



February 17, 2026

Mr. Bryan Layne
Easterseals Southern California
1063 McGaw Avenue
Irvine, CA 92614

Sent Via Email:
bryan.layne@essc.org

Subject: Approval of Minor Modification 00956257-PCPM to Conditional Use Permit 00723409-PCPM with Administrative Relief for Easterseals Southern California at 1063 McGaw Avenue in Planning Area 36 (Irvine Business Complex)

Dear Mr. Layne:

Community Development Department staff reviewed Minor Modification 00956257-PCPM to expand autism therapy services at Easterseals Southern California's corporate headquarters. The project also includes a request for administrative relief from wall/fence height standards to allow a new enclosed outdoor break area. The project site is located at 1063 McGaw Avenue within Planning Area 36 (Irvine Business Complex), is designated Urban/Industrial in the Land Use Element of the General Plan, and is zoned 5.1 IBC Multi-Use per the Irvine Zoning Ordinance.

On February 14, 2018, the Zoning Administrator approved Conditional Use Permit 00723409-PCPM for Easterseals Autism Therapy to operate as a community facility providing autism therapy services within a 3,520-square-foot portion of their 53,804-square-foot corporate office headquarters.

The proposed modification will expand the floor area dedicated to autism therapy services from 3,520 square feet to 17,375 square feet (Enclosure 1). The operational characteristics of the facility will remain consistent with the current approval. Per the applicant's proposed Program Description and Operating Schedule dated January 14, 2026 (Enclosure 2), Easterseals will provide applied behavioral analysis therapy, speech therapy, occupational therapy, and physical therapy services with one employee for each participant. The facility will add severe behavior services (SBS) to their program services provided with up to three employees for each participant. The proposed operating schedule (Enclosure 2) ensures that the majority of the program scheduling occurs outside of the peak traffic periods and that pickup and dropoff will be limited during the AM and PM peak periods, so as to limit traffic impacts.

The proposed project will also construct a 4.5-foot-high wall within the streetside setback along Pullman Street, requiring administrative relief to exceed the maximum

allowable height by 12 inches. The wall will enclose a new 3,543-square-foot secure outdoor break area for staff and program participants. No additional programming is proposed in this break area. The wall segment facing Pullman Street will be constructed as a 3-foot-tall cast in place concrete wall topped with 1.5-foot-tall glass panels with a 4.5-foot-tall wood and steel access fence and gate. The existing landscaping in the streetside setback area will be modified with new shrubs, trees, and a walkway for staff and participants.

Pursuant to Section 3-35-2(A)(3)(b) of the Zoning Ordinance, fences and walls within the streetside setback are permitted up to a maximum height of 3.5 feet. The applicant is requesting administrative relief to exceed the maximum permitted wall height by 12 inches. Per Section 2-2-4(B)(4) of the Zoning Ordinance, the Director of Community Development is authorized to approve the requested administrative relief.

As such, the Director of Community Development hereby makes the following findings of fact, consistent with Section 2-2-11 of the Zoning Ordinance to grant the administrative relief:

- A. The proposed wall or fence materials and dimensions will meet the intent of the zoning ordinance to preserve public health, safety, and welfare.

The proposed wall materials and dimensions meet the intent of the Zoning Ordinance to preserve public health, safety, and welfare. The wall is designed to secure the outdoor break area for the safety of users. The wall complies with line-of-sight requirements for the existing vehicular driveway on Pullman Street.

- B. The proposed fence materials and dimensions will enhance and harmonize with the existing landscape on-site, the building, and use of the project site.

The proposed wall is consistent with the materials used on the property and is harmonious with the contemporary architectural style of the existing building. Therefore, the requested 4.5-foot-tall wall is a harmonious enhancement for the property that is consistent with the architectural features.

- C. The request will not negatively impact the appearance of the project site or the surrounding properties.

The proposed wall will not negatively impact the appearance of the project site or surrounding properties. The wall is designed to complement the existing architecture and site design by using similar building materials, and updated landscaping in the outdoor area consisting of new shrubs and three replacement trees (Crape Myrtle), and is harmonious to the scale of the existing two-story office building.

Based on the forgoing findings, the request to exceed the allowable height of the wall within the streetside setback for the 4.5-foot-tall wall is approved.

Section 2-19-2 of the Zoning Ordinance contains criteria to determine when a proposed modification is classified a “major modification.” A major modification must be reviewed by the original approving authority at a public hearing. However, where none of the criteria are met, the application is a “minor modification” and reviewed by the Director of Community Development.

Based on the submittal, the Director of Community Development determines that the proposed modification does not meet any of the five criteria to be classified as a major modification. Therefore, the project is a minor modification for the following reasons:

1. Proposed addition, deletion, and/or relocation of approved structures and/or land uses which would cause significant or potentially significant environmental impacts, based upon staff’s analysis prepared in accordance with City policy.

The proposed modification will expand the floor area dedicated to autism therapy services within the existing building from 3,520 square feet to 17,375 square feet. The remaining floor area of the 53,648-square-foot building will be used for administrative office use with some warehouse use. No additions are proposed to the existing building. Based on staff’s analysis of the project, the modification will not cause any environmental impacts.

2. Proposed addition, deletion and/or relocation of approved structures and/or land uses which would cause significant or potentially significant on-site and off-site traffic impacts, based on staff’s analysis of the transportation issues prepared in accordance with City policy.

The expanded community facility providing autism therapy services will maintain similar operational characteristics to the previously approved project. The autism therapy services will be provided primarily on a one-to-one therapist to client basis during the day consistent with the current operation. Conditions 6.19 and 6.20 have been added to the project approval to ensure that there will not be any adverse traffic impacts. Furthermore, there will be no changes to on-site circulation as a result of the project approval. Therefore, the project will not cause significant or potentially significant on-site or off-site traffic impacts.

3. The intent of the findings and conditions of approval for the approved project would not be preserved.

The modification is consistent with the intent and conditions of the approved conditional use permit. The expansion of the community facility within the existing

office building will not change the function and operation of the site. Condition 6.21 is included for this approval to ensure the site continues to comply with all applicable conditions from the previous entitlement. Therefore, the proposed modification is consistent with the intent of the findings and conditions of the original approval.

4. Proposed addition, deletion, and/or relocation of structures would result in an impact to or introduction of sensitive uses not previously considered within the site. This includes, but is not limited to, uses not previously considered such as childcare centers, schools, residences, and medical establishments.

The modification does not introduce any new land uses to the project site beyond those considered in the original conditional use permit. The project site will continue to feature a combination of office, community facility, and warehouse uses. Since no new land uses or activities are introduced by this modification, it will not result in an impact to existing, or introduction of new, sensitive uses not previously considered.

5. Reconfiguration of the site plan resulting in: a) a significant reduction of landscaping; or b) a significant change in parking.

The project will reconfigure the streetside setback landscaping reducing the total site landscape area by 1,107 square feet. The project site will provide total landscape site coverage of 16.6%, thereby exceeding the site coverage requirement of 15% for the 5.1 IBC Multi-Use zoning district. The required parking count for the site does not change as a result of this modification, and no spaces are proposed for removal. The use requires a total of 214 parking spaces and 221 spaces are provided. Therefore, the site will maintain a surplus of seven parking spaces.

Based on the information submitted with this application, the Director of Community Development makes the following finding pursuant to Section 2-19-7 of the Zoning Ordinance and hereby approves Minor Modification 00956257-PCPM.

1. The modification does not alter or affect the intent of the findings and conditions of the original project approval.

The modification does not result in a change of use or other significant change that would substantially alter the intent and purpose of the original approval. The modification does not change the use or development intensity for the project site. In addition, the project will comply with all previous conditions of approval of Conditional Use Permit 00723409-PCPM. As such, the project remains consistent with the intent of the findings and conditions of approval associated with original approval. All applicable conditions of approval shall remain in full force and effect.

This approval is subject to the following conditions of approval:

PRIOR TO ISSUANCE OF BUILDING PERMITS

Condition 3.28

ORANGE COUNTY FIRE AUTHORITY (OCFA)

Prior to the issuance of a building permit, the applicant or responsible party shall submit the plans listed below to the Orange County Fire Authority for review and approval:

- A. Fire Master Plan (Service Code PR145)
- B. Architectural Plans (Service Codes PR200-272)
- C. Fire Sprinkler System (Service Sodes PR410-425)

MISCELLANEOUS

Standard Condition 6.1

DISCRETIONARY CASE CHARGES

The applicant is responsible for paying all charges related to the processing of this discretionary case application within 30 days of the issuance of the final invoice or prior to the issuance of building permits for this project, whichever occurs first. Failure to pay all charges shall result in delays in the issuance of required permits or may result in the revocation of the approval of this application.

Standard Condition 6.2

LEGAL ACTION – HOLD HARMLESS

In accordance with the provisions of Section 5-5-114 of the Irvine Municipal Code and Government Code Section 66474.9, the applicant shall defend, indemnify, and hold harmless the City of Irvine and its agents, officers, and employees from and against any claim, action, or proceeding against the City agency or its agents, officers, or employees to attack, set aside, void, or annul an approval by the City, including, without limitation, an action by an advisory agency, appeal board, or legislative body concerning this discretionary approval. This defense and indemnification shall include the payment of all legal costs incurred on behalf of the City in connection with the application, and the defense of any claim, action or proceeding challenging the approval. The City will promptly notify the applicant of any claim, action, or proceeding and will cooperate fully in the defense. In the event a legal challenge to the discretionary approval is successful, and an award of attorney fees is made to the challenger, the applicant shall be responsible to pay the full amount of such an award.

Condition 6.19

OPERATIONAL RESTRICTIONS

All activities related to the Autism Therapy portion of the building shall operate in accordance with the following provision:

The project shall operate according to the operational schedule provided in the Program Description and Operating Schedule letter dated January 14, 2026 approved by City staff to ensure the use does not exceed the Development Intensity Value (DIV) allocation for the site (72 AM peak period [7 – 8:30 a.m.], 77 PM peak period [4:45 – 6:15 p.m.], and 766 daily DIVs).

Condition 6.20

PICK UP AND DROP OFF LIMITATIONS

Project shall restrict or limit pickups and drop offs during peak periods of 7 – 8:30 a.m. and 4:45 – 6:15 p.m., Monday through Friday, in accordance with the applicant's proposed operational schedule reviewed and approved by City staff.

Condition 6.21

COMPLIANCE WITH PRIOR CONDITIONS

All applicable conditions of approval associated with Conditional Use Permit 00723409-PCPM shall remain in full force and effect for the project site, except as modified by the conditions herein.

Condition 6.22

ORANGE COUNTY FIRE AUTHORITY (OCFA)

Prior to concealing interior construction, the applicant or responsible party shall submit a Fire Alarm System Plan (Service Codes PR500-PR530) to the Orange County Fire Authority for review and approval.

Unless an appeal is filed prior to the expiration of the five-business-day appeal period ending at 5 p.m. on Tuesday, February 24, 2026, the approval granted by this letter shall become effective on Wednesday, February 25, 2026.

The stamped-approved plans for Minor Modification 00956257-PCPM are being transmitted electronically along with this letter. Should you wish to obtain a hard copy of the stamped-approved plans, please drop off a set of plans at the Planning counter. Please note that permits cannot be issued until all fees associated with this application are paid in full.

Should you have any questions regarding this approval, please contact Associate Planner Michael O'Toole at 949-724-6102 or by email at motoole@cityofirvine.org.

Mr. Bryan Layne
February 17, 2026
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Sincerely,

A handwritten signature in cursive script that reads "Stephanie Frady".

Stephanie Frady, AICP
Director of Community Development

Enclosures:

1. Approved Project Plans
2. Program Description Narrative and Operating Schedule
3. CEQA Exemption

ec: Ann Wu, Acting Planning Manager
Nick Melloni, Principal Planner
File(s): 00956257-PCPM; 00723409-PCPM



BOULDER ASSOCIATES
 300 SPECTRUM CENTER DR, SUITE 730
 IRVINE, CALIFORNIA 92618
 949.727.9000

00956257-PCFM
 (RELATED TO 00949337-CT1)

PROJECT 236288.00

EASTERSEALS SOUTHERN CALIFORNIA AUTISM CENTER OF EXCELLENCE

1063 McGaw Ave, Irvine, CA 92614

CUP MODIFICATION - ADMINISTRATIVE RELIEF

DATE
 REVISIONS

CUP	DESCRIPTION	DATE
1	CUP PLANCHECK RESPONSE	01/14/2026

REVISIONS

CITY OF IRVINE COMMUNITY DEVELOPMENT DEPARTMENT

PLANNING DIVISION

DATE

RESPONSE

DATE

THE CITY OF IRVINE



BUILDING PLANS

NOTE: DESIGNER TO PROVIDE PROJECT SPECIFIC INPUT WHERE INDICATED BY INSTRUCTIONS IN BOLD AND BRACKETED BY THE FOLLOWING SYMBOL <>

(VERSION 2022.1 EFFECTIVE JANUARY 2025)



VICINITY MAP



LOCATION MAP

PROJECT INFORMATION

PROJECT LOCATION: 1063 MCGAW AVE, IRVINE, CA 92614
 PROJECT DESCRIPTION: RENOVATION/CONVERSION OF EXISTING OFFICE BUILDING TO INCREASE COMMUNITY FACILITY AREA USED FOR AUTISM THERAPY FROM 3,520 SF (APPROVED IN 2016 VIA 723006-PCFM), TO 17, 375 SF.

LAND USE BREAKDOWN ARE AS FOLLOWS:
 EXISTING: 49,848 SF OFFICE + 3,220 SF COMMUNITY FACILITY + 480 SF WAREHOUSE = 53,548 SF TOTAL
 PROPOSED: 35,793 SF OFFICE + 17,375 SF COMMUNITY FACILITY + 480 SF WAREHOUSE = 53,648 SF TOTAL

SPECIAL CONDITIONS OF LAND USE APPROVAL: SPECIAL CONDITIONS RELATING TO THIS PROJECT ARE ESTABLISHED IN N/A SEE SHEET N/A UNDER THE HEADING LAND USE CONDITIONS OF APPROVAL FOR COMPLETE CONDITIONS OF APPROVAL.

USE/OCCUPANCY/FLOOR AREA: USE B OFFICE: FIRST FLOOR: OFFICE: 27,334 SF WAREHOUSE: 480 SF SECOND FLOOR: OFFICE: 25,834 SF A-ASSEMBLY (ACCESSORY: 10%) INCLUDED IN FIRST FLOOR OFFICE

NUMBER OF STORIES: 2 STORIES
 MEZZANINES: N/A

TYPE OF CONSTRUCTION: TYPE III-B
 FIRE RESISTANCE RATED ASSEMBLIES CONSTRUCTED OR ALTERED IN SCOPE OF WORK:
 EXTERIOR WALLS: NONE
 FIRE WALLS: NONE
 FIRE BARRIERS: NONE
 FIRE PARTITIONS: NONE
 HORIZONTAL ASSEMBLIES: NONE

SEE SHEET A7.10 FOR FIRE-RESISTANCE RATED ASSEMBLY LEGEND, PROVIDING UNIQUE SYMBOLS FOR EACH RATED ASSEMBLY TYPE/RATING AND CALL-OUTS TO CONSTRUCTION DETAILS DEMONSTRATING COMPLIANCE WITH ASSEMBLY LISTINGS.

AUTOMATIC FIRE SPRINKLERS: YES
 AN NFA 13 AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED UNDER SEPARATE APPROVAL THROUGH THE ORANGE COUNTY FIRE AUTHORITY. SPRINKLERS ARE PROVIDED TO COMPLY WITH THE CITY OF IRVINE MUNICIPAL CODE SECTION 5-9-401 FOR BUILDING HAVING A GROSS AREA EXCEEDING 5,000 SQUARE FEET.

ALLOWABLE HEIGHT/AREA ANALYSIS (CBC CHAPTER 5): UNLIMITED

PARKING SUMMARY:
 REQUIRED PARKING:
 TOTAL PARKING PROVIDED:
 VAN ACCESSIBLE PARKING PROVIDED:
 STANDARD ACCESSIBLE PARKING PROVIDED:

214 STALLS (EXISTING)
 221 STALLS (EXISTING)
 3 STALLS (EXISTING)
 4 STALLS (EXISTING)

APPLICABLE STATE CODES (WITH CITY OF IRVINE AMENDMENTS):
 CALIFORNIA BUILDING CODE 2022
 CALIFORNIA ELECTRIC CODE 2022
 CALIFORNIA MECHANICAL CODE 2022
 CALIFORNIA PLUMBING CODE 2022
 CALIFORNIA ENERGY EFFICIENCY CODE 2022
 CALIFORNIA GREEN BUILDING STANDARDS CODE 2022

WATER CONSERVING PLUMB. FIXTURE VERIFICATION/RETROFIT

BUILDINGS FOR WHICH AN INITIAL FINAL INSPECTION WAS RECEIVED ON OR BEFORE JANUARY 1, 1994 SHALL COMPLY WITH THE CITY OF IRVINE'S INFORMATION BULLETIN # 321. WAS THE INITIAL FINAL INSPECTION ON THE PROPERTY UNDERGOING THE PROPOSED TENANT IMPROVEMENT RECEIVED PRIOR TO JANUARY 1, 1994. YES

CALIFORNIA GREEN BUILDING STANDARDS CODE

PROVISIONS OF THE CALIFORNIA GREEN BUILDING STANDARDS CODE APPLY TO ALL NEW LOW-RISE RESIDENTIAL BUILDINGS (THREE STORIES AND LESS INCLUDING HOTELS AND MOTELS) AND ALL NON-RESIDENTIAL TENANT IMPROVEMENT WITH VALUATION EQUAL OR GREATER THAN \$200,000 AND ADDITIONS EQUAL OR GREATER THAN 1,000 SQUARE FEET.
 SEE SHEET G0.10 FOR COMPLETED CITY OF IRVINE GREEN BUILDING STANDARDS NOTES.

CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS .M6.0 AND P5.1

PROVISIONS OF THE CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARD APPLY TO THIS PROJECT SEE SHEET E0.3 FOR COMPLETE COMPLIANCE DOCUMENTATION.

SPECIAL INSPECTION AND STRUCTURAL OBSERVATION

THIS PROJECT IS SUBJECT TO BOTH SPECIAL INSPECTIONS AND STRUCTURAL OBSERVATION PER CALIFORNIA BUILDING CODE (CBC) CHAPTER 17 AND SHALL FOLLOW THE REQUIREMENTS AS DEFINED IN CITY OF IRVINE INFORMATION BULLETINS NO. 278 AND 251.

SEE SHEET T10 FOR COMPLETED PROJECT SPECIFIC CITY OF IRVINE SPECIAL INSPECTION PROGRAM FORM.
 SEE SHEET T12 FOR COMPLETED PROJECT SPECIFIC CITY OF IRVINE SPECIAL OBSERVATION PROGRAM FORM.

CITY OF IRVINE MUNICIPAL CODE

(NOTE: COMPLETE IMC TEXT IS AVAILABLE ON THE INTERNET AT WWW.MUNICODI.COM)
 THE DESIGN AND CONSTRUCTION OF THIS PROJECT SHALL COMPLY WITH ALL APPLICABLE IRVINE MUNICIPAL CODE PROVISIONS INCLUDING BUT NOT LIMITED TO:

CONSTRUCTION WORK HOURS [IMC SECT. 6-8-205]
 MON-FRI 7 AM TO 7 PM
 SAT 9 AM TO 6 PM
 NO WORK ON SUNDAYS OR FEDERAL HOLIDAYS

SECURITY DESIGN STANDARDS [IMC SECT. 5-9-517 AND 5-9-528]
 SEE SHEET-INSERT PLAN SHEET NUMBER-FOR APPLICABLE COMPLETED SECURITY CODE PROVISIONS

ROOFING [IMC 5-9-401 F. & 5-9-402 M.]
 ROOF COVERING CLASSIFICATION SHALL MEET MINIMUM CLASS A.
 ATTIC AND UNDERFLOOR VENT COVERS [IMC 5-9-401 E. & 5-9-402 K.]
 ROOF AND UNDERFLOOR VENT OPENINGS SHALL BE COVERED WITH NON-COMBUSTIBLE, CORROSION RESISTANT, METAL WIRE MESH OR OTHER MATERIALS HAVING OPENINGS OF 1/16 INCH MINIMUM TO 1/8 INCH MAXIMUM. (CBC 706A.2)
 THERE IS NO ROOF OR UNDERFLOOR VENT OPENINGS IN PROJECT SCOPE.

OFF-SITE FABRICATION
 ALL OFF-SITE FABRICATION OF STRUCTURAL STEEL COMPONENTS INCLUDING STEEL STAIRS AND PRE-CAST CONCRETE SHALL BE DONE IN AN APPROVED FABRICATOR SHOP AS REQUIRED BY CITY OF IRVINE INFORMATION BULLETIN NO. 311. SEE BULLETIN FOR DETAILS AND REQUIRED DOCUMENTATION REQUIRED AT THE RECEIPT OF ANY SHIPMENT OF OFF-SITE FABRICATED ITEMS.

PRE-CONSTRUCTION MEETING REQUIREMENT
 ALL CONSTRUCTION PROJECTS INVOLVING ADDITIONS TO NON-RESIDENTIAL STRUCTURES AND PARKING LOT MODIFICATIONS SHALL NOT COMMENCE UNTIL A PRE-CONSTRUCTION MEETING HAS BEEN HELD. THESE MEETINGS, WHILE NOT REQUIRED BY CITY CODE FOR TENANT IMPROVEMENTS NOT ADDING AREA, ARE BENEFICIAL FOR MAJOR TENANT IMPROVEMENTS OR ANY RESTAURANT INSTALLATIONS. TO SCHEDULE A PRE-CONSTRUCTION MEETING CONTACT COMMERCIAL BUILDING INSPECTOR SUPERVISOR AT (949) 724-6139 FOR BUILDING INSPECTIONS AND GRADING INSPECTOR SUPERVISOR AT (949) 724-6329 FOR PARKING LOT MODIFICATIONS INSPECTIONS.

DEFERRED SUBMITTALS
 THIS PROJECT HAS BEEN PERMITTED WITHOUT REVIEW AND/OR APPROVAL OF THE FOLLOWING DEFERRED SUBMITTALS. PLANS APPROVED BY THE CITY SHALL BE OBTAINED FOR EACH DEFERRED ITEM LISTED BELOW PRIOR TO COMMENCING ANY WORK WITHIN THE SCOPE OF SUCH DEFERRAL. DEFERRALS MUST BE REVIEWED AND ACCEPTED BY THE ARCHITECT OR ENGINEER OF RECORD PRIOR TO SUBMITTING FOR REVIEW WITH THE CITY.

ADDITIONS AND ALTERATIONS:
 PRIOR TO USE, OCCUPANCY OR FINAL INSPECTION, EXISTING OR RETROFITTED ADDRESSING MEETING THE HEIGHT, CONTRAST AND FONT REQUIREMENTS OF SECTION 5-9-517 ITEM H OF THE CITY OF IRVINE MUNICIPAL CODE SHALL BE VERIFIED BY THE CITY INSPECTOR.

