energy Surcharge Insp	37.00
Issuance Fee Res	16.00
Elec Min Insp Res	32.00
Res Addition Insp	126.63
Res Remodel Insp	516.57
State Seismic Res	4.86
SlurrySeal Res Remodel/Add	28.80

CONTRACTOR
I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ Lic.No. _____
Date 08/15/2018 Contractor _____

OWNER-BUILDER DECLARATION
I hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law for the following reason:
 I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale.
 I, as owner of the property, am exclusively contracting with licensed contractors to construct the project.
 I am exempt under Sec. _____, B&PC, for this Reason _____

Date 8/15/2018 Owned BY AMY CHOW *amy chow*

WORKERS' COMPENSATION DECLARATION
I hereby affirm under penalty of perjury one of the following declarations:
 I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
 I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance is carrier and policy number are:
Carrier _____

Policy # _____
 I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 8/15/2018 Applicant *amy chow*

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION
COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

CONSTRUCTION LENDING AGENCY
I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.)

Lender's Name _____

Lender's Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

amy chow 8/15/18
Signature of Applicant or Agent Date
Print Applicant's/Agent's Name

VALUATION: \$ 37,401

STORIES: 2

NO. UNITS: 1

CODE YR: 2016

TOT SQFT: 960

USE	OCC	CONST. TYPE	SQ FT
Convert atrium to addition	R-2	Type 5B	189
Interior alteration	R-2	Miscellaneous	771
Air Condition	R-2	RESIDENTIAL	

By signing this permit I certify that I will comply with the latest California Plumbing Code regarding flushing procedures should PEX water piping be installed.

Outdoor fireplaces, barbeques and ovens shall not use solid fuel per AQMD requirements, and shall conform to all set back requirements. Underground metallic gas piping is prohibited. Please check with your HOA/Community Association before construction to obtain their approval, if necessary.

Prior to proceeding with work for a TANKLESS WATER HEATER obtain HOA approval if work involves new ventilation terminating at an exterior wall adjoining a neighbor's yard, or the home the heater serves is within a multi-family building.

Total Permit Fees: \$767.61

Receipt# 00176564

TCA Receipt: TCA:

PLAN CHECK #: 00716678-RRA

PLANNING APPROVAL: TIFFANY LIN 7/25/2017

BUILDING APPROVAL: INTERWEST 8/5/2017

PERMIT ISSUED BY: DEANNE BAPTISTA 8/15/2018

PROJECT DURATION: 18 months –Overall for Room Additions or major reconstruction, and no more than 6 months to complete exterior wall finishes and roofing; 6 months – Any other type of permitted work. Note- this permit shall become null & void if work is suspended for 180 days or more. See City of Irvine Information Bulletin No. 222 for more information regarding owner and contractor responsibilities. See Inspection Record Card for Smoke Detector and Carbon Monoxide Alarm requirements.

5 Senisa Way (00882645-RBPR)





Res Alt/Add/2nd Story Deck Permit

00882645-RBPR

DESCRIPTION OF WORK:

(E-PLAN) RESIDENTIAL ADDITION & REMODEL.

CONTRACTOR

LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ Lic.No. _____
Date 09/16/2022 Contractor _____

OWNER-BUILDER

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law for the following reason:

- I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale.
- I, as owner of the property, am exclusively contracting with licensed contractors to construct the project.
- I am exempt under Sec. _____, B&PC, for this Reason _____

Date 9/16/2022 Owner SEAN SOHI

WORKERS' COMPENSATION

I hereby affirm under penalty of perjury one of the following declarations:

- I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance is carrier and policy number are:

Carrier _____

Policy # _____

- I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 9/16/2022 Applicant _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

LENDER

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.)