FIRE DEPARTMENT NOTES:
 1. FOR ASSISTANCE WITH FIRE-RELATED PLAN REVIEW ISSUES OR TECHNICAL QUESTIONS, PLEASE CALL (714) 573-6108. FOR FIRE-RELATED INSPECTION QUESTIONS OR ISSUES, PLEASE CONTACT YOUR OCFIA INSPECTOR DIRECTLY OR OCFIA INSPECTION SCHEDULING AT (714) 573-6150 FOR ASSISTANCE.
 2. THE PROJECT SHALL COMPLY WITH THE CURRENTLY ADOPTED CALIFORNIA BUILDING CODE, CALIFORNIA FIRE CODE, AND OTHER CODES, STANDARDS, REGULATIONS AND REQUIREMENTS AS ENFORCED BY THE ORANGE COUNTY FIRE AUTHORITY. APPROVAL OF THESE PLANS SHALL NOT PERMIT THE VIOLATION OF ANY CODE OR LAW.
 3. FOR PROJECTS INVOLVING NEW STRUCTURES, ADDITIONS TO EXISTING STRUCTURES, INSTALLATION OF GATES/WALLS/FENCES, OR ALTERATION OF VEHICULAR ACCESS, A FIRE MASTER PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE OCFIA PRIOR TO SUBMITTAL OF ARCHITECTURAL PLANS. AN APPROVED FIRE MASTER PLAN SHALL BE SUBMITTED WITH THE ARCHITECTURAL PLANS.
 4. ALL WEATHER FIRE ACCESS ROADS SHALL BE APPROVED BY THE OCFIA AND BE IN PLACE BEFORE ANY COMBUSTIBLE MATERIALS ARE PLACED ON THE SITE. ACCESS ROADS SHALL BE MAINTAINED CLEAR OF OBSTRUCTIONS DURING AND AFTER CONSTRUCTION.
 5. ADDRESS NUMBERS SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS, BE A MINIMUM SIX INCHES HIGH, CONTRAST WITH THEIR BACKGROUND, AND BE PLAINLY VISIBLE FROM THE ROADWAY THE BUILDING IS ADDRESSED ON OR AS OTHERWISE ALLOWED BY OCFIA GUIDELINE 8-09.
 6. BUILDINGS UNDER CONSTRUCTION OR DEMOLITION SHALL CONFORM TO CFC CHAPTER 33. NO SMOKING OR COOKING IS ALLOWED IN STRUCTURES WHERE COMBUSTIBLE MATERIALS ARE EXPOSED OR WITHIN 25' OF COMBUSTIBLE MATERIALS STORAGE AREAS. CUTTING, WELDING, OR OTHER HOT WORK SHALL BE IN CONFORMANCE WITH CFC CHAPTER 35.
 7. LOCATIONS AND CLASSIFICATIONS OF EXTINGUISHERS SHALL BE IN ACCORDANCE WITH THE CFC AND CCR TITLE 19. AT LEAST ONE EXTINGUISHER SHALL BE PROVIDED DURING CONSTRUCTION ON EACH FLOOR AT EACH STAIRWAY, IN EACH STORAGE AND CONSTRUCTION SHED, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED, OR WHERE SIMILAR HAZARDS ARE PRESENT. BEFORE FINAL OCCUPANCY, AT LEAST ONE 2A-10BC EXTINGUISHER SHALL BE PROVIDED SO THAT NO POINT IS MORE THAN 75' TRAVEL DISTANCE FROM THE EXTINGUISHER. EXTINGUISHERS SHALL BE LOCATED ALONG THE PATH OF EGRESS TRAVEL AND IN A READILY VISIBLE AND ACCESSIBLE LOCATION, WITH THE BOTTOM OF THE EXTINGUISHER AT LEAST 4' ABOVE THE FLOOR. ADDITIONAL EXTINGUISHERS MAY BE REQUIRED BY THE INSPECTOR AND FINAL PLACEMENT IS SUBJECT TO APPROVAL.
 8. WALL, FLOOR AND CEILING FINISHES AND DECORATIVE MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS IN CBC/CFC CHAPTER 8. DECORATIVE MATERIALS SHALL BE PROPERLY TREATED BY A PRODUCT OR PROCESS APPROVED BY THE STATE FIRE MARSHAL. SUCH ITEMS SHALL BE APPROVED AND INSPECTED PRIOR TO INSTALLATION.
 9. KNOX BOXES/KEY CABINETS SHALL BE PROVIDED FOR ALL POOL ENCLOSURES, GATES IN THE PATH OF FIREFIGHTER TRAVEL TO STRUCTURES, SECURED PARKING LEVELS, DOORS GIVING ACCESS TO ALARM PANELS AND/OR ANNUNCIATORS, AND ANY OTHER STRUCTURES OR AREAS WHERE IMMEDIATE ACCESS IS REQUIRED OR IS UNLUDY DIFFICULT.
 10. DUMPSTERS AND TRASH CONTAINERS EXCEEDING 15 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVE LINES UNLESS PROTECTED BY AN APPROVED SPRINKLER SYSTEM OR LOCATED IN A TYPE I OR II STRUCTURE SEPARATED BY 10 FEET FROM OTHER STRUCTURES. CONTAINERS LARGER THAN 1 CUBIC YARD SHALL BE OF NON-OR LIMITED-COMBUSTIBLE MATERIALS OR SIMILARLY PROTECTED OR SEPARATED. CFC 304.3
 11. EXITS, EXIT SIGNS, FIRE ALARM PANELS, HOSE CABINETS, FIRE EXTINGUISHER LOCATIONS, AND STANDPIPE CONNECTIONS SHALL NOT BE CONCEALED BY CURTAINS, MIRRORS, OR OTHER DECORATIVE MATERIAL. THE EGRESS PATH SHALL REMAIN FREE AND CLEAR OF ALL OBSTRUCTIONS AT ALL TIMES. NO STORAGE IS PERMITTED IN AISLES.
 12. EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. DOORS SHALL NOT BE PROVIDED WITH THUMB-TURN LOCKS OR DEADBOLTS THAT DO NOT UNLATCH IN TANDEM WITH THE NORMAL OPERATING LEVER. RATED DOORS SHALL BE SELF-CLOSING AND LATCHING; SUCH DOORS SHALL NOT BE EQUIPPED WITH DOOR STOPS OR OTHERWISE PROPPED OPEN.
 13. SPRINKLER AND ALARM SYSTEMS SHALL BE PROVIDED WHEN REQUIRED BY CBC/CFC CHAPTER 9 AND LOCAL ORDINANCE. IN STRUCTURES OF UNDETERMINED USE, THE MINIMUM FIRE SPRINKLER DESIGN DENSITY REQUIRED SHALL BE ORDINARY HAZARD (GROUP 2) WITH A DESIGN AREA OF 300 SQUARE FEET.
 14. EXISTING SPRINKLER AND ALARM SYSTEMS IN SPACES UNDERGOING REMODELING SHALL BE EVALUATED BY A LICENSED CONTRACTOR KNOWLEDGEABLE IN SUCH SYSTEMS TO DETERMINE WHETHER CHANGES WILL BE NECESSARY TO MAINTAIN THESE SYSTEMS IN CONFORMANCE WITH APPLICABLE STANDARDS. IF MODIFICATIONS ARE NECESSARY, PLANS SHALL BE

SUBMITTED TO THE OCFIA FOR REVIEW AND APPROVAL PRIOR TO MODIFICATION OF THE SYSTEM. SPRINKLER AND ALARM SYSTEMS SHALL BE SUPERVISED BY A UL-LISTED CENTRAL ALARM STATION.

15. WHERE COMMERCIAL-TYPE FOOD HEATING OR COOKING EQUIPMENT THAT PRODUCES GREASE-LADEN VAPORS IS PRESENT, AN AUTOMATIC EXTINGUISHING SYSTEM SHALL BE PROVIDED AND SHALL COMPLY WITH CFC, CMC, AND NFPA 17A. REVIEW AND APPROVAL OF A HOOD AND DUCT EXTINGUISHING SYSTEM PLAN BY THE OCFIA IS REQUIRED PRIOR TO INSTALLATION, MODIFICATION, REARRANGEMENT, OR USE OF COOKING EQUIPMENT

16. HAZARDOUS MATERIALS EQUIPMENT, PROCESSES, STORAGE, DISPENSING, OR USE SHALL COMPLY WITH CBC AND CFC REGULATIONS AND SHALL BE REVIEWED AND APPROVED BY THE OCFIA PRIOR TO SUCH MATERIALS OR EQUIPMENT BEING BROUGHT ON SITE.

17. STORAGE AREAS GREATER THAN 500 SQ.FT. WITH HIGH HAZARD MATERIALS STORED HIGHER THAN SIX FEET AND OTHER MATERIALS STORED HIGHER THAN TWELVE FEET ARE NOT PERMITTED WITHOUT FIRST SUBMITTING PLANS TO AND OBTAINING APPROVAL FROM THE OCFIA.

18. A NEW HVAC UNIT EXCEEDING A 2,000 CFM CAPACITY SHALL BE PROVIDED WITH A DUCT SMOKE DETECTOR. THIS DETECTOR SHALL SHUT DOWN ONLY THE AFFECTED INDIVIDUAL HVAC UNIT UPON SMOKE DETECTION. THIS DETECTOR MUST ALSO BE INTERLOGGED TO AN EXISTING FIRE ALARM SYSTEM. THE DETECTOR SHALL ONLY PROVIDE A SUPERVISORY SIGNAL AT THE FIRE ALARM PANEL UPON SMOKE DETECTION.

STORM WATER POLLUTION PREVENTION NOTES

STORMWATER POLLUTION PREVENTION DEVICES AND PRACTICES SHALL BE INSTALLED AND/OR INSTITUTED AS NECESSARY TO ENSURE COMPLIANCE TO THE CITY OF IRVINE WATER QUALITY STANDARDS CONTAINED IN CHAPTER 3. WATER OF DIVISION 8 OF TITLE 6 OF THE IRVINE MUNICIPAL CODE AND ANY EROSION CONTROL PLAN ASSOCIATED WITH THIS PROJECT. ALL SUCH DEVICES AND PRACTICES SHALL BE MAINTAINED, INSPECTED AND/OR MONITORED TO ENSURE ADEQUACY AND PROPER FUNCTION THROUGHOUT THE DURATION OF THE CONSTRUCTION PROJECT.

COMPLIANCE TO THE WATER QUALITY STANDARDS AND ANY EROSION AND SEDIMENT CONTROL PLAN ASSOCIATED WITH THIS PROJECT INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING REQUIREMENTS:

1. AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROL MEASURES (BMPs) SHALL BE IMPLEMENTED TO PROTECT THE EXPOSED PORTIONS OF THE SITE FROM EROSION AND TO PREVENT SEDIMENT DISCHARGES.

2. SEDIMENTS AND OTHER POLLUTANTS SHALL BE RETAINED ON SITE UNTIL PROPERLY DISPOSED OF, AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.

3. STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS SHALL BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND AND WATER FLOW.

4. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS SHALL BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM, NOR BE ALLOWED TO SETTLE OR INFILTRATE INTO SOIL.

5. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTES.

6. TRASH AND CONSTRUCTION SOLID WASTES SHALL BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.

7. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICULAR TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITS SHALL BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.

8. STORMWATER POLLUTION PREVENTION DEVICES AND/OR PRACTICES SHALL BE MODIFIED AS NEEDED AS THE PROJECT PROGRESSES TO ENSURE EFFECTIVENESS.

PARKING LOT MODIFICATION INSPECTION NOTES

1. PRIOR TO THE START OF ANY WORK, A PRE-GRADING MEETING AT THE SITE IS REQUIRED WITH THE OWNER, CONTRACTOR, GEOTECHNICAL ENGINEER (IF APPLICABLE), OR THEIR AGENTS, AND THE CITY GRADING INSPECTOR. THE PERMITTEE SHALL CONTACT GRADING INSPECTION TO SCHEDULE (949) 724-6329.

2. THE REQUIREMENTS FOR DEPUTY INSPECTION AND PERMIT CLOSE-OUT DOCUMENTATION WILL BE DETERMINED BY THE CITY GRADING INSPECTOR AT THE PRE-GRADE MEETING. THE REQUIRED GRADING INSPECTIONS WILL BE DEFINED AT THE PRE-GRADE MEETING.

3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED EDITION OF
 A. THE IRVINE GRADING AND EXCAVATION REGULATIONS AND GRADING MANUAL.
 B. THE CITY OF IRVINE STANDARD PLANS
 C. SPECIAL REQUIREMENTS OF THE GRADING OR PARKING LOT MODIFICATION PERMIT
 D. THE CALIFORNIA BUILDING CODE
 E. STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION (GREEN BOOK)
 F. MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
 G. THE CITY OF IRVINE CONSTRUCTION SITE SECURITY ORDINANCE.

4. CONSTRUCTION OPERATIONS SHALL OCCUR ONLY BETWEEN THE HOURS OF 7:00 A.M. AND 7:00 P.M., MONDAY THROUGH FRIDAY, AND BETWEEN THE HOURS OF 9:00 A.M. AND 6:00 P.M. SATURDAYS. NO CONSTRUCTION ACTIVITIES SHALL BE PERMITTED OUTSIDE OF THESE PERMITTED HOURS OR ON SUNDAYS AND FEDERAL HOLIDAYS, UNLESS A TEMPORARY WAIVER HAS BEEN GRANTED BY THE CHIEF BUILDING OFFICIAL. ANY WAIVERS SHALL TAKE INTO ACCOUNT THE IMPACT UPON THE COMMUNITY (IRVINE MUNICIPAL CODE SEC. 6-8-205).

5. ACCESSIBLE STALLS AND PATHS OF TRAVEL SHALL BE TEMPORARILY RELOCATED, AS NEEDED, TO MAINTAIN COMPLIANT ACCESSIBILITY. TO BE DETERMINED AT THE PRE-GRADE MEETING TO THE SATISFACTION OF THE GRADING INSPECTOR.

6. ALL ACCESSIBLE STALL STRIPING AND SIGNAGE SHALL BE PER THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE. ALL STANDARD PARKING STALL STRIPING SHALL BE PER CITY OF IRVINE STANDARD PLAN NO. 411.

SHOPPING CART COMPLIANCE:

THIS PROJECT IS A RETAIL ESTABLISHMENT THAT MAY BE SUBJECT TO THE CITY OF IRVINE SHOPPING CART CONTAINMENT OR RETRIEVAL PROVISIONS CONTAINED IN IRVINE MUNICIPAL CODE SECTIONS 4-11-701 THROUGH 4-11-709. IN SUCH CASE COMPLIANCE IS REQUIRED AT THE TIME OF OCCUPANCY. THEREFORE, SELECT THE APPROPRIATE NOTE FROM THE SELECTION BELOW AND INCLUDE ON THE GENERAL NOTE SHEET.

SHOPPING CART COMPLIANCE
 THIS PROJECT IS FOR A RETAIL ESTABLISHMENT THAT WILL USE ELEVEN OR MORE SHOPPING CARTS IN ITS BUSINESS OPERATIONS. THEREFORE, NO OCCUPANCY MAY OCCUR UNTIL A SHOPPING CART CONTAINMENT OR RETRIEVAL PLAN HAS BEEN APPROVED AS DESCRIBED AT WWW.CITYOFIRVINE.ORG/SHOPPINGCART AND THE ESTABLISHMENT IS PREPARED TO IMPLEMENT THE PLAN ON ITS INTENDED OPERATING DAY.
 OR
SHOPPING CART COMPLIANCE
 THIS PROJECT IS FOR A RETAIL ESTABLISHMENT THAT WILL USE LESS THAN ELEVEN SHOPPING CARTS IN ITS BUSINESS OPERATIONS. THEREFORE, SHOPPING CART CONTAINMENT OR RETRIEVAL PROVISIONS IN IRVINE MUNICIPAL CODE SECTIONS 4-11-701 THROUGH 4-11-709 WILL NOT APPLY UNLESS AND UNTIL ADDITIONAL CARTS ARE UTILIZED WHICH BRING THE TOTAL TO ELEVEN OR MORE.
 OR
SHOPPING CART COMPLIANCE
 THIS PROJECT IS FOR A RETAIL ESTABLISHMENT THAT CURRENTLY COMPLIES WITH THE SHOPPING CART CONTAINMENT OR RETRIEVAL PROVISIONS IN IRVINE MUNICIPAL CODE SECTIONS 4-11-701 THROUGH 4-11-709 UNDER A PLAN APPROVED ON _____ (APPROVAL DATE).

DESIGNED:	7	DATE
DRAWN:	8	DATE
CHECKED:	9	DATE
DATE:	10	DATE
SCALE:	11	DATE
DESIGNED:	12	DATE
DRAWN:	13	DATE
CHECKED:	14	DATE
DATE:	15	DATE
SCALE:	16	DATE
DESIGNED:	17	DATE
DRAWN:	18	DATE
CHECKED:	19	DATE
DATE:	20	DATE
SCALE:	21	DATE
DESIGNED:	22	DATE
DRAWN:	23	DATE
CHECKED:	24	DATE
DATE:	25	DATE
SCALE:	26	DATE

DEVELOPER:	27	DATE
DESIGNED:	28	DATE
DRAWN:	29	DATE
CHECKED:	30	DATE
DATE:	31	DATE
SCALE:	32	DATE
DESIGNED:	33	DATE
DRAWN:	34	DATE
CHECKED:	35	DATE
DATE:	36	DATE
SCALE:	37	DATE
DESIGNED:	38	DATE
DRAWN:	39	DATE
CHECKED:	40	DATE
DATE:	41	DATE
SCALE:	42	DATE

PLANS PREPARED BY:	43	DATE
DESIGNED:	44	DATE
DRAWN:	45	DATE
CHECKED:	46	DATE
DATE:	47	DATE
SCALE:	48	DATE
DESIGNED:	49	DATE
DRAWN:	50	DATE
CHECKED:	51	DATE
DATE:	52	DATE
SCALE:	53	DATE
DESIGNED:	54	DATE
DRAWN:	55	DATE
CHECKED:	56	DATE
DATE:	57	DATE
SCALE:	58	DATE

PLANNING DIVISION	59	DATE
DESIGNED:	60	DATE
DRAWN:	61	DATE
CHECKED:	62	DATE
DATE:	63	DATE
SCALE:	64	DATE
DESIGNED:	65	DATE
DRAWN:	66	DATE
CHECKED:	67	DATE
DATE:	68	DATE
SCALE:	69	DATE
DESIGNED:	70	DATE
DRAWN:	71	DATE
CHECKED:	72	DATE
DATE:	73	DATE
SCALE:	74	DATE

PLANNING DIVISION	75	DATE
DESIGNED:	76	DATE
DRAWN:	77	

STANDARD NON-RESIDENTIAL SECURITY CODE PROVISIONS [VERSION 6.0]

Applies to Applications Made on or After 01/01/2023. This document shall be completed by a design professional of record. The completed document shall be incorporated in its entirety, along with the City of Irvine Standard Security Code Plan Requirements and Definitions into the plans submitted for approval prior to permit issuance.

INSTRUCTIONS: (1) Those provisions preceded by an asterisk (*) shall be completed if applicable and an "A" shall be inserted in the space preceding the provision; if not applicable, an "N/A" shall be inserted.

(2) Those provisions preceded by a [P] shall be depicted in the plans via notes, details, plan, and/or elevation views in a manner that clearly demonstrates compliance to the requirement. Such depictions shall be cross referenced within the brackets () provided or note shall be completed as otherwise instructed.

STANDARDS KEYING REQUIREMENTS [Ref. Irvine Municipal Code (IMC) Section 5-9-511]

Upon occupancy by the owner or proprietor, each single unit shall have locks using combinations which are interchangeable free from locks used in all other proprietorships or similar distinct occupancies.

N/A (*) STANDARDS FOR LOUVERED WINDOWS [Ref. IMC Section 5-9-514]

[P] Louvered windows shall not be utilized if any portion of it is within 8 feet vertically or 6 feet horizontally from any exterior accessible surface or any adjoining roof, balcony, landing, stair tread, platform, or similar structure.

N/A (*) STANDARDS FOR GARAGE DOORS: ROLLING OVERHEAD, SOLID OVERHEAD [Ref. IMC Section 5-9-515]

[P] Wood doors shall have panels a minimum of 5/16 inch in thickness with the locking hardware being attached to the support framing.

[P] Aluminum doors shall be a minimum thickness of 0.0215 inches and riveted together a minimum of 18 inches on center along the outside seams.

C. [P] Fiberglass doors shall have panels a minimum density of 6 ounces per square foot from the bottom of the door to a height of 7 feet.

D. Doors utilizing a cylinder lock shall have a minimum 5 pin tumbler operation with the locking bar or bolt extending into the receiving guide a minimum of 1 inch.

E. Doors that exceed 16 feet in width shall have 2 lock receiving points; or, if the door does not exceed 19 feet, a single bolt may be used if placed in the center of the door with the locking point located either at the floor or door frame header, or, torsion spring counterbalance-type hardware may be used.

F. [P] Doors secured by electrical operation shall have a key-switch to open the door when in a closed position, or by a signal locking device.

G. Doors with slide bolt assemblies shall have frames a minimum of 0.120 inches in thickness, with a minimum bolt diameter of 1/2 inch and protrude at least 1 1/2 inches into the receiving guide.

STANDARDS FOR EXTERIOR DOORS & OPENINGS [Ref. IMC Section 5-9-517]

A. Swinging exterior glass doors, wood, or metal doors with glass panels, solid wood, or metal doors, and all entrance doors to individual office suites shall be constructed or protected as follows:

[P] Wood doors shall be of solid core construction with a minimum thickness of 1 3/4 inches. Wood panel doors with panels less than 1 inch thick shall be covered on the inside with a minimum 16 U.S. gauge sheet steel or its equivalent, which is to be attached with screws on minimum 6 inch centers.

[P] Except when double cylinder deadbolts are utilized, any glazing utilized within 40 inches of any door locking mechanism shall be constructed or protected as follows:

- a. Fully tempered glass or rated burglary resistant glazing; or
b. Iron or steel grills of at least 1/8 inch material with a minimum 2 inch mesh secured on the inside of the glazing may be utilized; or
c. The glazing shall be covered with iron bars of at least 1/2 inch round or 1 inch by 1/4 inch flat steel material, spaced not more than 5 inches apart, secured on the inside of the glazing.
d. Items b. and c., above, shall not interfere with the operation of opening windows if such windows are required to be operable by the Uniform Building Code.

3. Doors without mechanical locks may be secured with a magnetic locking device which shall have the minimum holding force of 1600 lbs. and a minimum 12 hour back up battery source.

B. All swinging exterior wood and steel doors shall be equipped as follows:

1. A single or double door shall be equipped with a double or single cylinder deadbolt. The bolt shall have a minimum projection of 1 inch and be constructed so as to repel a cutting tool attack. The deadbolt shall have an embedment of at least 3/4 inch into the strike receiving the projected bolt.

2. Double doors shall be equipped as follows:
a. The inactive leaf of double door(s) shall be equipped with metal flush bolts having a minimum embedment of 5/8 inch into the head and threshold of the doorframe.

b. Double doors shall have an astragal constructed of steel a minimum of 1/8 inch thick, which will cover the opening between the doors. The astragal shall be a minimum of 2 inches wide, and extend a minimum of 1 inch beyond the edge of the door to which it is attached.

C. Aluminum frame swinging doors shall be equipped as follows:

1. The jamb on all aluminum frame swinging doors shall be so constructed or protected to withstand 1,600 pounds of pressure in both a vertical distance of 3 inches and a horizontal distance of 1 inch each side of the strike, so as to prevent violation of the strike.