Lender's Name _____

Lender's Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent _____ Date _____

Print Applicant's/Agent's Name _____

OWNER: SEAN SOHI

ADDRESS: 5405 ALTON PKWY SUITE 5A #511

CITY, ST ZIP: IRVINE CA 92604

PHONE: (949) 235-8750

APPLICANT: SEAN SOHI

ADDRESS: 5405 ALTON PKWY SUITE 5A #511

CITY, ST ZIP: IRVINE CA 92604

CONTACT: SEAN SOHI 949-235-8750

PHONE: (949) 235-8750

CONTRACTOR:

ADDRESS:

CITY, ST ZIP:

CONTR LIC EXP:

IRV BUS LIC:

EXP DATE:

VALUATION: \$60,212

STORIES: 0

NO. UNITS:

CODE YR: 2019

TOT SQFT: 678

USE	OCC	CONST. TYPE	SQ FT	TCA:
1ST FLOOR ADDED LIVING (COVR-3		Type VB	70	
2ND FLOOR ADDED LIVING (COVR-3		Type VB	190	
Air Condition		RESIDENTIAL		
KITCHEN REMODEL		Miscellaneous	236	
BATHROOM REMODEL		Miscellaneous	182	

PERMIT FEES

SB 1473 fee - Due to State	2.70
SB 1473 fee - Admin	0.30
Energy Surcharge Insp	53.72
Issuance Fee Res	23.23
Air Conditioning Res	349.40
Dishwasher Res	13.50
Elec Fixtures,hard wired appl	38.83
Fixture/Trap Res	105.30
Furnace/Burner Res	174.50
Garbage Disposal Res	27.00
Outlets/Switches Res	26.64
Res Remodel Insp	656.30
Water Heater/Vent Res	29.28
State Seismic Res	7.83
SlurrySeal Res Remodel/Add	20.34

Total Permit Fees: \$1,528.87

Receipt# 00246137

TCA Receipt:

PLAN CHECK #: 00860023-RRA

PLANNING APPROVAL: LYNNAE GUZMAN 6/13/2022

BUILDING APPROVAL: AREZOO RAHIMI 8/30/2022

PERMIT ISSUED BY: JOHN VAN DER WALL 9/16/2022

PERMIT FINALED BY: BRYAN WARRINER 5/25/23

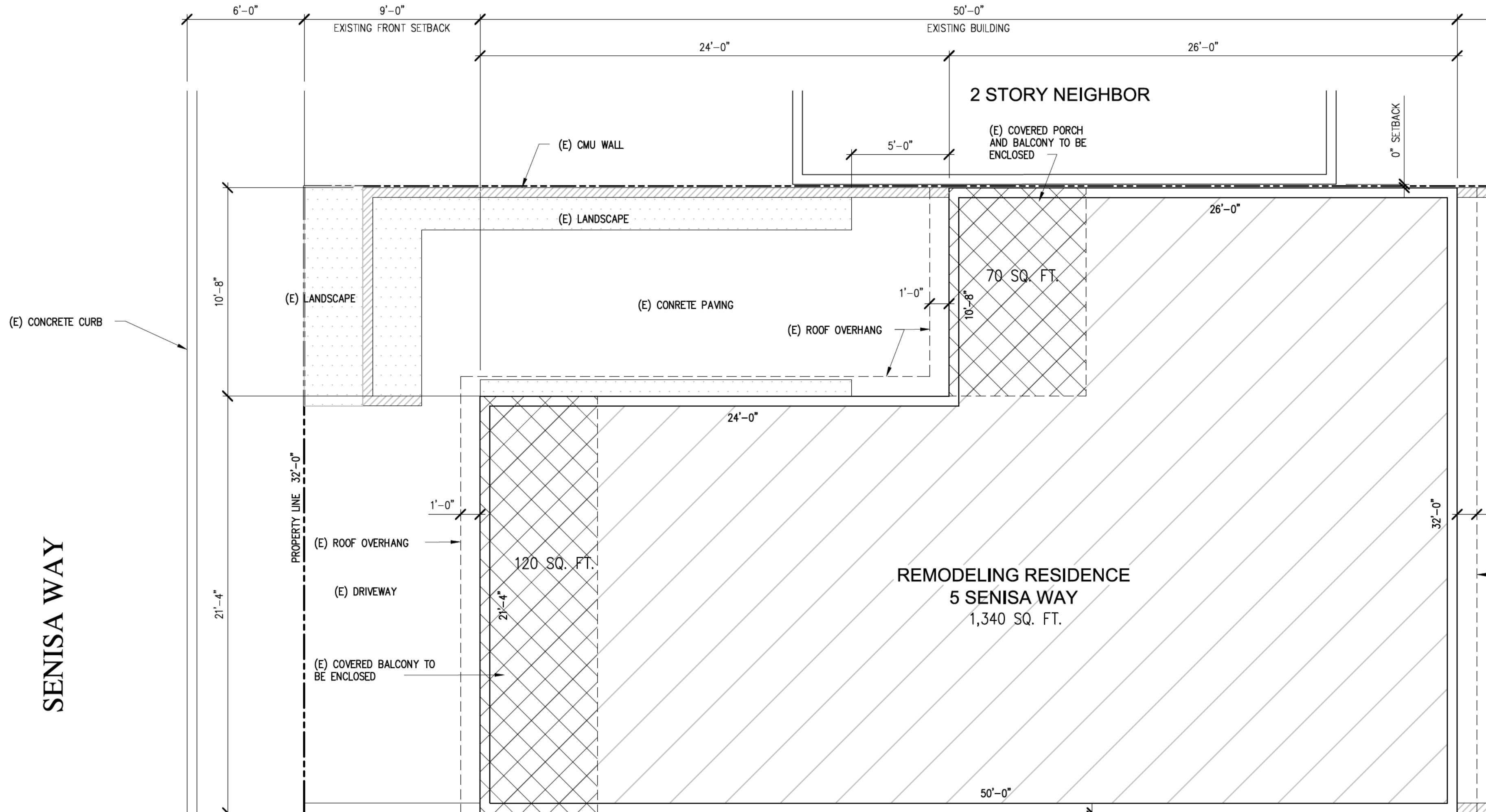
ACTION CODE: 86

PROJECT DURATION: 18 months –Overall for Room Additions or major reconstruction, and no more than 6 months to complete exterior wall finishes and roofing; 6 months – Any other type of permitted work. Note- this permit shall become null & void if work is suspended for 180 days or more. See City of Irvine Information Bulletin No. 222 for more information regarding owner and contractor responsibilities.
See Inspection Record Card for Smoke Detector and Carbon Monoxide Alarm requirements.

CONSTRUCTION WORKING HOURS
Weekdays: 7 AM - 7 PM, Saturday: 9 AM - 6 PM
Sunday/Holiday: PROHIBITED

NOTICE: Pursuant to Assembly Bill 3020, no excavation permit is valid unless the following is performed:
1. UNDERGROUND SERVICE ALERT has been contacted and has provided inquiry ID Number _____
2. The applicant services to contact and obtain an inquiry ID Number from UNDERGROUND SERVICE ALERT (1-800-422-4133) at least 2 working days prior to commencing excavation.

SENISA WAY



NOTE:
TOTAL 4 WATER CLOSETS.
WATER CLOSET FIXTURE UNITS WILL REQUIRE A MINIMUM 4" SANITARY SEWER DRAIN BEGINNING AT THE WATER CLOSET AND RUNNING TO THE SEWER MAIN IN THE STREET.
CONTRACTOR SHALL VERIFY EXISTING SANITARY SEWER LATERAL MEETS CAPACITY (REF: 2019 CPC 703.2 AND TABLE 703.2). WHERE DRAIN IS UNDERSIZED, CONTRACTOR SHALL UPGRADE MAIN SANITARY SEWER DRAIN TO BE 4" MINIMUM DIAMETER.

SENISA WAY



(E) CONCRETE WALK

(E) CONCRETE CURB

(E) CONCRETE WALK

SITE PLAN

EXISTING FRONT SETBACK
EXISTING BUILDING
EXISTING REAR SETBACK

PROPERTY LINE 50'-0"
(E) CMU WALL TYP.

(E) BACK YARD
PROPERTY LINE 32'-0"
(E) ROOF OVERHANG
PROPERTY LINE 32'-0"
EXISTING BUILDING

PROPERTY LINE 50'-0"

PROJECT DATA

LOT AREA : 2,700 SQ. FT.

EXISTING BUILDING FOOT PRINT

FIRST FLOOR : 1,340 SQ. FT. (INCL. 70 SQ. FT. (E) COVERED PORCH)

SECOND FLOOR :

1,290 SQ. FT. (INCL. 190 SQ. FT. (E) COVERED BALCONIES)

TOTAL 2,630 SQ. FT.