2. A single or double door shall be equipped with a double cylinder deadbolt with a bolt projection exceeding 1 inch or a hook-shaped or expanding deadbolt that engages the strike sufficiently to prevent spreading. The deadbolt lock shall have a minimum of 5-pin tumblers and a cylinder guard.

D. Panic hardware, whenever required by the Building Code shall be installed as follows:

- 1. Panic hardware shall contain a minimum of 2 locking points on each door; or
2. On single doors, panic hardware may have 1 locking point, which is not to be located at either the top or bottom rails of the doorframe. The door shall have an astragal constructed of steel 1/8 inch thick, which shall be attached with nonremovable bolts to the outside of the door.
3. Double doors containing panic hardware shall have an astragal attached to the doors at their meeting point, which will close the opening between them, but not interfere with the operation of either door.

E. Horizontal sliding doors shall be equipped with a metal guide track at top and bottom, and a cylinder lock and/or padlock with a hardened steel shackle which locks at both heel and toe, and a minimum 5-pin tumbler operation with nonremovable key when in an unlocked position.

F. In office buildings (multiple occupancy), all entrance doors to individual office suites shall meet the construction and locking requirements for exterior doors.

G. Glazing shall be deemed accessible, if any portion of it is within 40 inches of any door locking mechanism, and shall be constructed of either two part laminated glazing with a 0.60 .0060 inch inner layer or burglary resistant glazing.

Exception: Glass doors at least 1/2 inch thick and greater than 2880 square inches.

N/A (*) STANDARDS FOR ROOF OPENINGS [Ref. IMC Section 5-9-517]

[P] Roof openings shall be protected as follows if the roof is accessible via an exterior ladder or the roof is less than 20 feet from ground level or if any portion of it is within 12 feet vertically or 6 feet horizontally from any exterior accessible surface or any adjoining roof, balcony, landing, stair tread, or similar structure:

- A. All skylights on the roof of any building used for business purposes shall be provided with:
1. Rated burglary-resistant glazing; or
2. Iron bars of at least 1/2 inch round or 1 by 1/4 inch flat steel material, spaced not more than 5 inches apart, under the skylight and securely fastened; or
3. A steel grill of at least 1/8 inch material with a maximum 2 inch mesh under the skylight and securely fastened.
B. All hatchway openings on the roof of any building or premises used for business purposes shall be secured as follows:
1. If the hatchway is of wooden material, it shall be covered on the inside with at least 16 U.S. gauge sheet metal, or its equivalent, attached with screws.
2. The hatchway shall be secured from the inside with a slide bar or slide bolts.
3. Outside hinges on all hatchway openings shall be provided with nonremovable pins when using pin-type hinges.

N/A (*) STANDARDS FOR EXTERIOR LADDERS [Ref. IMC Section 5-9-517]

[P] Exterior mounted ladders are prohibited except:

A. Ladders with a minimum 1/8 inch thick steel plate, securely attached to the ladder edge on each side and extending to within 2 inches of the wall for a height of 10 feet above ground level. A door or cover shall be securely attached to the front of the ladder and be constructed of a minimum 1/8 inch steel, extending from ground level to at least 10 feet high.

B. Ladders beginning a height of 10 feet above ground.

EXTERIOR PHONE PANELS ARE PROHIBITED [Ref. IMC Section 5-9-517]

STANDARDS FOR LIGHTING [Ref. IMC Section 5-9-517]

Note: Performance standards are contained herein for reference. Compliance shall be demonstrated in photometric study preceding plan check approval.

Buildings, open parking lots, walkways, and accesses thereto shall conform to the following light standards and be arranged in such a way so as to conform to California Green Building Standards Code Section 5.106.5.2 and Zoning Code Section 3-16-1 which require that direct rays be confined to the site and that adjoining properties are protected from glare such that at 15 feet beyond site boundaries illumination is less than 0.01 horizontal footcandles.

A. [P] All types of exterior doors shall be illuminated with an exterior light fixture, during the hours of darkness, with a minimum maintained 1 foot-candle of light, measured within a 5 foot radius on each side of the door at ground level.

B. Recessed areas of buildings or fences, which have a minimum depth of 2 feet, a minimum height of 5 feet, and do not exceed 6 feet in width and are capable of human concealment, shall be illuminated with a minimum maintained 0.25 foot-candles of light at ground level during the hours of darkness.

C. Stairways shall be illuminated with a minimum maintained 1 foot-candle of light on all landings and stair treads, during the hours of operation, including 1 hour thereafter.

D. All interior or exterior corridors, passageways, and walkways in any hotel, motel, or inn shall be illuminated at all times with a minimum maintained 1 foot-candle of light on the walking surface.

E. All exterior pedestrian walkways, interior common corridors, and open parking lots shall be illuminated with a minimum maintained 1 foot-candle of light on the walking, parking, or driving surface during the hours of operation and 1 hour thereafter.

F. [P] For buildings required to have 2 or more exits, lighting for landings shall be on an emergency power system consisting of storage batteries or an onsite generator capable of providing power for 90 minutes, installed as required by California Building Code Section 1008.3.

G. The light source utilized to comply with this section to meet parking and drive surface lighting shall have a rated average bulb life of not less than 12,000 hours.

H. Light fixtures for open parking lots may utilize motion sensing devices to raise and lower the light levels based upon the presence of vehicles or people. The light level shall not be less than minimum maintained .25 foot-candles of light at ground level when not occupied.

I. [P] Accessible luminaires utilized to meet the requirements of this section have fully enclosed vandal resistant light fixtures and be not less than 3 feet in height from ground level when used to illuminate walkways and a minimum of 8 feet in height from ground level when illuminating surfaces associated with vehicles.

J. [P] See plan sheet [Ref. plans or note: This provision is not applicable.]

showing buildings, parking area, walkways, detailed landscaping with tree legend (if pole lights are used) and shrub legend (if bollards are used), fixture schedule, mounting height, lighting ratio, and a point-by-point photometric calculation of the required light levels.

K. Private streets, drive aisles, alleys, and Fire Department required roadways designed for use only in emergency situations shall be illuminated using the same standards as established for public thoroughfares.

STANDARDS FOR ADDRESSING [Ref. IMC Section 5-9-517]

[P] Buildings shall display a street address number conforming to the following specifications:

A. Numerals shall be mounted on the wall or window, not less than 8 feet or higher than 30 feet from ground level and face the street on which the building is addressed.

B. Where distance or intervening obstructions impair visibility from the street, addressing shall be mounted on all buildings so as to be visible from the drive aisles and walkways internal to the site, and each such address, or an encompassing range of addresses, shall be displayed on monument signs visible from each site entrance from all approaching directions.

C. Numerals shall be no less than 6 inches in height if located less than 100 feet from the center line of the addressed street, or 12 inches in height if placed further than 100 feet from the center line of the

addressed street. The numerals shall be in a Sans Serif font with a stroke weight of medium to bold, or an approved equivalent font which is clearly legible, and illuminated during the hours of darkness with a minimum of 2 foot-candles of light on the numerals, using a light source provided with an uninterruptible A.C. power source or controlled only by a photoelectric device, which may be the common area site lighting.

D. The rear swinging doors of all buildings shall have address numbers not less than 6 inches in height, using a Sans Serif font with a stroke weight of medium to bold, or an approved equivalent font which is clearly legible, and be of a color contrasting to the background to which they are affixed.

- 1. Buildings with a single street address and rear building frontage of 300 feet or less, at least one rear door, nearest to the center, is required to have an address sign.
2. Buildings with a rear building frontage greater than 300 feet, but less than 600 feet, at least two rear doors are required to have an address sign, located at the first door at each end of the building.
3. Buildings with a rear building frontage greater than 600 feet, at least three rear doors are required to have an address sign, located at the first door at each end of the building and at a middle door.

E. For sites having multiple buildings for which addressing mounted on building is not clearly visible from the street, or for which drive aisles diverge from a site entrance in a manner such that the direct route to each building is not obvious, vehicle directional signs shall be provided.

F. Buildings, except parking structures, with a total square footage of at least 10,000 square feet shall have rooftop numbers placed parallel to the addressed street, screened from public view and only visible from the air.

Exceptions: 1. For buildings having white roofing, black lettering shall be used in lieu of white lettering.

2. Buildings providing addressing for a helipad as specified in the California Building Code. [Ref. plans, elevations, and applicable notes and/or details or note: This provision is not applicable.]

G. For sites having more than three separately addressed buildings with a common area sidewalk connecting each building, and the primary building entrances are not visible from the street or parking lot, pedestrian directional signage shall be provided.

- H. A Wayfinding Plan shall be developed indicating the following:
a. Location and wording of directional signage for vehicles and pedestrians;
b. Location of building address numbers;
c. Landscaping details for areas near any signage or address numbers, including elevation showing trees near exterior address numbers;
d. Required lighting level on address numbers.

The plan shall include design drawings or exhibits that clearly illustrate the intent of the Wayfinding Plan. [Ref. plans, elevations, and applicable notes and/or details or note: This provision is not applicable.]

(*) STANDARDS FOR ELEVATOR [Ref. IMC Section 5-9-517]

Elevators shall be designed as follows:
A. Elevator cabs, the interiors of which are not completely visible when the door is open from a point centered on and 36 inches away from the door, shall have shatter resistant mirrors or other equally reflective material so placed as to make visible the entire elevator cab from this point.

B. Elevator emergency stop buttons shall be so installed and connected as to activate the elevator alarm when utilized.

(*) EMERGENCY ACCESS [Ref. IMC Section 5-9-519]

Private roads and parking areas or parking facilities when controlled by unmanned automated parking gates shall provide for police emergency access, at all individual gates, both ingress and egress, utilizing an approved radio controlled entry system and approved key switch device to be installed and designed as follows:

A. [P] The key switch control shall be installed at a height of 42 inches from finished driveway grade and a minimum of 15 feet from the entry/exit gate, and be located on the driver's side of the road or driveway.



BOULDER ASSOCIATES

300 SPECTRUM CENTER DR, SUITE 730 IRVINE, CALIFORNIA 92618 949.727.9000

00956257-PCRM (RELATED TO 00949337-CT1)

PROJECT 236288.00

EASTERSEALS SOUTHERN CALIFORNIA AUTISM CENTER OF EXCELLENCE

1063 McGaw Ave, Irvine, CA 92614

CUP MODIFICATION - ADMINISTRATIVE RELIEF

DATE REVISIONS

Table with columns: REVISIONS, DESCRIPTION, DATE



SHEET TITLE CITY OF IRVINE NON-RESIDENTIAL SECURITY CODE

SHEET NUMBER T0.02



STANDARD NOTES NON-RESIDENTIAL CONSTRUCTION 2022 CALIFORNIA GREEN BUILDING STANDARDS (4.1)

Effective July 1, 2024

Applies to Newly Constructed Non-residential Buildings and associated site development, initial tenant improvements regardless of valuation, and any subsequent addition of 1,000 square feet or more, or tenant improvement having a valuation of \$200,000 and associated site development.

INSTRUCTIONS: Designer to place an "X" preceding each applicable section and complete the notes or indicate "N/A" if not applicable. Building plan check shall be responsible for verification except for those items preceded by a [P] which will be verified by Planning.

STANDARDS

BICYCLE PARKING CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC) Section 5.106.4

[E] Short term bicycle parking applies to new or existing facilities if the project is expected to generate visitor traffic and adds 10 or more vehicular parking spaces.

Check the appropriate box and provide complete input for each selection as applicable:

N/A [P] Short-term bicycle parking (bicycle racks) are provided to accommodate anticipated visitor traffic. The total number provided is: _____ . These racks are located within 200 feet of the visitor's entrance as depicted on plan sheet: _____ .

[E] Long term bicycle parking applies to new shell buildings, and to existing facilities if the project adds 10 or more vehicular parking spaces.

N/A This project will accommodate over 10 tenant-occupants, therefore long term bicycle parking is provided. The total number (minimum one) provided equal to 5% of vehicular parking spaces: _____ . The method(s) selected to satisfy this requirement is (are):

N/A Covered, lockable enclosures with permanently anchored racks for bicycles, the total number provided is: _____ , see plan sheet: _____ .

N/A Lockable bicycle rooms with permanently anchored racks, the total number provided is: _____ , see plan sheet: _____ .

N/A Lockable, permanently anchored bicycle lockers, the total number provided is: _____ , see plan sheet: _____ .

ELECTRIC VEHICLE (EV) CHARGING (CGBSC 5.106.5.3)

[E] The following applies to this project:

N/A New construction where the total number of parking spaces is 10 or more.

N/A Addition or alternation to existing parking facility being modified by one of the following:

N/A Increase in power supply to an electric service panel as part of a parking facility addition or alteration.

N/A New Photovoltaic system is installed covering existing parking spaces.

N/A Scope of work is triggered per CGBC section 301.3 and includes increase in power supply to an electric service panel.

EV Charging Space Calculation (CGBSC 5.106.5.3.3)

N/A Total parking spaces for the project or total parking spaces added/alternated is _____ , therefore pursuant to Table 5.106.5.3.1 a total of _____ EV charging space(s) and a total of _____ EV Capable space(s) are provided. See plan sheet: _____ .

N/A Project has parking spaces accessible by automated car parking system. This provision is not applicable.

N/A Project is an existing remote parking facility that do not have access to the building service panel. This provision is not applicable.

N/A Project is for an existing parking area lighting upgrades with no trenching. This provision is not applicable.

1. EV Capable Spaces:

- A parking stall width of 108 inches and a length as required by the City of Irvine Zoning Code.
A listed raceway not less than 1 inch diameter to accommodate a future dedicated 208/240-volt branch circuit originating at the main service or subpanel, and terminating in a listed cabinet, box, or other enclosure in close proximity to the proposed EV capable space.

2. Electric Vehicle Charging Stations (EVCS):

- EVCS can be any combination of Level 2 and Direct Current Fast Charging (DCFC), except that at least one Level 2 charger shall be provided.
One EV charger with multiple connectors capable of charging multiple EVs simultaneously shall be permitted if the electrical load capacity required for each EV capable space is accumulatively supplied to the EV charger.

Electric Vehicle (EV) Charging: Medium-Duty and Heavy-Duty (CGBSC 5.106.5.4)

[N] The following is applicable to construction of new warehouses, grocery stores, office buildings, manufacturing facilities, and retail stores with planned off-street loading spaces.

N/A EV supply and distribution equipment, spare raceway(s) or busway(s) and adequate capacity for transformer(s), service panel(s) or subpanel (s) for medium and heavy duty is provided. See _____ plan sheet.

LIGHT POLLUTION REDUCTION [N](CGBSC Section 5.106.8)

N/A [P] Outdoor lighting designed to comply with the City of Irvine Security Code, Section 3-16-1 of the City of Irvine Zoning Code, which requires all direct rays to be confined to the site and that adjacent properties are protected from glare, and allowable BUG rating limitations of CGBSC Table 5.106.8 are depicted on plan sheet: _____ along with photometrics.

Refer to CGBSC Section 5.106.8.1 and 5.106.8.2 for facing requirements and more stringent backlight and glare ratings for luminaries located in proximity to property lines.

Completed and signed Basis of Design (BOD) including all items as specified in CGBSC section 5.410.2.2, see sheet: _____ .

Completed and signed Commissioning Plan, as specified in CGBSC section 5.410.2.3, see sheet: _____ .

CONSTRUCTION - PRIOR TO FINAL INSPECTION APPROVAL

A completed Commissioning Report shall be provided to the City Inspector prior to final inspection approval. Contents, pursuant to CGBSC Section 5.410.2.6, shall include a description of the commissioning process activities undertaken through the design, construction, and reporting recommendations for post construction phases.

A completed Systems Manual shall be made available for review by the City Inspector prior to final inspection approval. Contents shall include a completed and signed "Systems Manual" as specified in CGBSC section 5.410.2.5.1.

X TESTING AND ADJUSTING For buildings not exceeding 10,000 square feet, [E] and any new system serving an addition of 1,000 or more square feet or a tenant improvement having a valuation of \$200,000, testing and adjusting are required.

DESIGN

See sheet G0_11 for procedures for testing and adjusting systems, which includes:

- HVAC systems and controls
HVAC balancing per the Testing Adjusting and Balancing Bureau National Standards; the National Environmental Balancing Bureau Procedural Standards; or Associated Air Balance Council National Standards or approved equal.
Indoor and outdoor lighting and controls

CONSTRUCTION - PRIOR TO FINAL INSPECTION APPROVAL

Completed testing, adjusting, and balancing reports shall be provided to the City Inspector prior to final inspection approval. Contents shall match those specified in the procedures section above and be signed by the responsible parties.

ENVIRONMENTAL QUALITY

N/A FIREPLACES Wood burning devices including fireplaces are not permitted under SCAQMD Rule 445. Any installed gas fireplace shall be a direct-vent sealed-combustion type. (CGBSC Section 5.503)

MECHANICAL EQUIPMENT AND DUCT PROTECTION

To reduce the amount of dust, water, and debris collected in mechanical equipment and ducts, all duct openings and other related air distribution equipment component openings shall be covered from the time of delivery at the jobsite through the construction until final start up. (CGBSC Section 5.504.3)

FINISH MATERIAL POLLUTANT CONTROL

- Adhesives, sealants and caulks shall meet the applicable standards of CGBSC Section 5.504.4.1 and Tables 5.504.4.1 and 5.504.4.2 for VOC limits and content prohibitions.
Paints and coatings shall meet the applicable standards of CGBSC Section 504.4.3 and Table 5.504.4.3 for VOC limits.

WATER EFFICIENCY AND CONSERVATION (CGBSC Section 5.303)

Separate Submeters or metering devices

Applicable to new buildings exceeding 50,000 square feet and [E] additions of 50,000 square feet or more made to existing buildings, and to any tenant of a new building or addition, regardless of size, which is projected to consume more than 1,000 gallons/day CGBSC Sections 5.303.1 and 5.303.1.2.

N/A A separate meter or metering device is provided for the following spaces: _____ . See plan sheet: _____ for details and specifications defining metering design.

N/A This project consists of a single tenant building with a dedicated meter.

N/A Separate meters or metering devices are not required as the new building or addition is less than 50,000 square feet, and no tenant usage is projected to exceed 1,000 gallons/day.

N/A Separate meters or metering devices are not required as no tenant usage is projected to consume more than 100 gallons/day.

NOTES: (1) Tenants of new multi-tenant buildings or additions exceeding 50,000 square feet and that are not provided with a separate metering device must be shown to use less than 100 gallons/day via worksheet WS-1 found in chapter 8 of the CGBSC and any necessary addendum worksheet to reflect process water or other uses not represented on the worksheet. (2) For new buildings or additions having a total floor area less than 50,000 square feet, all its spaces not having a separate metering device must be shown to have a projected consumption of less than 1,000 gallons/day via worksheet WS-1 found in chapter 8 of the CGBSC and any necessary addendum worksheet to reflect process water or other uses not represented on the worksheet.

INDOOR WATER USE (CGBSC 5.303.3)

[E] Applicable to any newly installed plumbing fixture within new construction, the area of remodel or addition.

X All new plumbing fixtures meet the requirements of CGBSC Section 5.303.3, see modified table below for flow rates.

TABLE FIXTURE FLOW RATES

Table with 2 columns: FIXTURE TYPES and MAXIMUM FLOW RATE. Rows include SHOWERHEADS (1.8 gpm @ 80 psi), LAVATORY FAUCETS (0.5 gpm @ 60 psi), KITCHEN FAUCETS (1.8 gpm @ 60 psi*), WASH FOUNTAIN (1.8[rin space (in.)/20 gpm @ 60 psi], etc.

*Includes single and dual flush water closets with an effective flush rate of 1.28 gallons or less: Dual flush toilets—The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is defined as the composite, average flush volume of two reduced flushes and one full flush.

When a pre-rinse spray valve is installed, it shall meet requirements in the California Code of Regulations, Title 20, Section 1605.1(h)(4) Table H-2, Section 1605.3(h)(4)(A), and Section 1607(d)(7), and shall be equipped with an integral automatic shutoff.

NOTE: The combined flow of multiple showerheads serving a single shower shall not exceed maximum allowable flow rate for a single fixture shower or the control valves shall be arranged to only allow one shower head to operate at a time.

OUTDOOR WATER USE- MWEO (CGBSC Section 5.304)

X This project is subject to MWEO requirements. See plan sheet: L3_0 for completed City of Irvine Model Water Efficiency Landscape Ordinance work sheet, Form 40-81.

WATER RESISTANCE AND MOISTURE MANAGEMENT (CGBSC Section 5.407)

[E] Applicable to any new entry or opening which is part of an addition of 1,000 or more square feet or any tenant improvement having a valuation of \$200,000 or more.

ENTRIES

To prevent water intrusion into exterior entries and/or openings subject to foot traffic or wind-driven rain, the following features have been incorporated into the design for primary exterior entries:

X Door is protected by an awning or roof overhang 4 feet or more in depth, or is recessed 4 feet or more, see plan sheet: A1_10 .

X Flashings integrated with a drainage plane, see plan sheet: 5/ A8_2 .

X Non-absorbent floor and wall finishes within at least 2 feet around and perpendicular to such openings, see plan sheet: A2_32C .

MATERIAL CONSERVATION AND RESOURCE EFFICIENCY - CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING (CGBSC Section 5.408)

Recycling of materials for new construction, additions, and remodels shall conform to the Construction and Demolition Materials Recycling Requirements of the City of Irvine Municipal Code, Sections 6-7-901 through 6-7-912.

LIFE CYCLE ASSESSMENT (CGBC Section 5.409)

[E] Applicable to newly constructed building with floor area of 100,000 square feet or greater or additions/alterations of existing buildings where the combined altered or added floor area is 100,000 square feet or greater. Shall comply with one of the following:

N/A Building reuse analysis for existing buildings (CGBSC 5.105.2). See sheet _____ for compliance summary.

N/A Whole Building life cycle assessment (CGB 5409.2). See sheet _____ for summary of the Global Warming Potential (GWP) analysis.

N/A Prescriptive path - Product GWP compliance (CGBSC 5.409.3). See sheet _____ for compliance summary.

BUILDING MAINTENANCE AND OPERATION (CGBSC Section 5.410)

RECYCLING BY OCCUPANTS

[E] Applicable to an addition that adds 1,000 square feet or more or has a valuation of \$200,000, that also increases total floor area by at least 30% of existing floor area.

N/A [P] Designated recycling areas shall be provided as required by City of Irvine Zoning Ordinance (ZO) Sections 3-23-1 through 3-23-4 of the . See plan sheet: _____ .

N/A [N] COMMISSIONING Building Commissioning is only required for new buildings or initial tenant improvements greater than 10,000 square feet. (Exceptions: Unconditioned warehouses of any size, conditioned areas less than 10,000 square feet and accessory to unconditioned warehouses, open parking garages, open parking garage areas associated with a larger structure.)

DESIGN

- Completed and signed Owner's Project Requirements (OPR) including all items as specified in CGBSC section 5.410.2.1, see sheet: _____ .

- Aerosol paints and coatings shall meet the applicable standards of CGBSC Section 5.504.4.3.1.
Carpet systems shall meet the applicable standards of CGBSC Section 5.504.4.4 including CGBSC Section 5.504.4.4.1 for carpet cushions and CGBSC Section 5.504.4.4.2 for carpet adhesives.
Resilient flooring shall meet the applicable standards of CGBSC Section 5.504.4.6.
Composite wood products shall meet the applicable standards of CGBSC Section 5.504.4.5 and Table 5.504.4.5.

ENVIRONMENTAL TOBACCO SMOKE CONTROL (CGBSC Section 5.504.7)

X See plan sheet A1_10 for designated outdoor smoking area which shows a minimum of 25 feet from building entries, outdoor ventilation intakes, and operable windows.

FILTERS (CGBSC Section 5.504.5.3)

N/A Ventilation filtration (CGBSC Section 5.504.5.3) - For new HVAC systems outside and return air shall pass through filtration media having a rating of:

N/A MERV 13 or better, see plan sheet _____ for specifications.

X Equipment is existing and exempt from this requirement.

ENVIRONMENTAL COMFORT (CGBSC Section 5.507)

Exterior Noise Wall and roof assemblies making up the building envelope and exposed to the noise source as follows shall meet a composite STC rating of 50 or a composite OITC rating of 40, and exterior windows within said walls shall meet an STC of 40 or an OITC of 30.

Prescriptive Method (Using Sound Transmission Class (STC) Map - 2012 from the City's online form directory.)

N/A 1. A portion or the entire building is within the 65 CNEL contour for a freeway or expressway therefore exterior wall assemblies and roof or roof-ceiling assemblies shall meet the specified exterior wall assemblies and roof or roof-ceiling assemblies requirements stated above. For details and specifications see plan sheets _____ .

N/A 2. A portion or the entire building is within the 65 CNEL contour for John Wayne Airport therefore exterior wall assemblies and roof or roof-ceiling assemblies shall meet the specified exterior wall assemblies and roof or roof-ceiling assemblies requirements stated above. For details and specifications see plan sheets _____ .

N/A 3. The project site fronts a street identified as producing 65 CNEL contours extending beyond the right of way therefore that portion of the building that is the contour shall meet the specified exterior wall assemblies and roof or roof-ceiling assemblies requirements stated above. For details and specifications see plan sheets _____ .

N/A This building is a factory, storage facility, utility building, enclosed parking structure, or stadium therefore no STC assemblies are required.

Performance Method

N/A Pursuant to CGBSC Section 5.507.4.2, site and building mitigations have been defined based on a noise study prepared by an acoustical engineer. For a summary of features see plan sheets _____ . For construction details see sheets _____ .

Prior to final inspection, an acoustical report shall be provided to the City Inspector which demonstrates complying interior noise sound levels. Said report shall be signed and stamped by an acoustical engineer.

Interior Sound

N/A Wall and floor-ceiling assemblies separating tenant spaces and tenant spaces and public places shall have an STC of at least 40. Note: Examples of assemblies and their various STC ratings may be found at the California Office of Noise Control at https://www.tsib.org/files/STC_IC_Ratings.pdf. For details and specifications see plan sheets _____ .

X No interior walls separate tenant spaces or occupant spaces and public areas.



BOULDER ASSOCIATES

300 SPECTRUM CENTER DR, SUITE 730 IRVINE, CALIFORNIA 92618 949.727.9000

00956257-PCRM (RELATED TO 00949337-CTT)

PROJECT 236288.00

EASTERSEALS SOUTHERN CALIFORNIA AUTISM CENTER OF EXCELLENCE

1063 McGaw Ave, Irvine, CA 92614

CUP MODIFICATION - ADMINISTRATIVE RELIEF

DATE REVISIONS DESCRIPTION DATE



SHEET TITLE CITY OF IRVINE NON-RESIDENTIAL GREEN BLDG. CODE

SHEET NUMBER T0.03



BOULDER ASSOCIATES
 300 SPECTRUM CENTER DR, SUITE 730
 IRVINE, CALIFORNIA 92618
 949.727.9000

00956257-PCRM
 (RELATED TO 00949337-CT1)

PROJECT 236288.00

**EASTERSEALS
 SOUTHERN
 CALIFORNIA
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 OF EXCELLENCE**

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**CUP MODIFICATION -
 ADMINISTRATIVE
 RELIEF**

DATE
 REVISIONS

REVISIONS	DESCRIPTION	DATE
PC1	PLANCHECK RESPONSE	06/11/2025

ORANGE COUNTY FIRE AUTHORITY



ARCHITECTURAL PLANS

<INSERT LOCATION MAP THAT
 INCLUDES MAJOR CROSS
 STREETS PROVIDING SITE
 ACCESS>

VICINITY MAP

OCFA STAMP

OCFA STANDARD ARCHITECTURAL NOTES

PROJECT INFORMATION REQUIREMENTS
 PROJECT LOCATION: 1063 MCGAW AVE, IRVINE, CA 92614
 LEGAL DESCRIPTION FOR NEW TRACTS: NA
 BUILDING DEPARTMENT HAVING JURISDICTION: IRVINE

DETAILED SCOPE OF WORK
 NOTE: OCFA WILL ONLY REVIEW WORK OUTLINED IN SCOPE OF WORK
 PR CODE(S): PR224, PR922
 RENOVATION OF APPROXIMATELY 22,000 S.F. OF EXISTING PROFESSIONAL OFFICES SPACE FOR USE TO SUPPORT
 NEW AUTISM TREATMENT SERVICES.

FLOOR AREAS(S)
 FIRST FLOOR AREA IN SCOPE: 7,003 SF
 SECOND FLOOR AREA IN SCOPE: 17,781 SF

SPECIAL CONDITIONS
 FIRE HAZARD SEVERITY ZONE STATE RESPONSE AREA LOCAL RESPONSE AREA
 STATE LICENSED FACILITY
 AMEM REQUESTED APPROVED SR:
 METHANE MITIGATION

NUMBER OF STORIES 2
BUILDING HEIGHT 30'-0"

OCCUPANCY TYPE (CHECK ALL THAT APPLY)
 * INDICATES SFM REGULATED OCCUPANCY. OCFA PLAN SUBMITTAL REQUIRED
 # GROUP S MOTOR VEHICLE REPAIR AND AIRCRAFT REPAIR REQUIRE OCFA PLAN SUBMITTAL
 GROUP A1* GROUP A2* GROUP A3* GROUP A4* GROUP A5*
 GROUP B GROUP E* GROUP F1 GROUP F2 GROUP H1*
 GROUP H2* GROUP H3* GROUP H4* GROUP H5* GROUP I1*
 GROUP I2* GROUP I3* GROUP I4* GROUP M GROUP R1*
 GROUP R2* GROUP R2.1 GROUP R2.2 GROUP R3 GROUP R3.1
 GROUP R4* GROUP S1# GROUP S2# GROUP U

TYPE OF CONSTRUCTION
 TYPE IA TYPE IB
 TYPE IIA TYPE IIB
 TYPE IIIA TYPE IIIB
 TYPE IV TYPE VA TYPE VB

MIXED USE AND OCCUPANCY (PER CBC 508 & 509)
 ACCESSORY OCCUPANCIES (CBC 508.2)
 (ACCESSORY OCCUPANCY < 10% OF STORY)
 INCIDENTAL USES (CBC 509)
 NONSEPARATED OCCUPANCIES (CBC 508.3)
 SEPARATED OCCUPANCIES (CBC 508.4)

SPECIAL DETAILED REQUIREMENTS
 HIGH RISE (CBC 403)
 ATRIUM (CBC 404)
 OPEN PARKING GARAGE (CBC 406.5)
 GROUP I2 (CBC 407) SMOKE COMPARTMENTS REFUGE AREAS
 HAZARDOUS MATERIALS (CBC 414, CFC CHAPTER 50)
 FIRE PARTITION WALLS RATING:RATING?
 FIRE BARRIER WALLS RATING:RATING?
 FIRE WALL RATING:RATING?
 SMOKE BARRIER WALLS

SPRINKLERS
 NEW MANDATORY VOLUNTARY
 TENANT IMPROVEMENT

TYPE
 NFPA 13
 NFPA 130
 NFPA 13R
 FIRE PUMP
 STANDPIPES

FIRE FLOW REQUIREMENT PER OCFA GUIDELINE B-01 ATTACHMENT 23
 FLOW (N GPM @ 20 PSI): PRESSURE? DURATION: DURATION?

FIRE ALARM
 NEW MANDATORY VOLUNTARY
 TENANT IMPROVEMENT
 VOICE EVACUATION

SPECIAL EGRESS DEVICES
 DELAYED EGRESS
 CARD READERS
 SENSOR RELEASED DOOR HARDWARE
 ELEVATOR LOBBY ACCESS CONTROL

EMERGENCY RESPONDER RADIO COVERAGE (BDA)
 THIS BUILDING SHALL BE EQUIPPED WITH AN EMERGENCY RESPONDER DIGITAL RADIO SYSTEM PER THE REQUIREMENTS OF THE ORANGE COUNTY SHERIFF'S DEPARTMENT-COMMUNICATIONS & TECHNOLOGY DIVISION. FOR THE INITIAL SUBMITTAL, OCS/COMM REQUIRES THE ERRCS/BDA/DAS SYSTEM DESIGNER TO PROVIDE THE FOLLOWING FOR PRE-EVALUATION: A. PROJECT NAME, B. SITE ADDRESS, C. PROJECT DESCRIPTION, D. CONTRACTOR CONTACT INFORMATION, E. BDA MODEL (S/N IF AVAILABLE), F. PROPOSED MODE OF OPERATION (CLASS A/B), G. PROPOSED PROJECT TIMELINE. THIS INFORMATION IS TO BE SUBMITTED BY THE DESIGNER VIA EMAIL TO ERRCS@OCS.DOC AND BDACERT@OCFA.OCF, CFC 510

INSPECTIONS
 1. OCFA FINAL INSPECTION REQUIRED. PLEASE SCHEDULE ALL FIELD INSPECTIONS AT LEAST 48 HOURS IN ADVANCE. INSPECTIONS CANCELED AFTER 1 P.M. ON THE DAY BEFORE THE SCHEDULED DATE. WILL BE SUBJECT TO A REINSPECTION FEE. PHASING OF INSPECTIONS MAY REQUIRE ADDITIONAL FEES. ALSO, CALL OCFA INSPECTION SCHEDULING AT 714.973-9155.
 2. BUILDINGS UNDER CONSTRUCTION OR DEMOLITION SHALL CONFORM TO CFC CHAPTER 33. NO SMOKING OR COOKING IS ALLOWED IN STRUCTURES WHERE COMBUSTIBLE MATERIALS ARE EXPOSED OR WITHIN 25' OF COMBUSTIBLE MATERIALS STORAGE AREAS. CUTTING, WELDING, OR OTHER HOT WORK SHALL BE IN CONFORMANCE WITH CFC CHAPTER 35.
 3. IN BUILDINGS FOUR OR MORE STOREYS IN HEIGHT, STANDPIPES SHALL BE PROVIDED DURING CONSTRUCTION WHEN THE HEIGHT REACHES 40 FEET ABOVE THE LOWEST POINT OF FIRE DEPARTMENT ACCESS. A FIRE DEPARTMENT CONNECTION SHALL BE NO MORE THAN 100 FEET FROM AVAILABLE FIRE DEPARTMENT VEHICLE ACCESS ROADWAYS. A HYDRANT SHALL BE LOCATED ALONG THE ACCESS ROADWAY WITHIN 150 FEET OF THE LOCATION(S) THAT THE FDC CAN BE ACCESSED FROM. CFC 3310, 3313
 4. ADDRESS NUMBERS SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS, BE A MINIMUM OF FOUR INCHES HIGH FOR INDIVIDUAL DWELLING UNITS AND SIX INCHES HIGH FOR ALL OTHER INSTALLATIONS AND STRUCTURES, CONTRAST WITH THEIR BACKGROUND, AND BE PLAINLY VISIBLE FROM THE ROADWAY THE BUILDING IS ADJACENT TO. TEMPORARY ADDRESS NUMBERS SHALL BE PROVIDED ON CONSTRUCTION FENCING OR THE BUILDING UNTIL PERMANENT NUMBERS CAN BE PROVIDED. CBC 501.2, CFC 505.1
 5. LOCATIONS AND CLASSIFICATIONS OF EXTINGUISHERS SHALL BE IN ACCORDANCE WITH CFC 508 AND CCR TITLE 19. AT LEAST ONE EXTINGUISHER SHALL BE PROVIDED DURING CONSTRUCTION ON EACH FLOOR AT EACH STAIRWAY, IN EACH STORAGE AND CONSTRUCTION SPED, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED, OR WHERE SIMILAR HAZARDS ARE PRESENT PER CFC 3315.1. BEFORE FINAL OCCUPANCY, AT LEAST ONE 2A:10BC EXTINGUISHER SHALL BE PROVIDED SO THAT NO POINT IS MORE THAN 75' TRAVEL DISTANCE FROM THE EXTINGUISHER. EXTINGUISHERS SHALL BE LOCATED ALONG THE PATH OF EGRESS TRAVEL AND IN A READILY VISIBLE AND ACCESSIBLE LOCATION, WITH THE BOTTOM OF THE EXTINGUISHER AT LEAST 4" ABOVE THE FLOOR. ADDITIONAL EXTINGUISHERS MAY BE REQUIRED BY OCFA INSPECTORS DEPENDING ON PROJECT OR SITE CONDITIONS AND FINAL PLACEMENT IS SUBJECT TO THEIR APPROVAL.
 6. WALL, FLOOR AND CEILING FINISHES AND MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS IN CBC TABLE 603.11. DECORATIVE MATERIALS SHALL BE PROPERLY TREATED BY A PRODUCT OR PROCESS APPROVED BY THE STATE FIRE MARSHAL WITH APPROPRIATE DOCUMENTATION PROVIDED TO THE OCFA. SUCH ITEMS SHALL BE APPROVED AND INSPECTED BY THE OCFA PRIOR TO INSTALLATION.
 7. KNOX BOXES/KEY CABINETS SHALL BE PROVIDED FOR ALL HIGH-RISE BUILDINGS, POOL ENCLOSURES, GATES IN THE PATH OF FIREFIGHTER TRAVEL TO STRUCTURES, SECURED PARKING LEVELS, DOORS GIVING ACCESS TO ALARM PANELS AND/OR ANNUNCIATORS, AND ANY OTHER STRUCTURES OR AREAS WHERE IMMEDIATE ACCESS IS REQUIRED OR IS UNUSUALLY DIFFICULT. AN OCFA INSPECTOR CAN ASSIST WITH LOCKING GATE KEYS IN KNOX BOXES. CONTACT YOUR LOCAL FIRE STATION TO ARRANGE AN APPOINTMENT TO SECURE MASTER BUILDING KEYS IN THE KNOX BOX.
 8. APPROVAL OF THESE PLANS SHALL NOT PERMIT THE VIOLATION OF ANY CODE OR LAW. REQUIREMENTS OR FEATURES NOT IDENTIFIED ON THE PLAN MAY APPLY AND OCFA INSPECTORS MAY REQUIRE ADDITIONAL INFORMATION OR ITEMS FROM THOSE SHOWN ON THE PLAN DEPENDING ON ACTUAL OR ANTICIPATED FIELD CONDITIONS. SUCH CHANGES MAY NECESSITATE SUBMITTAL OF REVISED OR AS-BUILT PLANS TO THE OCFA AND THE CITY/COUNTY WHERE THE PROJECT IS LOCATED.

GENERAL REQUIREMENTS
 9. THE PROJECT SHALL COMPLY WITH 2022 CALIFORNIA BUILDING CODE, 2022 CALIFORNIA FIRE CODE, AND OTHER CURRENTLY ADOPTED CODES, STANDARDS, REGULATIONS AND REQUIREMENTS AS ENFORCED BY THE ORANGE COUNTY FIRE AUTHORITY.
 10. APPROVAL OF THIS PLAN IS CONTINGENT UPON A CERTIFICATE OF OCCUPANCY BEING ISSUED UPON COMPLETION OF ALL CONSTRUCTION ON THE ENTIRE PROJECT. PHASED OCCUPANCY SHALL BE PERMITTED ONLY WITH PRIOR APPROVAL FROM OCFA AND THE BUILDING OFFICIAL. REQUESTS FOR PHASED OCCUPANCY SHALL BE SUBMITTED TO OCFA FOR EVALUATION AS AN ALTERNATE MATERIALS AND METHODS PROPOSAL ACCOMPANYING THE ARCHITECTURAL SUBMITTAL. SUCH REQUESTS SHALL BE MADE PRIOR TO START OF CONSTRUCTION ONLY.
 11. DUMPSTERS AND TRASH CONTAINERS EXCEEDING 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVE LINES UNLESS PROTECTED BY AN APPROVED SPRINKLER SYSTEM OR LOCATED IN A TYPE I OR IIA STRUCTURE SEPARATED BY 10 FEET FROM OTHER STRUCTURES. CONTAINERS LARGER THAN 1 CUBIC YARD SHALL BE OF NON-OR LIMITED-COMBUSTIBLE MATERIALS OR SIMILARLY PROTECTED. CFC 304.3
 12. EXITS, EXIT SIGNS, FIRE ALARM PANELS, HOSE CABINETS, FIRE EXTINGUISHER LOCATIONS, AND STANDPIPE CONNECTIONS SHALL NOT BE CONCEALED BY CURTAINS, MIRRORS, OR OTHER DECORATIVE MATERIAL.
 13. THE EGRESS PATH SHALL REMAIN FREE AND CLEAR OF ALL OBSTRUCTIONS AT ALL TIMES. NO STORAGE IS PERMITTED IN AISLES.
 14. EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. DOORS SHALL NOT BE PROVIDED WITH THUMB-TURN LOCKS OR DEADBOLTS THAT DO NOT UNLATCH IN TANDEN WITH THE NORMAL OPERATING LEVER. THE OPENING FORCE FOR INTERIOR DOORS WITHOUT CLOSERS SHALL NOT EXCEED 5 POUNDS. THE UNLATCHING AND OPENING FORCE FOR OTHER DOORS SHALL BE CLEARLY IDENTIFIED WITH EXIT SIGNS CONFORMING TO CBC 101.3. ILLUMINATED EXIT SIGNS MUST HAVE 90-MINUTE EMERGENCY POWER BACK-UP.
 15. TACTILE SIGNS SHALL BE PROVIDED IN COMMERCIAL BUILDINGS, PUBLIC BUILDINGS/ACCOMMODATIONS, AND PUBLICLY FUNDED HOUSING SUBJECT TO CBC CHAPTERS 11A AND B AND CONFORM TO 11A3A OR 11B-703.1, -703.2, -703.3, AND 703.5. BE MOUNTED WITH THE BOTTOM OF THE HIGHEST LINE OF BRAILLE CHARACTERS AT LEAST 4 FEET ABOVE THE FLOOR BUT THE BOTTOM OF THE RAISED LINE OF RAISED TEXT CHARACTERS NO MORE THAN 5 FEET ABOVE THE FLOOR AND, WHENEVER POSSIBLE, ON THE STRIKE SIDE OF THE DOOR. LETTERING SHALL BE BETWEEN 5/8" AND 2" HIGH. CBC 101.4.

ALLOWABLE HEIGHT AND AREA ANALYSIS PER CBC SECTION 503:
 UNLIMITED

APPLICABLE CODES
 2022 CALIFORNIA FIRE CODE
 2022 CALIFORNIA BUILDING CODE
 2022 CALIFORNIA RESIDENTIAL CODE
 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
 2022 CALIFORNIA MECHANICAL CODE
 2022 CALIFORNIA ELECTRICAL CODE
 2022 CALIFORNIA PLUMBING CODE
 2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS
 APPLICABLE NFPA STANDARDS
 LOCALLY ADOPTED ORDINANCES CITY/INSERT CITY
 OCFA GUIDELINES
 CONDITIONS OF APPROVAL CITY: IRVINE

DEFERRED SUBMITTALS
 THIS PROJECT HAS BEEN PERMITTED WITHOUT REVIEW AND/OR APPROVAL OF THE FOLLOWING DEFERRED SUBMITTALS. PLANS APPROVED BY OCFA SHALL BE OBTAINED FOR EACH DEFERRED ITEM LISTED BELOW PRIOR TO COMMENCING ANY WORK WITHIN THE SCOPE OF SUCH DEFERRAL. DEFERRALS MUST BE REVIEWED AND ACCEPTED BY THE ARCHITECT OR ENGINEER OF RECORD PRIOR TO SUBMITTING FOR REVIEW WITH OCFA. PORTIONS OF THE PROJECT THAT ARE DEFERRED SHALL BE SUBJECT TO THE CODES, STANDARDS, AND OTHER APPLICABLE REQUIREMENTS IN FORCE ON THE DATE THAT THE DEFERRED PLAN IS SUBMITTED TO OCFA.
 HIGH PILED COMBUSTIBLE STORAGE
 CHEMICAL USE AND/OR STORAGE
 FUEL TANK (FOR GENERATOR, IF OVER 60 GALLONS)
 BATTERY/ENERGY STORAGE SYSTEM
 UNDERGROUND SYSTEM SERVING SPRINKLERS, STANDPIPES, AND/OR PRIVATE HYDRANTS
 SPRINKLER SYSTEM
 STANDPIPE SYSTEM
 FIRE PUMP
 HOOD AND DUCT EXTINGUISHING SYSTEM
 ALARM SYSTEM

HAZARDOUS MATERIALS, EQUIPMENT, AND PROCESSES
 25. AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE PROVIDED THROUGHOUT THE BUILDING IN COMPLIANCE WITH CFC 903 AND THE APPLICABLE 2022 NFPA SPRINKLER STANDARD. REVIEW AND APPROVAL OF A SPRINKLER PLAN IS REQUIRED PRIOR TO INSTALLATION OR MODIFICATION.
 26. AN AUTOMATIC EXTINGUISHING SYSTEM SHALL BE PROVIDED TO PROTECT COMMERCIAL-TYPE FOOD HEATING EQUIPMENT THAT PRODUCES GREASE-LOADED VAPORS AND SHALL COMPLY WITH 2022 CFC AND CFC AND 2017 NFPA 17A. REVIEW AND APPROVAL OF A HOOD AND DUCT EXTINGUISHING SYSTEM PLAN IS REQUIRED PRIOR TO INSTALLATION OR USE OF COOKING EQUIPMENT.
 27. A FIRE ALARM SYSTEM SHALL BE PROVIDED IN COMPLIANCE WITH CBC/CFC 907 AND 2022 NFPA 72. A SEPARATE PLAN SUBMITTAL IS REQUIRED FOR APPROVAL PRIOR TO INSTALLATION OR MODIFICATION.
 28. AUTOMATIC FIRE SPRINKLER SYSTEM(S) AND ALL CONTROL VALVES, WITH THE EXCEPTION OF THOSE LISTED IN CFC 903.4, SHALL BE MONITORED BY A UL LISTED CENTRAL ALARM STATION.