FIRST FLOOR LIVING AREA : 790 SQ. FT.

GARAGE AREA : 480 SQ. FT.

ADD. COVERED PORCH AREA : 70 SQ. FT.

TOTAL 1,340 SQ. FT.

SECOND FLOOR LIVING AREA : 1,100 SQ. FT.

ADD. COVERED BALCONY AREA : 190 SQ. FT.

TOTAL 1,290 SQ. FT.

NEW TOTAL BUILDING AREA : 2,630 SQ. FT.

SCOPE OF WORK

1. REMOVE INTERIOR WALLS AT KITCHEN AND AT COVERED PORCH.
2. ENCLOSING 70 SQ. FT. OF EXISTING COVERED PORCH.
3. REMODELING KITCHEN AND BATHROOMS.
4. ECLOSE 190 SQ. FT. OF EXISTING COVERED BALCONIES.
5. PROVIDE DRAWING AND CALCULATION FOR GRANDFATHERED ENCLOSED BALCONIES AT 2ND FLOOR.

NOTES:

1. HORIZONTAL PENETRATIONS THRU THE ZERO-LOT LINE WALL ARE NOT PERMITTED. ALL VENTING OR EXHAUST SHALL BE TAKEN OUT VERTICALLY THRU THE ROOF.
2. ALL THRU AND MEMBRANE PENETRATIONS IN A FIRE RATED WALLS SHALL BE IN ACCORDANCE WITH CRC R302.4.

CITY OF IRVINE
BUILDING & SAFETY DIVISION

OWNER/APPICANT
SOHI RESIDENCE
5 Senisa
Irvine, CA 92612

HOUSE REMODELING
LOCATED AT:
5 Senisa
Irvine, CA 92612

SITE PLAN

BLUE HORIZON
CONSULTING ENGINEERS INC.
23 CORPORATE PLAZA, SUITE 150
Irvine, CA 92612
P (949) 552-1482
E mail@bheng.com
www.bheng.com



07/01/22

02/06/22

SP-1
JOB 21-46
D.E.S. S. KASHANI
DRAWS. C. NGUYEN
C.K.D.
PROJ. MGR. CIVIL
DATE 02/06/22

1/4" = 1'-0"

OWNERSHIP OF DOCUMENTS
REMAINS WITH THE CITY OF IRVINE. NO PART OF THIS DOCUMENT MAY BE COPIED, REPRODUCED, OR Duplicated, IN WHOLE OR IN PART, WITHOUT THE EXPRESs WRITTEN CONSENT OF THE CITY OF IRVINE. THE CITY OF IRVINE IS NOT RESPONSIBLE FOR ANY DAMAGES, LOSSES, OR EXPENSES INCURRED AS A RESULT OF THE USE OF THIS DOCUMENT. THE CITY OF IRVINE IS NOT RESPONSIBLE FOR ANY DAMAGES, LOSSES, OR EXPENSES INCURRED AS A RESULT OF THE USE OF THIS DOCUMENT. THE CITY OF IRVINE IS NOT RESPONSIBLE FOR ANY DAMAGES, LOSSES, OR EXPENSES INCURRED AS A RESULT OF THE USE OF THIS DOCUMENT.



UNIVERSITY COMMUNITY ASSOCIATION

January 27, 2026

M. & E. S. Construction
5325 Alton Parkway, STE C #511
Irvine, CA 92604

RE: CC&R Compliance Review for Home Improvement
7 Senisa Way
Account# 00252-2007

Dear M. & E. S. Construction:

The Board of Directors/Manager for the University Community Association has approved your plans for **Home Addition/Alteration: Per Settlement Agreement per Board of Directors**.

At this time, you may proceed with your project. Please be reminded that the approval is based on conformance to the University Community Association CC&R's. This approval does not release you from obtaining other necessary approval and/or permits if applicable.

Please remember that improvements must conform to the approved plan and approval will expire six (6) months from the date of this letter.

Thank you for adhering to the submittal requirements for the University Community Association. Your cooperation is appreciated.

Sincerely,

UNIVERSITY COMMUNITY ASSOCIATION
BOARD OF DIRECTORS