HAZARDOUS MATERIALS, EQUIPMENT, AND PROCESSES
 29. STORAGE, DISPENSING, OR USE OF ANY HAZARDOUS MATERIALS SHALL COMPLY WITH CBC 414 AND 415 AND CFC REGULATIONS. THE STORAGE AND USE OF HAZARDOUS MATERIALS SHALL BE REVIEWED AND APPROVED BY THE OCFA PRIOR TO SUCH MATERIALS BEING BROUGHT ON SITE. APPROPRIATE HAZARDOUS MATERIALS WARNING SIGNS SHALL BE PROMINENTLY PLACED IN THE VICINITY/ENTRANCES TO AREAS WHERE HAZARDOUS MATERIALS ARE STORED IN QUANTITIES SUFFICIENT TO REQUIRE A CFC PERMIT.
 30. HAZARDOUS PROCESSES AND EQUIPMENT (E.G., STORAGE TANKS, REFRIGERATION, VAPOR RECOVERY, SPRAY BOOTH, AND DRYING ROOMS, DIP TANKS, INDUSTRIAL OVENS, DUST COLLECTION SYSTEMS, MEDICAL/INDUSTRIAL GAS SYSTEMS, ETO) SHALL BE REVIEWED AND APPROVED BY THE OCFA PRIOR TO INSTALLATION. SUCH EQUIPMENT AND PROCESSES MAY REQUIRE SPECIFIC BUILDING FEATURES AND PROTECTION BEYOND WHAT IS IDENTIFIED ON THIS PLAN.
 31. BATTERY SYSTEMS WITH MORE THAN 50 GALLONS OF ELECTROLYTE (AGGREGATE QUANTITY) REQUIRE REVIEW AND APPROVAL BY OCFA PRIOR TO INSTALLATION.
 32. HIGH-PILED COMBUSTIBLE STORAGE SHALL BE IN ACCORDANCE WITH CFC CHAPTER 32. HIGH HAZARD MATERIALS CANNOT BE STORED HIGHER THAN SIX FEET AND OTHER MATERIALS CANNOT BE STORED HIGHER THAN TWELVE FEET WITHOUT FIRST SUBMITTING PLANS TO AND OBTAINING APPROVAL FROM THE OCFA.

OTHER REQUIREMENTS
 33. AT LEAST ONE EMERGENCY ESCAPE AND RESCUE WINDOW SHALL BE PROVIDED FOR EVERY SLEEPING ROOM BELOW THE FOURTH STORY IN R OCCUPANCIES, EXCEPT IN R-1, R-2, R-3, R-4, R-5, R-6, R-7, R-8, R-9, R-10, R-11, R-12, R-13, R-14, R-15, R-16, R-17, R-18, R-19, R-20, R-21, R-22, R-23, R-24, R-25, R-26, R-27, R-28, R-29, R-30, R-31, R-32, R-33, R-34, R-35, R-36, R-37, R-38, R-39, R-40, R-41, R-42, R-43, R-44, R-45, R-46, R-47, R-48, R-49, R-50, R-51, R-52, R-53, R-54, R-55, R-56, R-57, R-58, R-59, R-60, R-61, R-62, R-63, R-64, R-65, R-66, R-67, R-68, R-69, R-70, R-71, R-72, R-73, R-74, R-75, R-76, R-77, R-78, R-79, R-80, R-81, R-82, R-83, R-84, R-85, R-86, R-87, R-88, R-89, R-90, R-91, R-92, R-93, R-94, R-95, R-96, R-97, R-98, R-99, R-100, R-101, R-102, R-103, R-104, R-105, R-106, R-107, R-108, R-109, R-110, R-111, R-112, R-113, R-114, R-115, R-116, R-117, R-118, R-119, R-120, R-121, R-122, R-123, R-124, R-125, R-126, R-127, R-128, R-129, R-130, R-131, R-132, R-133, R-134, R-135, R-136, R-137, R-138, R-139, R-140, R-141, R-142, R-143, R-144, R-145, R-146, R-147, R-148, R-149, R-150, R-151, R-152, R-153, R-154, R-155, R-156, R-157, R-158, R-159, R-160, R-161, R-162, R-163, R-164, R-165, R-166, R-167, R-168, R-169, R-170, R-171, R-172, R-173, R-174, R-175, R-176, R-177, R-178, R-179, R-180, R-181, R-182, R-183, R-184, R-185, R-186, R-187, R-188, R-189, R-190, R-191, R-192, R-193, R-194, R-195, R-196, R-197, R-198, R-199, R-200, R-201, R-202, R-203, R-204, R-205, R-206, R-207, R-208, R-209, R-210, R-211, R-212, R-213, R-214, R-215, R-216, R-217, R-218, R-219, R-220, R-221, R-222, R-223, R-224, R-225, R-226, R-227, R-228, R-229, R-230, R-231, R-232, R-233, R-234, R-235, R-236, R-237, R-238, R-239, R-240, R-241, R-242, R-243, R-244, R-245, R-246, R-247, R-248, R-249, R-250, R-251, R-252, R-253, R-254, R-255, R-256, R-257, R-258, R-259, R-260, R-261, R-262, R-263, R-264, R-265, R-266, R-267, R-268, R-269, R-270, R-271, R-272, R-273, R-274, R-275, R-276, R-277, R-278, R-279, R-280, R-281, 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R-997, R-998, R-999, R-1000.

STAKEHOLDERS
 BUILDING DEPARTMENT: INSERT BUILDING OFFICIAL AND CITY

PROJECT DIRECTORY
 ARCHITECT: _____
 BUSINESS NAME: BOULDER ASSOCIATES
 CONTACT NAME: DARCI HERNANDEZ
 ADDRESS: 300 SPECTRUM CENTER DR., SUITE 730
 CITY: IRVINE STATE: CA ZIP: 92618
 PHONE: 949-727-9000
 EMAIL: DHERNANDEZ@BOULDERASSOCIATES.COM

PROPERTY OWNER
 BUSINESS NAME: EASTER SEALS SOUTHERN CALIFORNIA
 CONTACT NAME: _____

EASTERSEALS SOUTHERN CALIFORNIA AUTISM CENTER OF EXCELLENCE

CUP MODIFICATION - ADMINISTRATIVE RELIEF

PROJECT DIRECTORY

OWNER
EASTERSEALS SOUTHERN CALIFORNIA
1063 MCGAW AVE
IRVINE, CA 92614

ARCHITECT
BOULDER ASSOCIATES, INC.
DARCI HERNANDEZ, PRINCIPAL
300 SPECTRUM CENTER DR., SUITE 730
IRVINE, CA 92618
PHONE: 949-727-9000

ELECTRICAL ENGINEER
MA ENGINEERS
BRIAN HAHNLEN, PRINCIPAL
5160 CARROLL CANYON ROAD, SUITE 200
SAN DIEGO, CA 92121
PHONE: 858-200-0030

MECHANICAL & PLUMBING ENGINEER
POCOCK DESIGN SOLUTIONS
TIM POCOCK, PRINCIPAL
14451 CHAMBERS ROAD, SUITE 210
TUSTIN, CA 92780
PHONE: 949-417-3903

STRUCTURAL ENGINEER
RTM ENGINEERING CONSULTANTS
BENJAMIN PITTS
1 ADA, SUITE 100,
IRVINE, CA 92618
PHONE: 949-462-3200

CIVIL ENGINEER
RICK ENGINEERING
36 DISCOVERY, SUITE 240
IRVINE, CA 92618
PHONE: 949-588-0707 x 8118

LANDSCAPE CONSULTANT
RIDGE LANDSCAPE ARCHITECTS
8841 RESEARCH DR., SUITE 200
IRVINE, CA 92618
PHONE: 949-387-1323 x 23

PROJECT DATA

BUILDING ADDRESS: 1063 MCGAW AVE, IRVINE, CA 92614

PROJECT DESCRIPTION: RENOVATION/CONVERSION OF EXISTING OFFICE BUILDING TO INCREASE COMMUNITY FACILITY AREA USED FOR AUTISM THERAPY FROM 3,520 SF (APPROVED IN 2018 VIA 723409-PCPM), TO 17,375 SF MODIFICATION.

LAND USE BREAKDOWN ARE AS FOLLOWS:
EXISTING: 49,648 SF OFFICE + 3,520 SF COMMUNITY FACILITY + 480 SF WAREHOUSE = 53,648 SF TOTAL
PROPOSED: 35,793 SF OFFICE + 17,375 SF COMMUNITY FACILITY + 480 SF WAREHOUSE = 53,648 SF TOTAL

OCCUPANCY: B-OCCUPANCY

CONSTRUCTION TYPE: TYPE III-B, SPRINKLER

USE/OCCUPANCY/FLOOR AREA:

FLOOR AREA:	USE B OFFICE:	OFFICE:	WAREHOUSE:
FIRST FLOOR:	OFFICE: 27,334 SF	WAREHOUSE: 480 SF	
SECOND FLOOR:	OFFICE: 25,834 SF		
A - ASSEMBLY (ACCESSORY <10%) INCLUDED IN FIRST FLOOR OFFICE			

GROSS BUILDING AREA:

FLOOR AREA:	EXISTING
FIRST FLOOR	27,814 GSF
SECOND FLOOR	25,834 GSF
TOTAL	53,648 GSF

FLOOR TO FLOOR HEIGHTS: FIRST FLOOR: 16'-0"
SECOND FLOOR: 14'-0"

OSHPD: THIS PROJECT IS **NOT REQUIRED** TO FOLLOW OSHPD 3 CRITERIA.

HAZARDOUS MATERIALS: HAZARDOUS MATERIALS ARE NOT USED, STORED OR TRANSPORTED WITHIN THIS BUILDING IN QUANTITIES SUFFICIENT TO REQUIRE PROTECTION PER CBC CHAPTER 3.

APPLICABLE CODES: 2022 CALIFORNIA BUILDING CODE (CBC)
2022 CALIFORNIA MECHANICAL CODE (CMC)
2022 CALIFORNIA PLUMBING CODE (CPC)
2022 CALIFORNIA ELECTRICAL CODE (CEC)
2022 CALIFORNIA FIRE CODE (CFC)
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS

ALLOWABLE BUILDING AREA ANALYSIS

OCCUPANCY/USE AREA:	EXISTING	PROPOSED
FIRST FLOOR - B OCCUPANCY:	28,062 SF*	28,062 SF*
SECOND FLOOR - B OCCUPANCY:	25,742 SF	25,742 SF

* A OCCUPANCY (000 SF < 10%, ACCESSORY TO AND INCLUDED IN B-OCCUPANCY)
S-1 OCCUPANCY (480 SF < 10%, ACCESSORY TO AND INCLUDED IN B-OCCUPANCY)

ALLOWABLE BUILDING AREA (CBC TABLE 506.2):	ALLOWED	PROPOSED
FIRST FLOOR - B OCC, TYPE III B, SPRINKLER:	57,000 SF	28,062 SF
SECOND FLOOR - B OCC, TYPE III B, SPRINKLER:	57,000 SF	25,742 SF

PARKING ANALYSIS

CURRENT USE PARKING ANALYSIS

OFFICE USE:	AREA	REQ'D STALLS
ADMINISTRATIVE WORK SPACE (1 SPACE/250 SF)	49,648 SF	199
OFFICE USE: PROFESSIONAL WORK SPACE (1 SPACE/250 SF)	3,520 SF	14
WAREHOUSE USE: (1 SPACE/1,000 SF)	480 SF	1
TOTAL REQUIRED STALLS:		214
PROVIDED STALLS:		221

PROPOSED USE PARKING ANALYSIS

OFFICE USE:	AREA	REQ'D STALLS
ADMINISTRATIVE WORK SPACE (1 SPACE/250 SF)	35,793 SF	143
OFFICE USE: THERAPY SERVICES (1 SPACE/250 SF)	17,375 SF	70
WAREHOUSE USE: (1 SPACE/1,000 SF)	480 SF	1
TOTAL REQUIRED STALLS:		214
PROVIDED STALLS:		221

TREE SUMMARY

3 TREES REMOVED (SEE L6.1)

3 TREES (NATCHEZ WHITE CRAPE MYRTLE) ADDED (SEE L6.1)

SHEET INDEX

CUP MODIFICATION

- T0.01 CITY OF IRVINE COVER SHEET
- T0.02 CITY OF IRVINE NON-RESIDENTIAL SECURITY CODE
- T0.03 CITY OF IRVINE NON-RESIDENTIAL GREEN BLDG. CODE
- T0.04 ORANGE COUNTY FIRE AUTHORITY COVER SHEET
- G1.0 COVER SHEET AND ALLOWABLE BUILDING AREA ANALYSIS
- G2.0 EXISTING AND PROPOSED AREA CALCULATIONS
- G3.0 LIFE SAFETY PLAN - FIRST FLOOR
- G4.0 LIFE SAFETY PLAN - SECOND FLOOR
- A1.10 ARCHITECTURAL SITE PLAN
- A1.11 EXISTING SITE DETAILS
- A1.12 EXISTING PUBLIC RESTROOMS
- C.0.01 GRADING PLAN (FOR REFERENCE ONLY)
- L1.1 HARDSCAPE SCHEDULES & PLAN (FOR REFERENCE ONLY)
- L2.2 HARDSCAPE DETAILS (FOR REFERENCE ONLY)
- L6.1 PLANTING SCHEDULES AND PLANS (FOR REFERENCE ONLY)



BOULDER ASSOCIATES
300 SPECTRUM CENTER DR, SUITE 730
IRVINE, CALIFORNIA 92618
949.727.9000

00956257-PCPM
(RELATED TO 00949337-CT1)

PROJECT 236288.00

EASTERSEALS SOUTHERN CALIFORNIA AUTISM CENTER OF EXCELLENCE

1063 McGaw Ave, Irvine, CA 92614

CUP MODIFICATION - ADMINISTRATIVE RELIEF

DATE

REVISIONS

DESCRIPTION	DATE
CUP CUP PLANCHECK RESPONSE	01/14/2026

VICINITY MAP / SITE INFORMATION



Site Size: ~3 acres
Location: 1063 McGaw Avenue
Topography: Flat
General Plan: Urban & Industrial
Zoning: 5.1 IBC Multi-Use
Land Use: Office and Warehouse

ADJACENT ZONING/LAND USE

Direction	Zoning Designation	Land Use
North:	5.1 IBC Multi-Use	Office/warehouse/manufacturing
South:	5.1 IBC Multi-Use	McGaw Avenue, Office/warehouse
East:	5.1 IBC Multi-Use	Office/warehouse/manufacturing,
West:	n/a	Pullman Street Costa Mesa Freeway (55)



SHEET TITLE
COVER SHEET AND ALLOWABLE BUILDING AREA ANALYSIS

SHEET NUMBER
G1.0



BOULDER ASSOCIATES

300 SPECTRUM CENTER DR, SUITE 730
IRVINE, CALIFORNIA 92618
949.727.9000

00956257-PCRM
(RELATED TO 00949337-CTT)

PROJECT 236288.00

EASTERSEALS SOUTHERN CALIFORNIA AUTISM CENTER OF EXCELLENCE

1063 McGaw Ave, Irvine, CA 92614

CUP MODIFICATION - ADMINISTRATIVE RELIEF

DATE	DESCRIPTION	DATE
	CUP PLAN/CHECK RESPONSE	01/14/2026

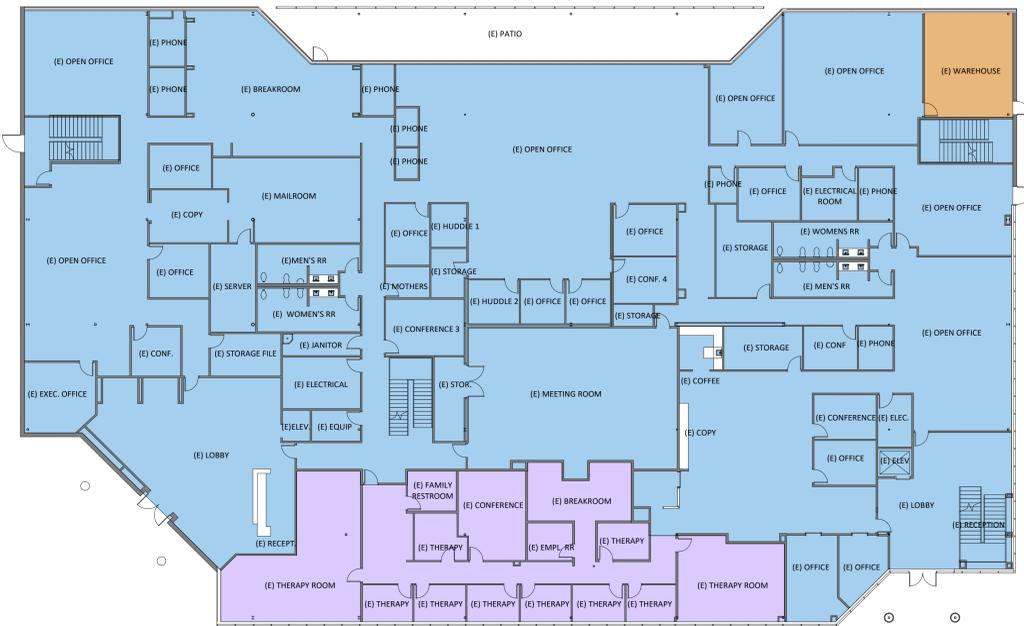


SHEET TITLE
**EXISTING AND
PROPOSED AREA
CALCULATIONS**

SHEET NUMBER
G2.0

AREA CALCULATION FOR CURRENT USES:

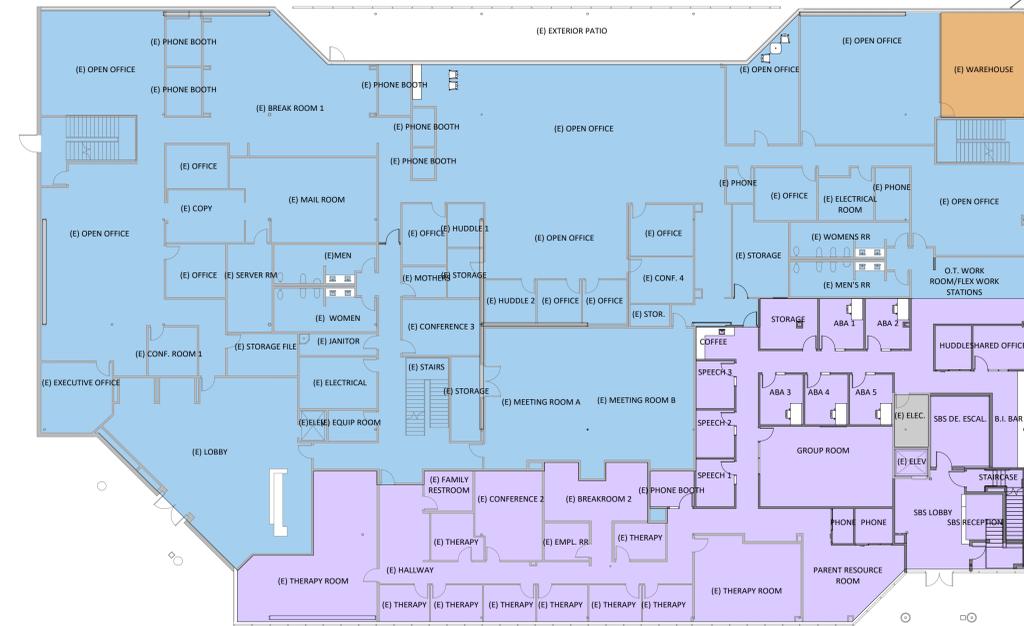
	First Floor	Second Floor	Total
OFFICE, ADMINISTRATIVE	23,814 SF	25,834 SF	49,648 SF
OFFICE, THERAPY SERVICES	3,920 SF	-	3,920 SF
WAREHOUSE	480 SF	480 SF	960 SF
TOTAL	27,814 SF	25,834 SF	53,648 SF



1 FIRST FLOOR AREA DIAGRAM - EXISTING USES
A2.20 | G2.0 1/16" = 1'-0"

AREA CALCULATION FOR PROPOSED USES:

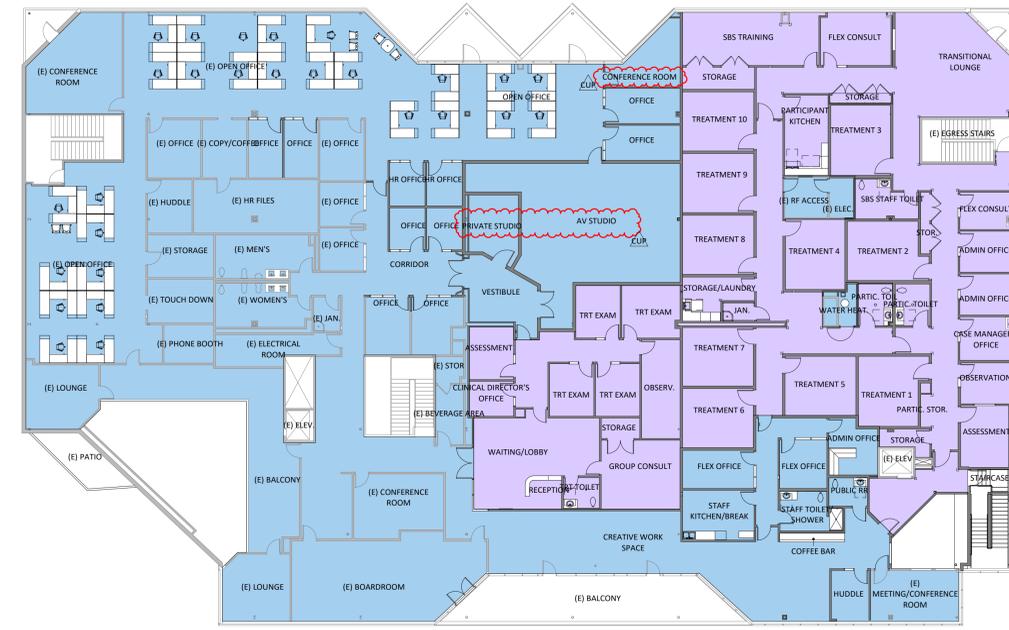
	First Floor	Second Floor	Total
OFFICE, ADMINISTRATIVE	19,169 SF	16,024 SF	35,193 SF
OFFICE, THERAPY SERVICES	6,165 SF	9,210 SF	15,375 SF
WAREHOUSE	480 SF	-	480 SF
TOTAL	27,814 SF	25,834 SF	53,648 SF



2 FIRST FLOOR AREA DIAGRAM - PROPOSED USES
A2.20 | G2.0 1/16" = 1'-0"



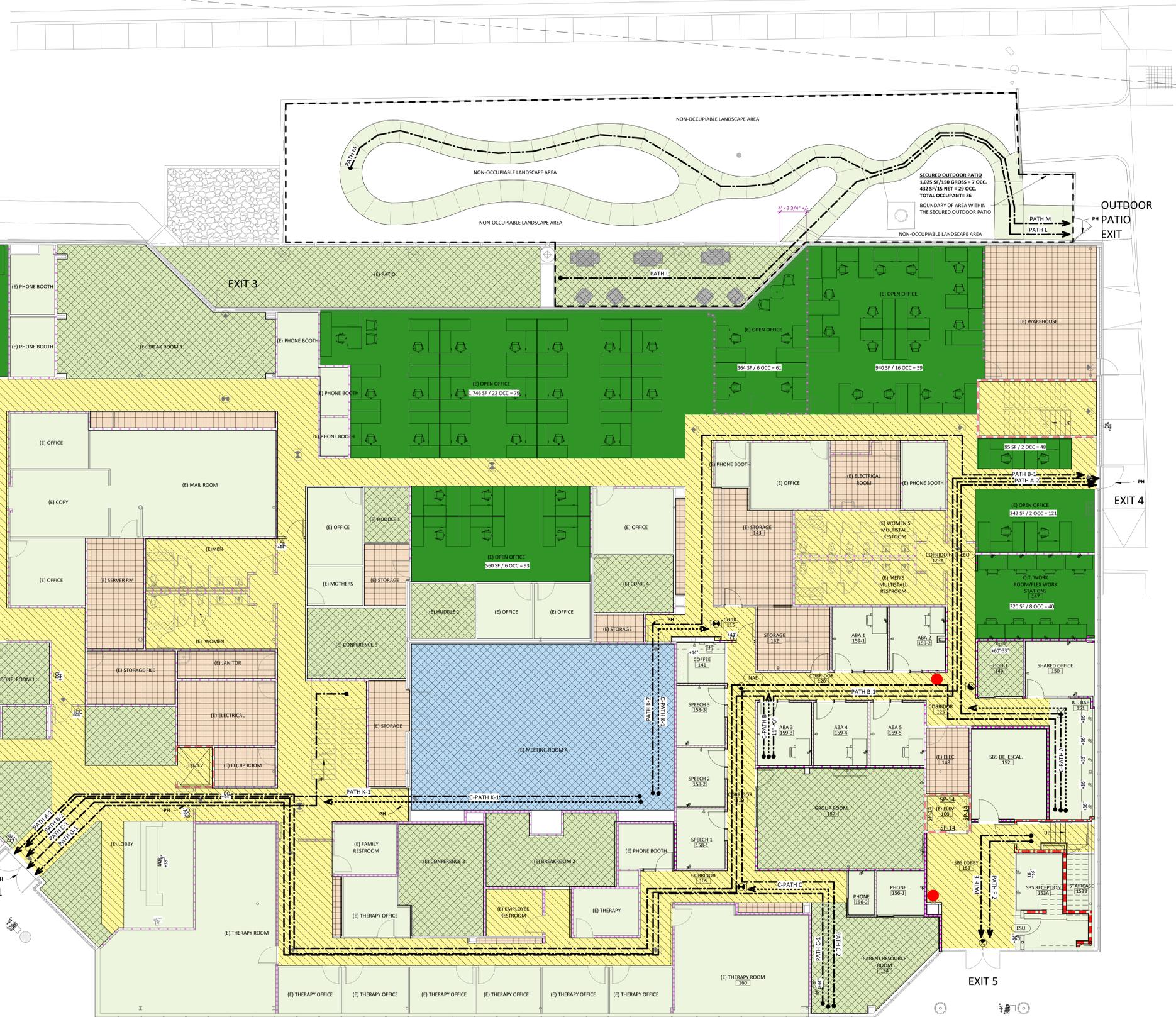
3 SECOND FLOOR AREA DIAGRAM - EXISTING USES
A2.20 | G2.0 1/16" = 1'-0"



4 SECOND FLOOR AREA DIAGRAM - PROPOSED USES
A2.20 | G2.0 1/16" = 1'-0"

1/17/2025 5:05:00 PM THIS SHEET IS IN CHARGE WHEN PRINTED TO FILE. 2025 Autodesk Docs://236288.00/Easterseals_Southern_CA/Easterseals_SBS_T1.rvt

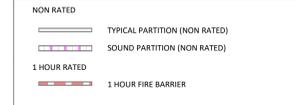
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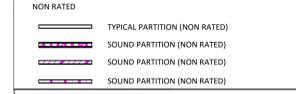
LIFE SAFETY GENERAL NOTES

- SEE THE COVER SHEET FOR CODE DATA & DEFERRED SUBMITTALS.
- ALL EGRESS ROUTES ARE ACCESSIBLE EGRESS ROUTES.
- EXISTING PARTITIONS ARE SHOWN HALFTONE ON PLAN.

EXISTING PARTITION TYPES LEGEND



NEW PARTITION TYPES LEGEND



DOOR LEGEND



SYMBOLS



PATH OF TRAVEL



OCCUPANT LOAD - 1ST FLOOR

BUSINESS AREA	7,294 SF/150 GROSS = 49 OCC
BUSINESS AREA (CIRCULATION)	6,735 SF/150 GROSS = 45 OCC
ASSEMBLY AREA (LESS THAN 750 SF W/O FIXED SEATS) * CLASSIFIED AS 'B' OCCUPANCY PER CBC 2022.303.1.2	4,885 SF/15 NET = 326 OCC
(E) LOBBY	628 SF/15 NET = 42 OCC
(E) CONFERENCE 1	124 SF/15 NET = 9 OCC
(E) CONFERENCE 2	297 SF/15 NET = 20 OCC
(E) CONFERENCE 3	228 SF/15 NET = 15 OCC
(E) CONFERENCE 4	150 SF/15 NET = 10 OCC
(E) BREAK ROOM 1	737 SF/15 NET = 49 OCC
(E) BREAK ROOM 2	285 SF/15 NET = 19 OCC
(E) HUBBLE 1	80 SF/15 NET = 5 OCC
(E) HUBBLE 2	115 SF/15 NET = 8 OCC
(E) PATIO	730 SF/15 NET = 48 OCC
(E) HUBBLE GROUP ROOM	82 SF/15 NET = 6 OCC
(E) PARENT RESOURCE	345 SF/15 NET = 23 OCC
OPEN OFFICE	5,943 SF/50 GROSS = 119 OCC
ASSEMBLY AREA (W/O FIXED SEATS)	1,428 SF/15 NET = 96 OCC
ACCESSORY STORAGE	2,338 SF/300 GROSS = 8 OCC
TOTAL OCCUPANTS ON FIRST FLOOR	= 643 OCC

COURTYARD OCCUPANT LOAD

ASSEMBLY AREA (LESS THAN 750 SF W/O FIXED SEATS) * CLASSIFIED AS 'B' OCCUPANCY PER CBC 2022.303.1.2	(E) PATIO 1265 SF/15 NET = 84 OCC
BUSINESS AREA	1,025 SF/150 GROSS = 7 OCC
TOTAL OCCUPANTS OUTDOOR	= 91 OCC

TACTILE EXIT SIGNAGE

- EX EXIT SIGNAGE - "EXIT"
- ER EXIT SIGNAGE - "EXIT ROUTE"
- ESD EXIT SIGNAGE - "EXIT STAIR DOWN"
- EO EXIT SIGNAGE - "EMERGENCY EXIT ONLY, ALARM WILL SOUND"
- NAE EXIT SIGNAGE - "NOT AN EXIT"
- DE EXIT SIGNAGE - "DELAYED EGRESS"

TACTILE ACCESSIBLE RESTROOM SIGNAGE

- M.1 ACCESSIBLE MEN'S TOILET GEOMETRIC SYMBOL
- W.1 ACCESSIBLE WOMEN'S TOILET GEOMETRIC SYMBOL
- U.1 ACCESSIBLE UNISEX TOILET GEOMETRIC SYMBOL
- M.ID.1 ACCESSIBLE MEN'S TOILET IDENTIFICATION SIGN
- W.ID.1 ACCESSIBLE WOMEN'S TOILET IDENTIFICATION SIGN
- U.ID.1 ACCESSIBLE UNISEX TOILET IDENTIFICATION SIGN



300 SPECTRUM CENTER DR, SUITE 730
IRVINE, CALIFORNIA 92618
949.727.9000

00956257-PCRM
(RELATED TO 00949337-CTT)

PROJECT 236288.00
EASTERSEALS SOUTHERN CALIFORNIA AUTISM CENTER OF EXCELLENCE

1063 McGaw Ave, Irvine, CA 92614

CUP MODIFICATION - ADMINISTRATIVE RELIEF

DATE

REVISIONS

NO.	DESCRIPTION	DATE

1 LIFE SAFETY PLAN - FLOOR 1 Copy 1
A2.20 G3.0 1/8" = 1'-0"

CODE SUMMARY	CBC 2022
OCCUPANCY TYPE:	B- BUSINESS OCCUPANCY
CONSTRUCTION TYPE:	TYPE III-B, FULLY SPRINKLERED
OCCUPANCY SEPARATIONS:	NOT REQUIRED (ALL B)
PRIMARY STRUCTURAL FRAME:	0 HR
EXTERIOR BEARING WALLS:	2 HR
INTERIOR BEARING WALLS:	0 HR
EXTERIOR NON-BEARING WALLS:	0 HR
INTERIOR NON-BEARING WALLS:	0 HR
FLOOR CONSTRUCTION:	0 HR
ROOF CONSTRUCTION:	0 HR
SHAFT RATINGS:	1 HR, 2 HR OVER 3 STORIES
SMOKE COMPARTMENTS:	N/A
NUMBER OF EXITS:	MIN TWO EXITS PROVIDED
HAZARDOUS AREA/INCIDENTAL USE:	N/A
EXIT SEPARATION:	1/3 OVERALL DIAGONAL IF FULLY SPRINKLERED
EXIT CORRIDOR WIDTH:	44" MIN
INTERIOR FINISHES:	MIN CLASS B IN EXITS & CLASS C ELSEWHERE
COMMON PATH OF TRAVEL:	50FT MAX IF FULLY SPRINKLERED
EGRESS DISTANCE:	300FT MAX IF FULLY SPRINKLERED
DEAD-END CORRIDOR:	50FT MAX IF FULLY SPRINKLERED
SMOKE COMPARTMENT TRAVEL:	N/A

SUMMARY OF PLUMBING FIXTURES IN COMPLIANCE WITH CPC TABLE 422.1

B OCCUPANCY LOAD FACTOR = 1 OCCUPANT PER 150 SQ FT
*ACCESSORY AREAS ARE EXCLUDED (STORAGE, HALLWAY, RESTROOM, STAIR ENCLOSURE, ETC.)
OCCUPANTS = 17,621 SF/150 = 118 OCC (59 MALE, 59 FEMALE)

A-3 OCCUPANCY LOAD FACTOR = 1 OCCUPANT PER 15 SQ FT
OCCUPANTS = 1,428 SF/15 = 96 OCC (48 MALE, 48 FEMALE)

TYPE OF OCCUPANCY	MALE OCCUPANTS	MALE REQUIRED	FEMALE OCCUPANTS	FEMALE REQUIRED	DRINKING FOUNTAINS REQUIRED	SERVICE SINKS REQUIRED
"B" BUSINESS	59	WC: 2 UR: 1 LAV: 1	59	WC: 4 LAV: 2	1	1
"A-3" BUSINESS	48	WC: 1 UR: 1 LAV: 1	48	WC: 2 LAV: 1	1	-
TOTAL REQUIRED:	WC: 3 UR: 2 LAV: 2		WC: 6 LAV: 3		2	1
TOTAL PROVIDED:	WC: 5 UR: 2 LAV: 4		WC: 7 LAV: 4		3*	1

*IN PLACE OF DRINKING FOUNTAINS, FILTERED WATER PROVIDED ADJACENT TO (3) EXISTING BREAK ROOM SINKS PER 2022 CPC SECTION 415.2, 1 PER 150 PERSON.

EXIT ACCESS PATH OF TRAVEL

MAX. EXIT ACCESS TRAVEL DISTANCE - B-OCCUPANCY W/ SPRINKLERS = 300 FT (PER CBC TABLE 1017.2)

ROUTE	DISTANCE
PATH A-1	290'-5"
PATH A-2	100'-11"
PATH B-1	108'-9"
PATH B-2	222'-9"
PATH C-1	206'-9"
PATH C-2	174'-11"
PATH D-1	88'-6"
PATH D-2	141'-11"
PATH E	100'-10"
PATH E-2	145'-4"
PATH F	136'-10"
PATH F-2	133'-6"
PATH G-1	187'-6"
PATH H-1	172'-3"
PATH I-1	145'-10"
PATH I-2	173'-2"
PATH J-1	161'-4"
PATH J-2	190'-3"
PATH K-1	113'-11"
PATH K-2	149'-6"
PATH L	114'-10"
PATH M	152'-4"

COMMON PATH OF TRAVEL

MAX. COMMON PATH OF TRAVEL DISTANCE W/ SPRINKLERS = 100 FT (PER CBC TABLE 1006.2.1)

ROUTE	DISTANCE
C-PATH A	35'-8"
C-PATH B	11'-0"
C-PATH C	35'-6"
C-PATH D	56'-6"
C-PATH E	50'-4"
C-PATH F	78'-6"
C-PATH G	80'-0"
C-PATH H	71'-2"
C-PATH K.1	95'-0"

DEAD END CORRIDOR

MAX. DEAD END CORRIDOR = 50 FT (PER CBC 1020.5, EXCEPTION 2)

ROUTE	DISTANCE

EXIT WIDTH CALCULATIONS FIRST FLOOR:

EXIT WIDTH:

TOTAL OCCUPANTS = 643 OCC.

EXIT WIDTH PER OCCUPANT (PER CBC 1005.3.2) = 0.2"

TOTAL EXIT WIDTH REQUIRED = 643 OCC X 0.2" = 128.6"

TOTAL EXIT WIDTH PROVIDED = 252"

1/12/2025 5:05:03 PM
PROJECT: 00956257-PCRM - Easterseals Southern California Autism Center of Excellence - SRS 11.rvt
DRAWN BY: JACOB HERNANDEZ
CHECKED BY: JACOB HERNANDEZ
DATE: 07/31/2025
BA BOULDER ASSOCIATES



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SHEET TITLE

LIFE SAFETY PLAN - FIRST FLOOR

SHEET NUMBER

G3.0



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IRVINE, CALIFORNIA 92618
949.727.9000

00956257-PCRM
(RELATED TO 00949337-CT1)

PROJECT 236288.00

**EASTERSEALS
SOUTHERN
CALIFORNIA
AUTISM CENTER
OF EXCELLENCE**

1063 McGaw Ave, Irvine, CA 92614

**CUP MODIFICATION -
ADMINISTRATIVE
RELIEF**

DATE

REVISIONS

DESCRIPTION DATE

LIFE SAFETY GENERAL NOTES

- SEE THE COVER SHEET FOR CODE DATA & DEFERRED SUBMITTALS.
- ALL EGRESS ROUTES ARE ACCESSIBLE EGRESS ROUTES.
- EXISTING PARTITIONS ARE SHOWN HALFTONE ON PLAN.

EXISTING PARTITION TYPES LEGEND

- NON RATED
- TYPICAL PARTITION (NON RATED)
 - SOUND PARTITION (NON RATED)
- 1 HOUR RATED
- 1 HOUR FIRE BARRIER

NEW PARTITION TYPES LEGEND

- NON RATED
- TYPICAL PARTITION (NON RATED)
 - SOUND PARTITION (NON RATED)
 - SOUND PARTITION (NON RATED)
 - SOUND PARTITION (NON RATED)

DOOR LEGEND

- GRAPHIC DESCRIPTION
- 90 MINUTE DOOR
 - 60 MINUTE DOOR
 - 45 MINUTE DOOR
 - 20 MINUTE DOOR

SYMBOLS

- FIRE EXTINGUISHER / FIRE EXTINGUISHER CABINET
- EXIT LIGHT FIXTURE (ARROW INDICATES DIRECTION OF EXIT)

PATH OF TRAVEL

- COMMON PATH OF TRAVEL
- EXIT ACCESS PATH OF TRAVEL
- DEAD END CORRIDOR

OCCUPANT LOAD - 2ND FLOOR

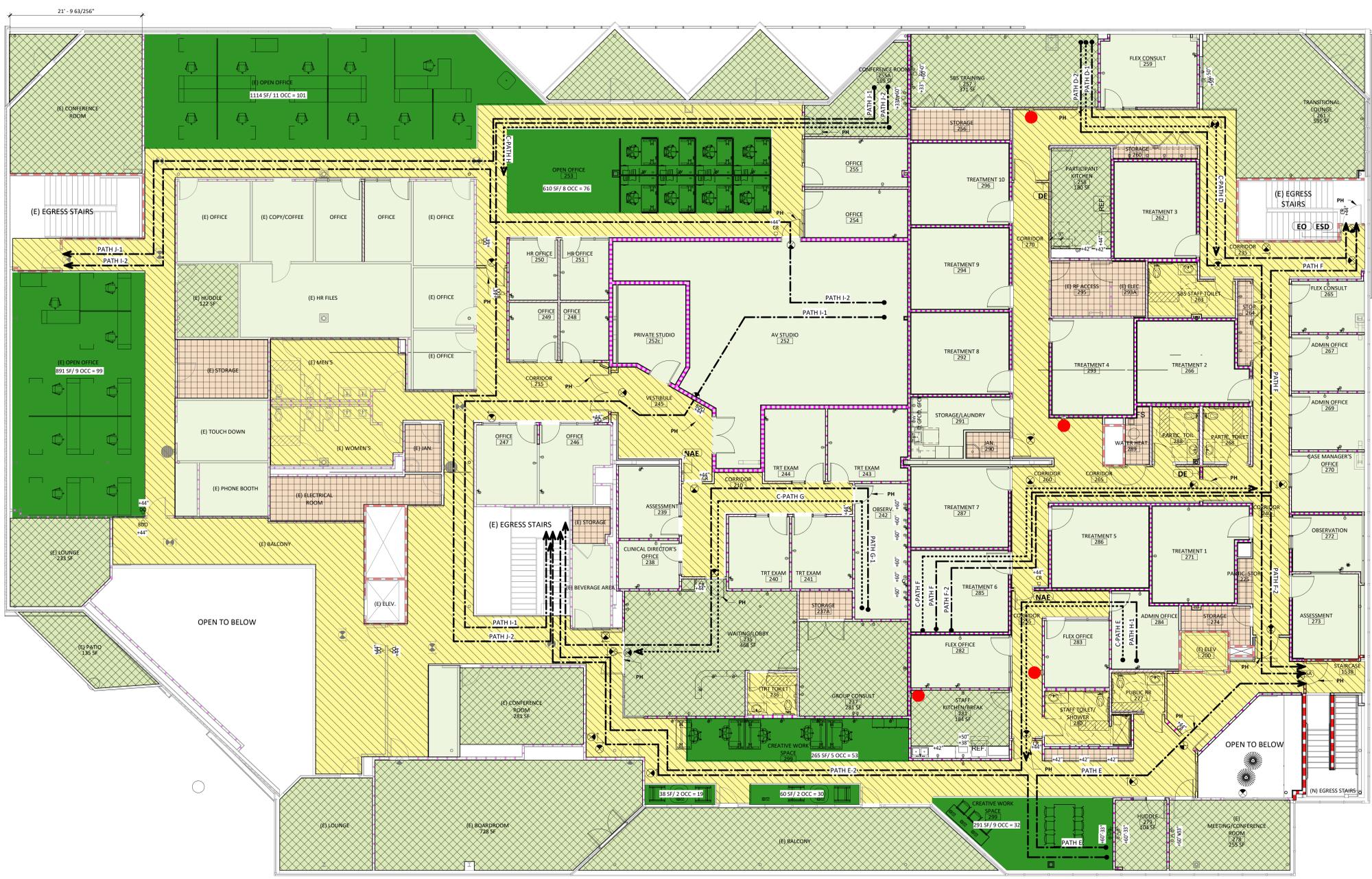
- BUSINESS AREA 9,430 SF/150 GROSS = 63 OCC
- BUSINESS AREA (CIRCULATION) 7,107 SF/150 GROSS = 48 OCC
- ASSEMBLY AREA (LESS THAN 750 SF W/O FIXED SEATS) * CLASSIFIED AS 'B' OCCUPANCY PER CBC 2022.303.1.2
- (E) BALCONY 64 SF/15 NET = 5 OCC
- (E) BALCONY 137 SF/15 NET = 9 OCC
- (E) BALCONY 137 SF/15 NET = 9 OCC
- (E) BALCONY 48 SF/15 NET = 3 OCC
- (E) BALCONY 606 SF/15 NET = 40 OCC
- (E) CONFERENCE 1 427 SF/15 NET = 29 OCC
- (E) CONFERENCE 2 260 SF/15 NET = 17 OCC
- (E) HUDDLE 122 SF/15 NET = 8 OCC
- (E) LOUNGE 1 230 SF/15 NET = 15 OCC
- (E) LOUNGE 2 229 SF/15 NET = 15 OCC
- (E) LOUNGE 3 135 SF/15 NET = 9 OCC
- (E) MEETING/ CONFERENCE 233 SF/15 NET = 16 OCC
- (E) BOARDROOM 747 SF/15 NET = 50 OCC
- (E) WAITING/ LOBBY 541 SF/15 NET = 36 OCC
- (E) GROUP CONSULT 281 SF/15 NET = 19 OCC
- (E) START KITCHEN/BREAK 100 SF/15 NET = 7 OCC
- (E) HUDDLE 169 SF/15 NET = 11 OCC
- (E) CONFERENCE 375 SF/15 NET = 25 OCC
- (E) PARTICIPANT KITCHEN 160 SF/15 NET = 11 OCC
- (E) TRANSITIONAL LOUNGE 517 SF/15 NET = 35 OCC
- ACCESSORY STORAGE 999 SF/300 GROSS = 3 OCC
- OPEN OFFICE 3,271 SF/50 GROSS = 65 OCC
- TOTAL OCCUPANTS ON SECOND FLOOR = 516 OCC

TACTILE EXIT SIGNAGE

- EX EXIT SIGNAGE - "EXIT"
- ER EXIT SIGNAGE - "EXIT ROUTE"
- ESD EXIT SIGNAGE - "EXIT STAIR DOWN"
- EO EXIT SIGNAGE - "EMERGENCY EXIT ONLY, ALARM WILL SOUND"
- NAE EXIT SIGNAGE - "NOT AN EXIT"
- DE EXIT SIGNAGE - "DELAYED EGRESS"

TACTILE ACCESSIBLE RESTROOM SIGNAGE

- M.1 ACCESSIBLE MEN'S TOILET GEOMETRIC SYMBOL
- W.1 ACCESSIBLE WOMEN'S TOILET GEOMETRIC SYMBOL
- U.1 ACCESSIBLE UNISEX TOILET GEOMETRIC SYMBOL
- M.ID.1 ACCESSIBLE MEN'S TOILET IDENTIFICATION SIGN
- W.ID.1 ACCESSIBLE WOMEN'S TOILET IDENTIFICATION SIGN
- U.ID.1 ACCESSIBLE UNISEX TOILET IDENTIFICATION SIGN



1 LIFE SAFETY PLAN - FLOOR 2 Copy 1
A2.20 | G4.0 | 1/8" = 1'-0"

CODE SUMMARY	CBC 2022
OCCUPANCY TYPE:	B- BUSINESS OCCUPANCY
CONSTRUCTION TYPE:	TYPE III-B, FULLY SPRINKLERED
OCCUPANCY SEPARATIONS:	NOT REQUIRED (ALL B)
PRIMARY STRUCTURAL FRAME:	0 HR
EXTERIOR BEARING WALLS:	2 HR
INTERIOR BEARING WALLS:	0 HR
EXTERIOR NON-BEARING WALLS:	0 HR
INTERIOR NON-BEARING WALLS:	0 HR
FLOOR CONSTRUCTION:	0 HR
ROOF CONSTRUCTION:	0 HR
SHAFT RATINGS:	1 HR, 2 HR OVER 3 STORIES
SMOKE COMPARTMENTS:	N/A
NUMBER OF EXITS:	MIR TWO EXITS PROVIDED
HAZARDOUS AREA/INCIDENTAL USE:	N/A
EXIT SEPARATION:	1/3 OVERALL DIAGONAL IF FULLY SPRINKLERED
EXIT CORRIDOR WIDTH:	44" MIN
INTERIOR FINISHES:	MIR CLASS B IN EXITS & CLASS C ELSEWHERE
COMMON PATH OF TRAVEL:	100FT MAX IF FULLY SPRINKLERED
EGRESS DISTANCE:	300FT MAX IF FULLY SPRINKLERED
DEAD-END CORRIDOR:	50FT MAX IF FULLY SPRINKLERED
SMOKE COMPARTMENT TRAVEL:	N/A

SUMMARY OF PLUMBING FIXTURES IN COMPLIANCE WITH CPC TABLE 422.1

B OCCUPANCY LOAD FACTOR = 1 OCCUPANT PER 150 SQ FT
*ACCESSORY AREAS ARE EXCLUDED (STORAGE, HALLWAY, RESTROOM, STAIR ENCLOSURE, ETC.)
OCCUPANTS = 24,409 SF/150 = 163 OCC (82 MALE, 82 FEMALE)

A-3 OCCUPANCY LOAD FACTOR = 1 OCCUPANT PER 150 SQ FT
OCCUPANTS = 1373 SF/15 = 92 OCC (46 MALE, 46 FEMALE)

TYPE OF OCCUPANCY	MALE OCCUPANTS	MALE REQUIRED	FEMALE OCCUPANTS	FEMALE REQUIRED	DRINKING FOUNTAINS REQUIRED	SERVICE SINKS REQUIRED
'B' BUSINESS	82	WC: 2 UR: 1 LAV: 2	82	WC: 4 LAV: 2	1	1
'A-3' BUSINESS	46	WC: 1 UR: 1 LAV: 1	46	WC: 2 LAV: 1	1	-
TOTAL REQUIRED:	WC: 3 UR: 2 LAV: 3		WC: 6 LAV: 3		2	1
TOTAL PROVIDED:	WC: 5 UR: 1 LAV: 5		WC: 6 LAV: 5		3*	1

*IN PLACE OF DRINKING FOUNTAINS, FILTERED WATER PROVIDED ADJACENT TO (3) EXISTING BREAK ROOM SINKS PER 2022 CPC SECTION 415.2, 1 PER 150 PERSON.

EXIT ACCESS PATH OF TRAVEL
MAX. EXIT ACCESS TRAVEL DISTANCE - B OCCUPANCY W/ SPRINKLERS = 300 FT (PER CBC TABLE 1017.2)

ROUTE	DISTANCE
PATH A-1	290'-5"
PATH A-2	100'-11"
PATH B-1	108'-9"
PATH B-2	222'-9"
PATH C-1	206'-9"
PATH C-2	174'-11"
PATH D-1	83'-6"
PATH D-2	141'-11"
PATH E	100'-10"
PATH E-2	145'-4"
PATH F	136'-10"
PATH F-2	133'-6"
PATH G-1	197'-6"
PATH H-1	172'-3"
PATH H-1	145'-10"
PATH I-2	173'-2"
PATH J-1	161'-4"
PATH J-2	196'-1"
PATH K-1	113'-11"
PATH K-2	149'-6"
PATH L	114'-10"
PATH M	152'-4"

COMMON PATH OF TRAVEL
MAX. COMMON PATH OF TRAVEL DISTANCE W/ SPRINKLERS = 100 FT (PER CBC TABLE 1006.2.1)

ROUTE	DISTANCE
C-PATH A	35'-8"
C-PATH B	11'-0"
C-PATH C	35'-4"
C-PATH D	56'-6"
C-PATH E	50'-4"
C-PATH F	78'-6"
C-PATH G	80'-0"
C-PATH H	71'-2"
C-PATH K-1	95'-0"

DEAD END CORRIDOR
MAX. DEAD END CORRIDOR = 50 FT (PER CBC 1020.5, EXCEPTION 2)

ROUTE	DISTANCE

EXIT WIDTH CALCULATIONS SECOND FLOOR:

EXIT WIDTH:
TOTAL OCCUPANTS = 516 OCC.
EXIT WIDTH PER OCCUPANT (PER CBC 1005.3.2) = 0.2"
TOTAL EXIT WIDTH REQUIRED = 516 OCC X 0.2" = 103.2"
TOTAL EXIT WIDTH PROVIDED = 144"

EXIT STAIR WIDTH:
TOTAL OCCUPANTS = 516 OCC.
EXIT STAIR WIDTH PER OCCUPANT (PER CBC 1005.3.1) = 0.3"
TOTAL EXIT STAIR WIDTH REQUIRED = 516 OCC X 0.3" = 154.8"
TOTAL EXIT STAIR WIDTH PROVIDED = 176"



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SHEET TITLE

**LIFE SAFETY PLAN -
SECOND FLOOR**

SHEET NUMBER

G4.0

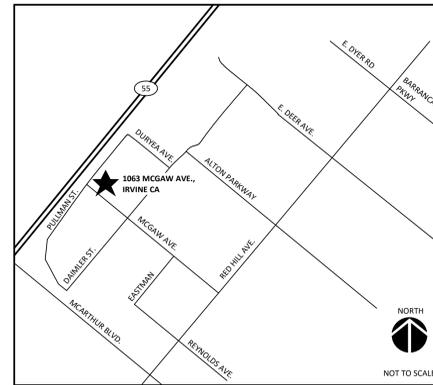
REFERENCE CIVIL AND LANDSCAPE PLANS FOR EXTERIOR COUNTRYARD SCOPE

NOTES:
 THE ONLY SITE RELATED SCOPE IS THE A NEW SECURE OUTDOOR SPACE AT THE NORTH EAST CORNER OF SITE. SEE LANDSCAPE AND CIVIL SHEETS FOR MORE INFORMATION.

EXISTING PARKING LAYOUT SHOWN FOR REFERENCE ONLY. NO ALTERATION TO THE LAYOUT OR NUMBER OF STALLS HAS BEEN MADE.

ACCESSIBLE PARKING STALLS AND SITE FEATURES AREA EXISTING. SEE SHEET A1.11 FOR ACCESSIBLE SITE DETAILS.

VICINITY MAP / SITE INFORMATION

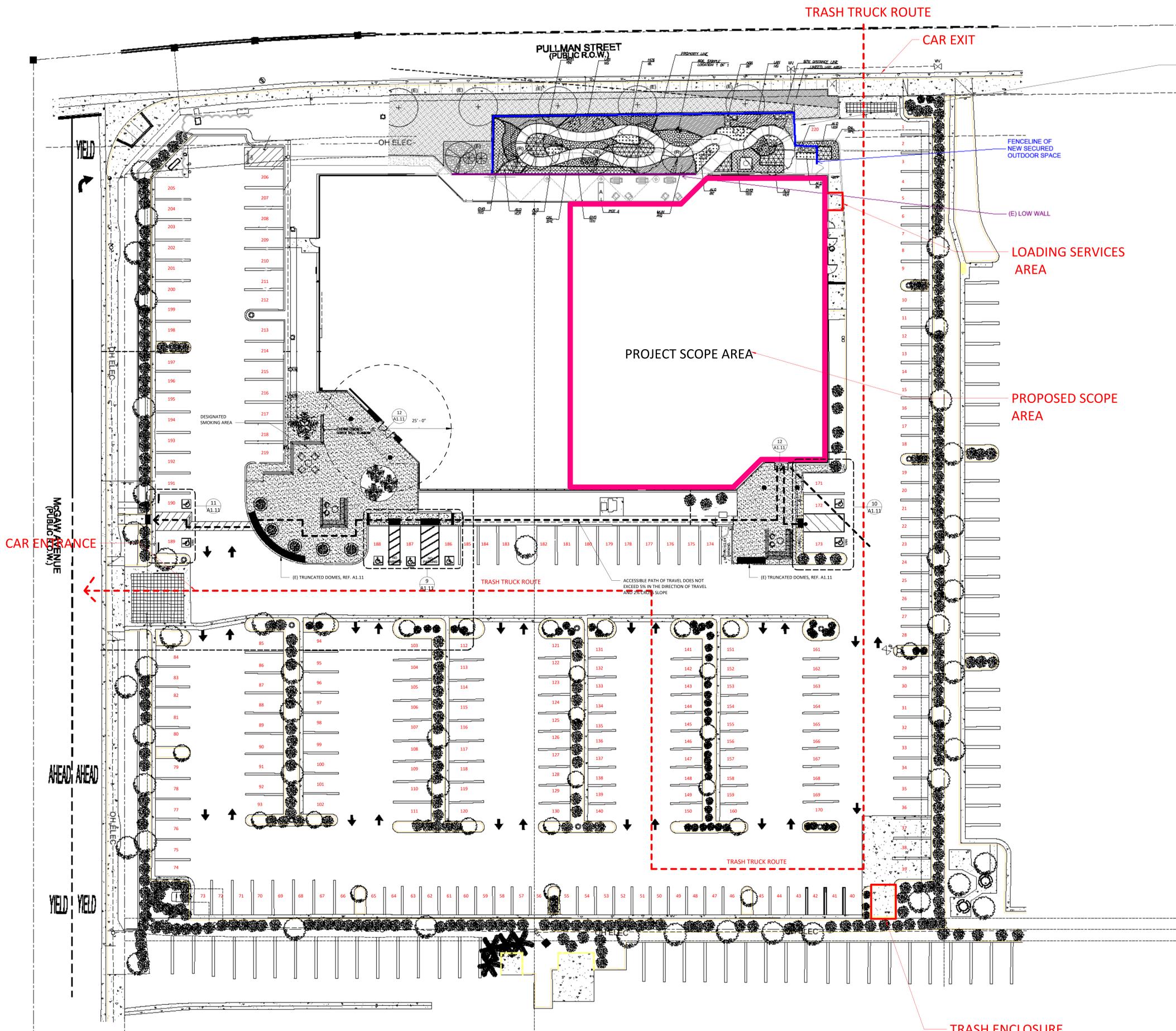


SITE INFORMATION

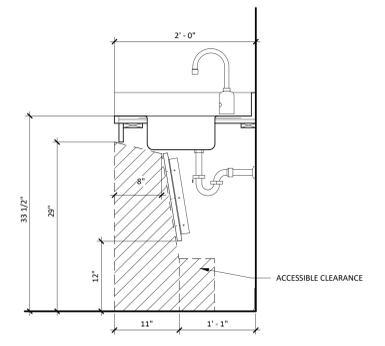
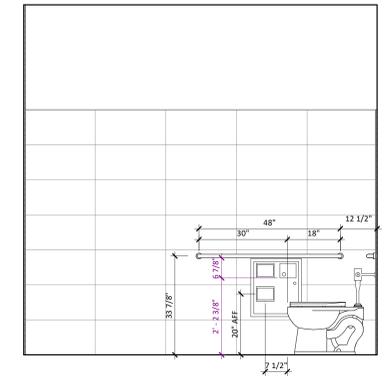
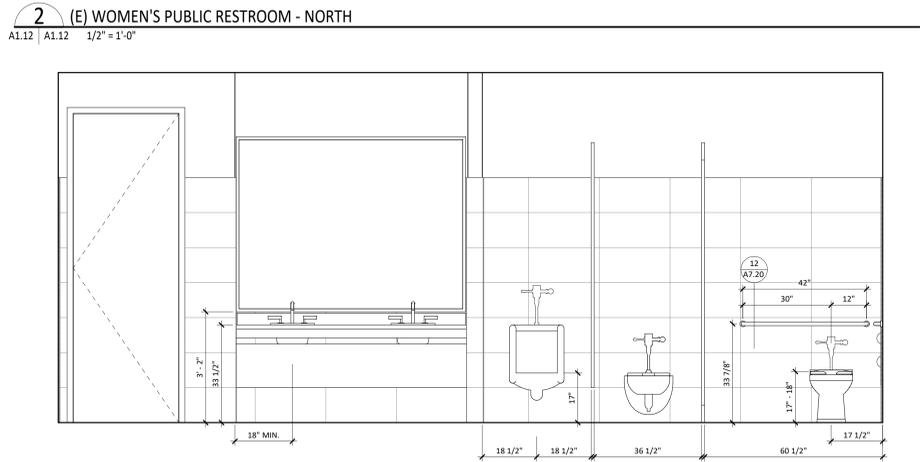
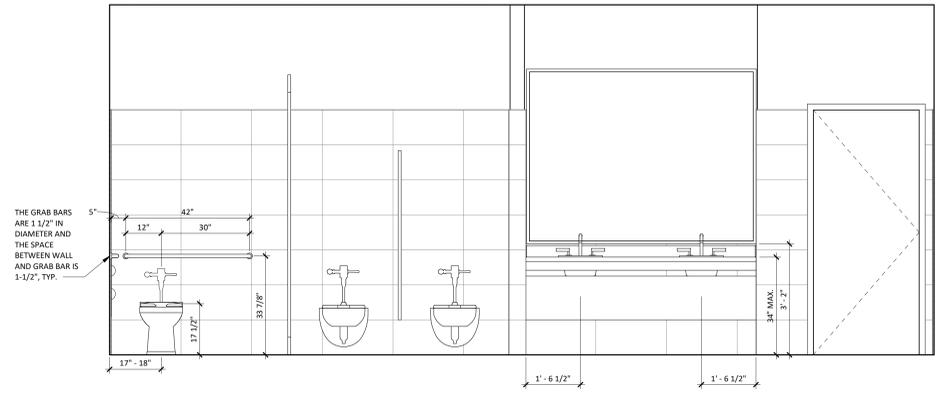
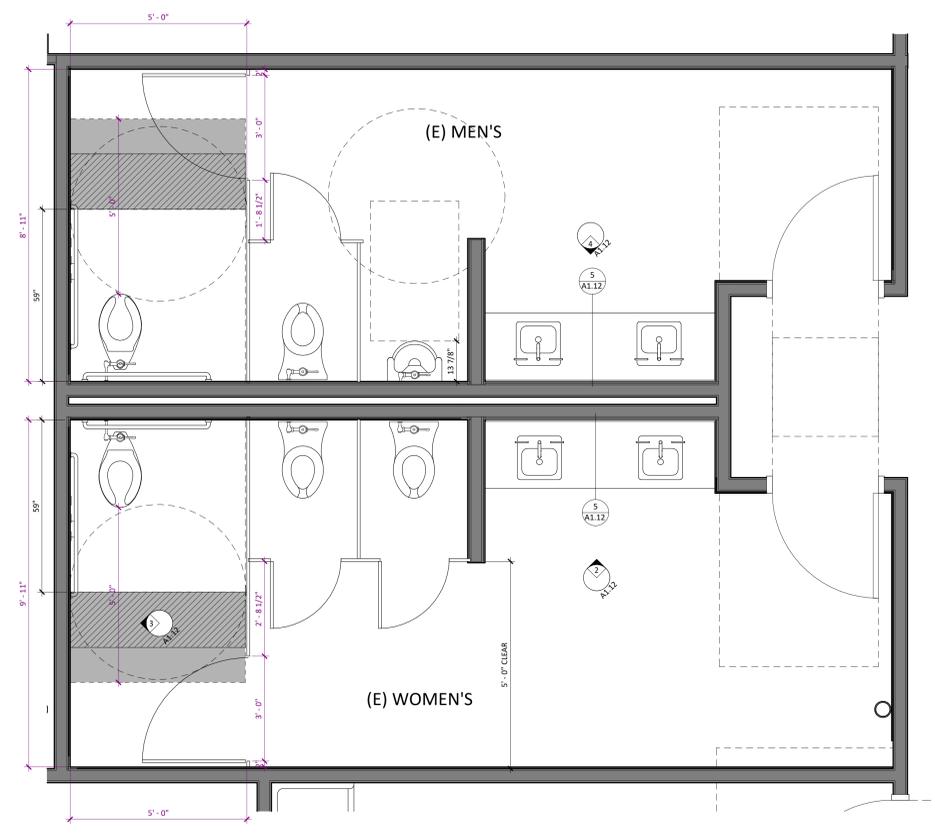
Site Size: ~3 acres
 Location: 1063 McGaw Avenue
 Topography: Flat
 General Plan: Urban & Industrial
 Zoning: 5.1 IBC Multi-Use
 Land Use: Office and Warehouse

ADJACENT ZONING/LAND USE

Direction	Zoning Designation	Land Use
North:	5.1 IBC Multi-Use	Office/warehouse/manufacturing
South:	5.1 IBC Multi-Use	McGaw Avenue, Office/warehouse
East:	5.1 IBC Multi-Use	Office/warehouse/manufacturing, Pullman Street
West:	n/a	Costa Mesa Freeway (55)



NOTE: ALL GRAB BARS SHALL MEET THE FOLLOWING REQUIREMENTS:
 1. GRAB BARS MUST BE FREE OF SHARP OR ABRASIVE ELEMENTS AND MUST HAVE ROUNDED EDGES IN ACCORDANCE WITH CBC 11B-609.5.
 2. GRAB BARS MUST NOT ROTATE WITHIN THEIR FITTING IN ACCORDANCE WITH CBC 11B-609.6.
 3. GRAB BAR STRUCTURAL STRENGTH SHALL BE 250 LBS MIN. IN ACCORDANCE WITH CBC 11B-609.8.



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 IRVINE, CALIFORNIA 92618
 949.727.9000

00956257-PCRM
 (RELATED TO 00949337-CTI)

PROJECT 236288.00

**EASTERSEALS
 SOUTHERN
 CALIFORNIA
 AUTISM CENTER
 OF EXCELLENCE**

1063 McGaw Ave, Irvine, CA 92614

**CUP MODIFICATION -
 ADMINISTRATIVE
 RELIEF**

DATE
 REVISIONS

REVISIONS	DESCRIPTION	DATE



SHEET TITLE
**EXISTING PUBLIC
 RESTROOMS**

SHEET NUMBER
A1.12



BOULDER ASSOCIATES
 300 SPECTRUM CENTER DR, SUITE 730
 IRVINE, CALIFORNIA 92618
 949.727.9000

00956257-PCPM
 (RELATED TO 00949337-CTTI)

PROJECT 236288.01

AUTISM CENTER OF EXCELLENCE

1063 McGaw Ave, Irvine, CA 92614

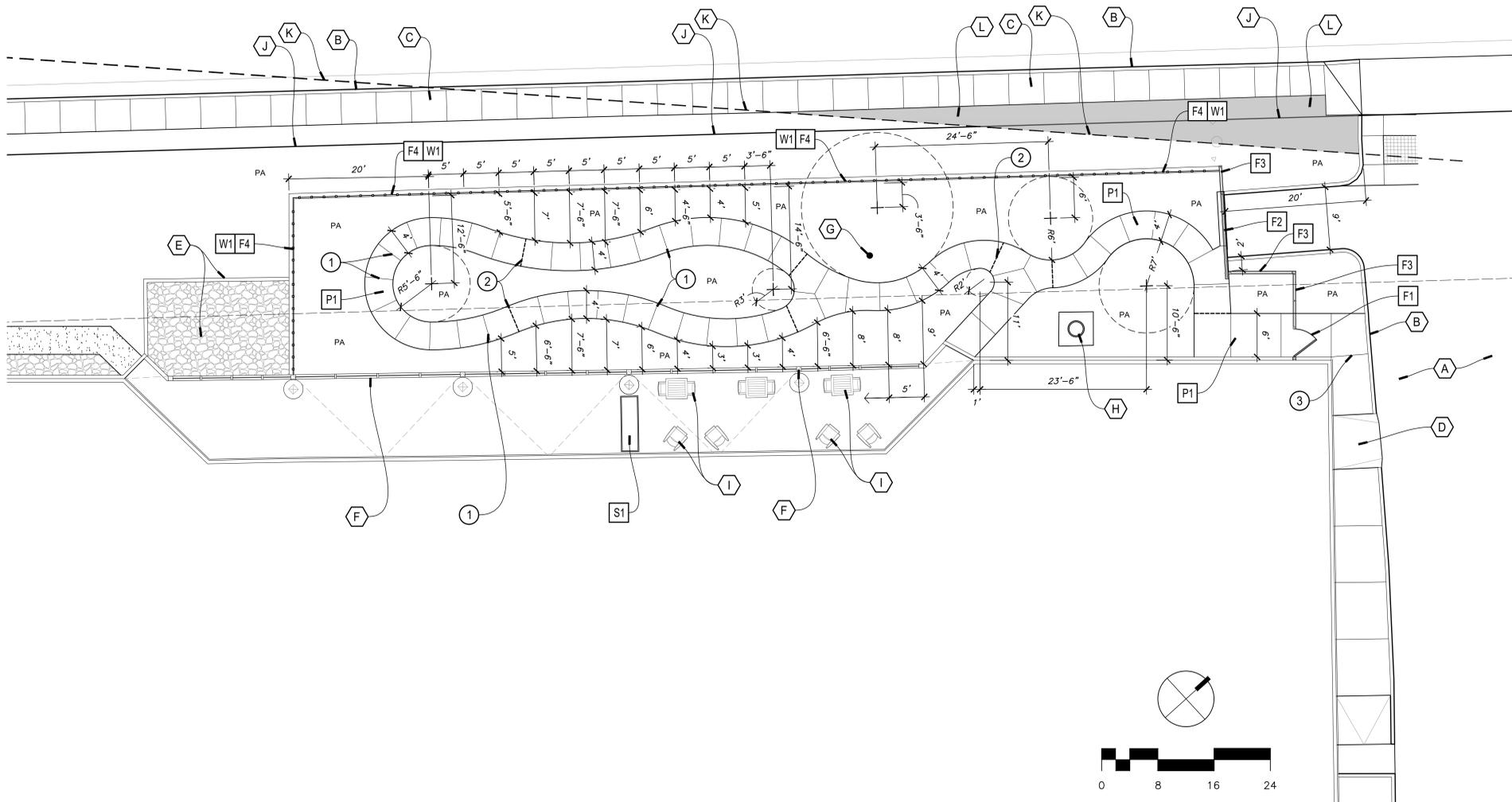
FOR REFERENCE ONLY

SHEET FROM PROJECT
 00949337-CTTI

06/11/25

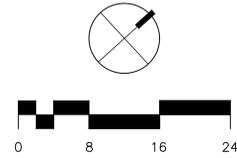
REVISIONS

NO.	DESCRIPTION	DATE



HARDSCAPE NOTES

- VISIT THE SITE PRIOR TO SUBMITTING BIDS.
- SUBMIT A UNIT COST FOR IMPORT SOIL IN-PLACE AND BE COMPLETELY AWARE OF THE AMOUNT OF SOIL NECESSARY TO REACH THE SATISFACTORY GROUND LEVEL.
- VERIFY ALL PROPERTY LINES OR OTHER LIMIT OF WORK LINES PRIOR TO COMMENCING WORK.
- CONCRETE PAVING JOINTS INCLUDE THREE BASIC JOINT TYPES: CONTRACTION, DOWELED CONSTRUCTION, AND ISOLATION. SEE HARDSCAPE DETAILS FOR ADDITIONAL INFORMATION. PROVIDE DOWELED CONSTRUCTION JOINTS BETWEEN DIFFERENT PAVING TYPES, CHANGES IN DIRECTION, 50-FEET ON-CENTER FOR LINEAR WALKS, END OF DAY POURS, OR WHERE SPECIFICALLY INDICATED ON THE PLANS.
- PROVIDE AN ISOLATION JOINT WHERE CONCRETE PAVING ABUTS A VERTICAL SURFACE SUCH AS BUILDINGS, WALLS, STEPS, ETC. SEE HARDSCAPE DETAILS FOR ADDITIONAL INFORMATION.
- SUBMIT A "PAVING JOINT AND POUR SEQUENCE PLAN" TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLING CONCRETE PAVING. THIS PLAN SHOULD CLEARLY INDICATE CONTRACTOR'S PROPOSED CONCRETE POUR SEQUENCE WITH JOINT LOCATIONS TO INCLUDE CONTRACTION, DOWELED CONSTRUCTION, AND ISOLATION JOINTS. PLAN TO ALSO CONFIRM JOINT TYPE WHETHER HAND-TOOLED OR SAW CUT.
- USE PIERI "FACE-OFF" BY WR GRACE, OR APPROVED EQUAL, TO PREVENT PERMANENT CEMENTITIOUS STAINING ON ADJACENT HARDSCAPE ELEMENTS WHEN PLACING CONCRETE.
- REPAIR OR REPLACE ANY DAMAGE TO ADJACENT PROPERTIES, CURBS, WALKS, PLANTING, WALLS, ETC. AT NO ADDITIONAL COST TO THE OWNER.
- VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE WORK. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY SHOULD FIELD CONDITIONS VARY FROM THOSE SHOWN ON PLAN.
- REPORT DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT. CORRECTED DRAWINGS OR INSTRUCTIONS SHALL BE ISSUED PRIOR TO THE CONTINUATION OF THIS WORK. ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY CORRECTIONS DUE TO FAILURE TO REPORT KNOWN DISCREPANCIES.
- LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND PROTECT THEM FROM DAMAGE. NOTIFY THE OWNER IMMEDIATELY IF DAMAGE OCCURS AND ASSUME FULL RESPONSIBILITY FOR EXPENSE OF REPAIR OR REPLACEMENT.
- COMPLY WITH ALL PROVISIONS OF THE LATEST BUILDING CODE, CURRENT EDITION OF THE ADA STANDARDS FOR ACCESSIBLE DESIGN, AND WITH OTHER CURRENT RULES, REGULATIONS AND ORDINANCES GOVERNING THE PLACE OF THE WORK. BUILDING CODE REQUIREMENTS TAKE PRECEDENCE OVER THE DRAWINGS AND IT SHALL BE THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIALS OR BOTH TO BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT ANY DISCREPANCIES OR CONFLICTS BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.
- LOCATIONS OF N.I.C. CONSTRUCTION ELEMENTS SUCH AS LIGHTS, SIGNS, VENTS, HYDRANTS, TRANSFORMERS, ETC., ARE APPROXIMATE. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY SHOULD THE LOCATION OF THESE ITEMS INTERFERE WITH THE PROPER EXECUTION OF WORK.
- VERIFY ALL PAVING AND HARDSCAPE CONSTRUCTION DRAWINGS WITH GEOTECHNICAL SOILS REPORT IN REGARD TO ITEMS SUCH AS SUB-BASE PREPARATION, PRE-SATURATION, SOIL COMPACTION, REINFORCING, SLAB THICKNESS, SLAB JOINTING/DOWELING AND FOOTING REQUIREMENTS. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IF GEOTECHNICAL SOILS REPORT RECOMMENDATIONS DIFFER FROM DRAWINGS. THE GEOTECHNICAL SOILS REPORT RECOMMENDATIONS, IF MORE STRINGENT THAN THE DRAWINGS, SHALL TAKE PRECEDENCE.
- BE RESPONSIBLE FOR COORDINATION BETWEEN SUBCONTRACTORS FOR PROPER AND TIMELY PLACEMENT OF SLEEVING, PIPING AND/OR CONDUIT INSTALLATION UNDER OR THROUGH LANDSCAPE ELEMENTS.
- LANDSCAPE LIGHT FIXTURE LOCATIONS AS INDICATED ON THESE PLANS ARE APPROXIMATE. FINAL LOCATION TO BE VERIFIED BY LANDSCAPE ARCHITECT ON SITE.
- DO NOT SCALE DRAWINGS.
- PROVIDE A REPRESENTATIVE SAMPLE OF EACH PAINTED OR STAINED ELEMENT TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO APPLYING FINISH. REFER TO DETAILS AND SPECIFICATIONS FOR SPECIFIC SUBMITTAL REQUIREMENTS.
- PROVIDE A MOCK-UP OF EACH HARDSCAPE ELEMENT. ITEMS TO INCLUDE, BUT ARE NOT LIMITED TO PAVING AND WALL TYPES NOTED IN THE COLOR AND FINISH SCHEDULES. SAMPLES TO BE PLACED IN A LOCATION SPECIFIED BY THE OWNER'S AUTHORIZED REPRESENTATIVE FOR REVIEW AND APPROVAL BY THE OWNER AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. REFER TO MOCK-UP REQUIREMENTS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- WHERE PAVING AND FINISH GRADE MEET, DEPRESS FINISH GRADE 1" IN TURF AREAS AND 1-1/2" IN GROUND COVER / SHRUB AREAS, UNLESS OTHERWISE INDICATED.
- PROJECT WALKS SHALL NOT EXCEED A SLOPE OF 1:20 (5% GRADIENT) UNLESS OTHERWISE INDICATED.
- ACCESSIBLE RAMPS SHALL NOT EXCEED 1:12 OR 8.33%.
- PLANTER AREAS SHALL NOT EXCEED 2:1 SLOPE UNLESS OTHERWISE INDICATED.
- HOLD FINISH GRADE A MINIMUM OF 6" BELOW FINISH FLOOR, UNLESS OTHERWISE INDICATED.
- CONSTRUCT ALL CURVE TO CURVE AND CURVE TO TANGENT LINES TO BE NEAT, TRIM, SMOOTH AND UNIFORM.
- CONSTRUCT ALL CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI @ 28 DAYS, UNLESS OTHERWISE INDICATED.
- ALL CONCRETE PAVING BANDS AND CONCRETE CAPS SHALL HAVE CONTROL JOINTS AT 5'-0" ON CENTER MAXIMUM UNLESS NOTED OTHERWISE ON THE PLANS. ALL WALLS SHALL HAVE CONTROL JOINTS AT 20'-0" O.C. MAXIMUM UNLESS NOTED OTHERWISE ON THE PLANS.
- PROVIDE THE OWNER WITH ALL WARRANTIES, GUARANTEES, AND INSTRUCTION MANUALS FOR EQUIPMENT, APPLIANCES, FIXTURES, ETC. AS DESCRIBED IN THE SPECIFICATIONS.
- PRIOR TO INSTALLING ABOVE-GRADE DEVICES SUCH AS IRRIGATION VALVE BOXES, GATE VALVES, BASKET STRAINERS, FLOW SENSORS, BACKFLOW ASSEMBLIES, CONTROLLERS, QUICK COUPLERS, JUNCTION PULL BOXES, GFCIS, TRANSFORMERS, SIGNS, GAS METERS, UTILITY VAULTS, LIGHT FIXTURES, CLEAN-OUTS, DRAIN MANHOLES, PIPES, FDCIS, AND WATER METERS, PLACE A WOOD STAKE IN PROPOSED LOCATIONS WITH DEVICE CLEARLY LABELED ON STAKE IN BLACK INK. OBTAIN LANDSCAPE ARCHITECT'S OR IRRIGATION DESIGNER'S APPROVAL OF STAKED LOCATIONS PRIOR TO INSTALLING DEVICES.
- DO NOT INSTALL DEVICES SUCH AS CLEAN-OUTS, VALVE BOXES, GATE VALVES, ETC. IN PAVED AREAS WHEN INSTALLING THEM IN AN ADJACENT PLANTER IS POSSIBLE. IF THIS CANNOT BE ACHIEVED, CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION.
- INSTALL INTERSECTING ELEMENT AT 90 DEGREES UNLESS NOTED OTHERWISE ON PLANS.
- NO SITE IMPROVEMENTS SHALL BE CONSTRUCTED WITHIN THE PUBLIC RIGHT OF WAY.



PAVING SCHEDULE

KEY	DESCRIPTION	DETAIL	MFR. / SUPPLIER	COLOR	FINISH	JOINTS	COMMENTS
P1	CONCRETE PAVING	A-C, L2.1	---	NATURAL GRAY	MEDIUM BROOM PERPENDICULAR TO PATH OF TRAVEL	TOOLED CONTRACTION / CONSTRUCTION	PED: 3000 PSI VER: 4250 PSI VERIFY PSI WITH GEOTECH PRIOR TO START SEALER. SEE SPECS.

NOTES:
 A. CONTRACTOR SHALL PREPARE MOCK-UPS FOR PAVING. SEE 'MOCK-UP REQUIREMENTS', SHEET L1.1.
 B. PROVIDE AN ISOLATION JOINT WHERE PAVING ABUTS VERTICAL SURFACES SUCH AS BUILDINGS, WALLS, STEPS, OR, AS NOTED IN THESE DRAWINGS.
 C. CONTRACTOR TO PROVIDE A DETECTABLE WARNING PRODUCT SAMPLE TO THE BUILDING INSPECTOR FOR APPROVAL OF COLOR CONTRAST WITH FINISH SURFACE.

SITE FURNISHING SCHEDULE

KEY	DESCRIPTION	DETAIL	QTY	MFR. / SUPPLIER	MODEL	COLOR	FINISH	MOUNTING	COMMENTS
S1	RECTANGULAR PLANTER (96" L X 30" W X 30" T)	--	1	TOURNESOL SITEWORKS (800) 542-2282	WILSHIRE FRP (WR-963030)	SHADOW	FIBERGLASS SMOOTH	--	INCLUDE CWM-R1620-4K

NOTE: SITE FURNISHINGS ARE LONG LEAD ITEMS. CONTRACTOR SHALL BE RESPONSIBLE FOR APPLICABLE LEAD TIMES IN THE OVERALL PROJECT SCHEDULE. SUBSTITUTIONS WILL NOT BE ACCEPTED.

FENCE AND RAILING SCHEDULE

KEY	DESCRIPTION	DETAIL	MFR. / SUPPLIER	MODEL	COLOR	FINISH	COMMENTS
F1	WOOD CLAD TUBE STEEL SINGLE PANEL PEDESTRIAN GATE	D, L2.1	CUSTOM	--	OILED IPE WOOD	PAINT METAL COMPONENTS TO MATCH ARCH.	SHOP DWGS REQUIRED.
F2	WOOD CLAD TUBE STEEL SLIDING MAINTENANCE GATE	B, L2.2	CUSTOM	--	OILED IPE WOOD	PAINT METAL COMPONENTS TO MATCH ARCH.	SHOP DWGS REQUIRED.
F3	WOOD CLAD TUBE STEEL FENCE	E, L2.1	CUSTOM	--	OILED IPE WOOD	PAINT METAL COMPONENTS TO MATCH ARCH.	SHOP DWGS REQUIRED.
F4	GLASS ENCLOSURE FENCE	A, L2.2	CUSTOM	--	1/2" THICK TEMPERED GLASS	PAINT METAL COMPONENTS TO MATCH ARCH.	SHOP DWGS REQUIRED.

HARDSCAPE KEYNOTES

KEY	DESCRIPTION	DETAIL
1	CONSTRUCT TOOLED CONTRACTION JOINT	B, L2.1
2	CONSTRUCT TOOLED DOWELED CONSTRUCTION JOINT	B, L2.1
3	CONSTRUCT NEW TO EXISTING CONCRETE PAVING	B, L2.1
4	CONSTRUCT CONCRETE PAVING TO CURB CONNECTION	B, L2.1

SYMBOL LEGEND

SYMBOL	DESCRIPTION
-----	DOWELED CONSTRUCTION JOINT
---	CONTRACTION JOINT
	PLANTING AREA

REFERENCE KEYNOTES

KEY	DESCRIPTION	DETAIL
A	EXISTING A.C. PAVING	PROTECT IN PLACE
B	EXISTING CONCRETE CURB	PROTECT IN PLACE
C	EXISTING CONCRETE SIDEWALK	PROTECT IN PLACE
D	EXISTING ACCESSIBLE RAMP	PROTECT IN PLACE
E	EXISTING COBBLE	PROTECT IN PLACE
F	EXISTING GLASS PANELS	PROTECT IN PLACE
G	EXISTING SCE ELECTRICAL POLE	PROTECT IN PLACE
H	EXISTING UTILITY VAULT	PROTECT IN PLACE
I	SITE FURNISHINGS PER PROPERTY OWNER	---
J	RIGHT OF WAY / PROPERTY LINE	---
K	SITE DISTANCE LINE	PER STD. PLAN 403
L	LIMITED USE AREA	PER STD. PLAN 403

WALL SCHEDULE

KEY	DESCRIPTION	DETAIL	MFR. / SUPPLIER	COLOR	FINISH	JOINTS	COMMENTS
W1	LOW C.I.P. CONCRETE WALL	A, L2.2	---	NATURAL GRAY	SMOOTH TROWELED FINISH	SAWCUT JOINTS	---

NOTES:
 A. CONTRACTOR SHALL PREPARE MOCK-UPS FOR WALLS. SEE 'MOCK-UP REQUIREMENTS', SHEET L0.0.
 B. PROVIDE AN ISOLATION JOINT WHERE PAVING ABUTS VERTICAL SURFACES SUCH AS BUILDINGS, WALL, STEPS, OR, AS NOTED IN THESE DRAWINGS.

MOCK-UP REQUIREMENTS

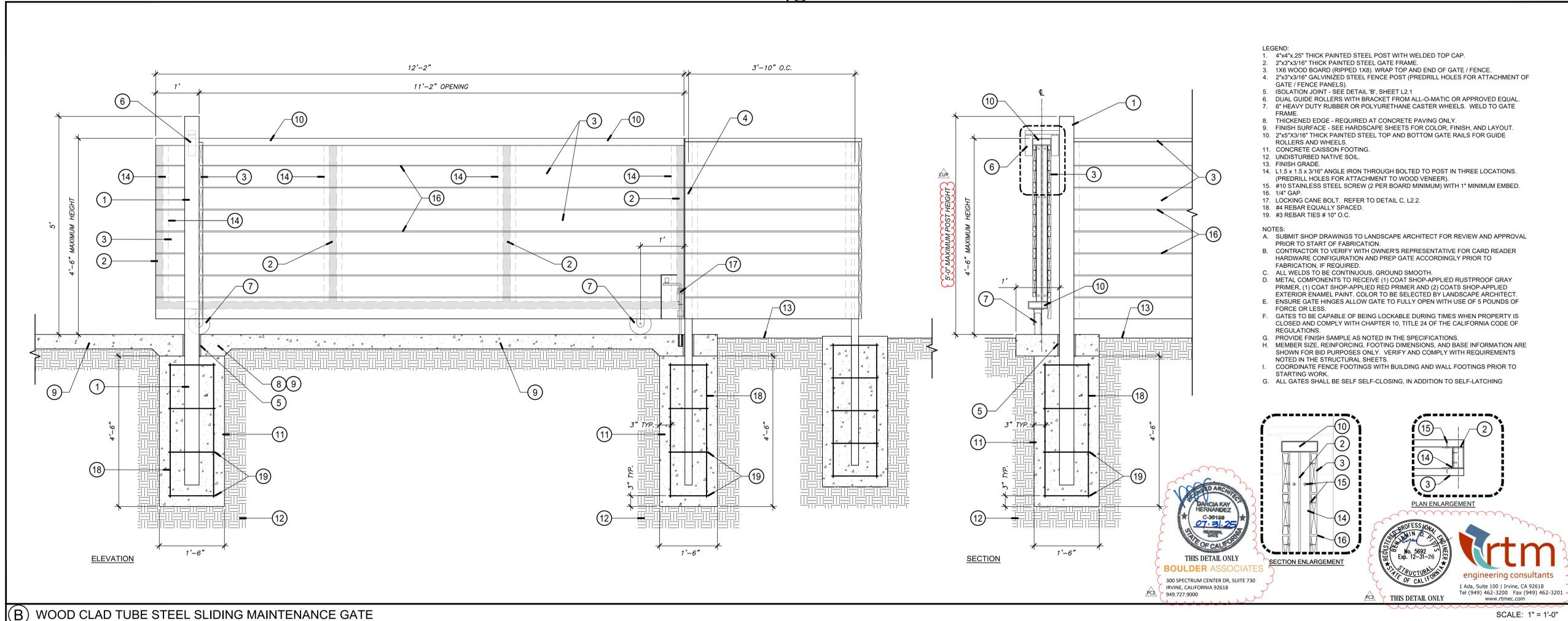
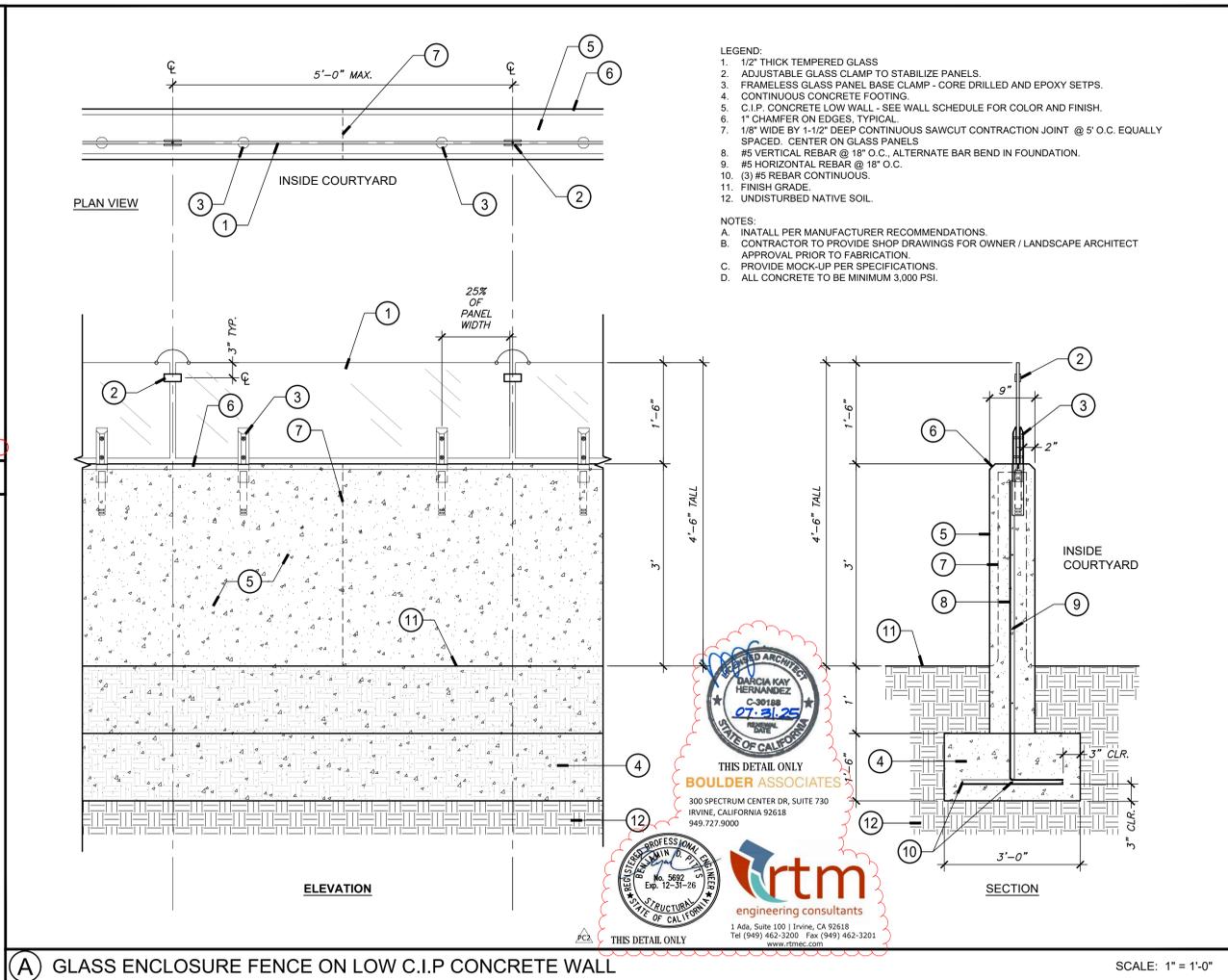
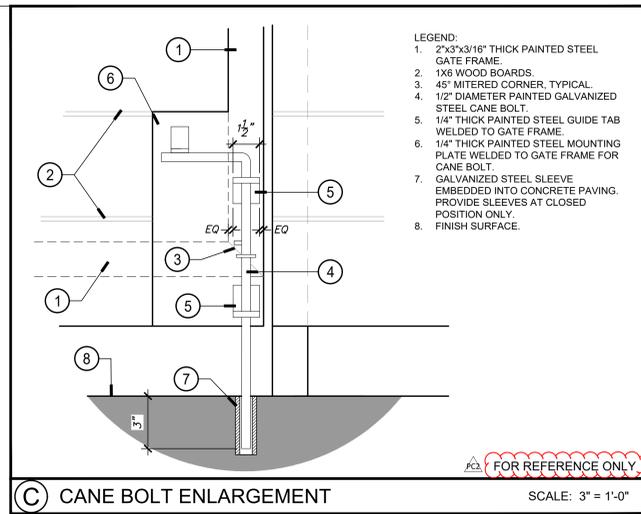
- HARDSCAPE PAVING - PROVIDE (1) 4' x 4' SQUARE MOCK-UP FOR EACH PAVING TYPE NOTED IN THE COLOR AND FINISH SCHEDULE. EACH MOCK-UP TO INCLUDE THE SPECIFIED COLOR, FINISH, AN EXAMPLE OF EACH JOINTING TYPE NOTED IN THE CONSTRUCTION KEYNOTES AND DETAILS, AND SPECIFIED SEALER. IN PLACE MOCK-UPS WILL NOT BE ACCEPTED. CONTRACTOR SHALL PROVIDE ADDITIONAL SAMPLES UNTIL THE COLOR AND FINISH IS CONSIDERED ACCEPTABLE BY THE OWNER'S REPRESENTATIVE, AT NO ADDITIONAL COST TO THE OWNER.
- MOCK-UP LEAD TIMES - BE AWARE OF POSSIBLE LEAD TIMES FOR ITEMS SUCH AS BUT NOT LIMITED TO PRE-CAST CONCRETE PAVERS. SIMILAR COLORS AND SIZES WILL NOT BE ACCEPTED AS A MOCK-UP REVIEW.
- HARDSCAPE ELEMENTS - PROVIDE A PHYSICAL SAMPLE OF SPECIFIED MATERIALS (COLOR, FINISH, AND SEALER) TO THE OWNER AND LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO PLACING ORDER. ITEMS SUCH AS BUT NOT LIMITED TO PRE-CAST CONCRETE ELEMENTS, INDICATED WOOD SAMPLES, AND OTHER SITE FURNISHING MATERIALS.
- WALLS - PROVIDE (1) 3' TALL BY 3' LONG BY 8" WIDE MOCK-UP FOR EACH WALL TYPE NOTED IN THE WALL SCHEDULE. EACH MOCK-UP TO INCLUDE THE SPECIFIED COLOR, FINISH, JOINTING, EDGING, CAP (AS NOTED IN CONSTRUCTION KEYNOTES AND DETAILS), AND SPECIFIED SEALER. CONTRACTOR SHALL PROVIDE ADDITIONAL SAMPLES UNTIL THE COLOR AND FINISH IS CONSIDERED ACCEPTABLE BY THE OWNER'S REPRESENTATIVE, AT NO ADDITIONAL COST TO THE OWNER.
- MOCK-UPS TO BE PROTECTED ON-SITE THROUGHOUT THE DURATION OF THE CONSTRUCTION SCHEDULE.
- REMOVE MOCK-UPS AT COMPLETION OF CONSTRUCTION WHEN DIRECTED BY THE OWNER OR LANDSCAPE ARCHITECT.
- SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

SHEET TITLE

HARDSCAPE SCHEDULES & PLAN

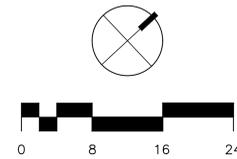
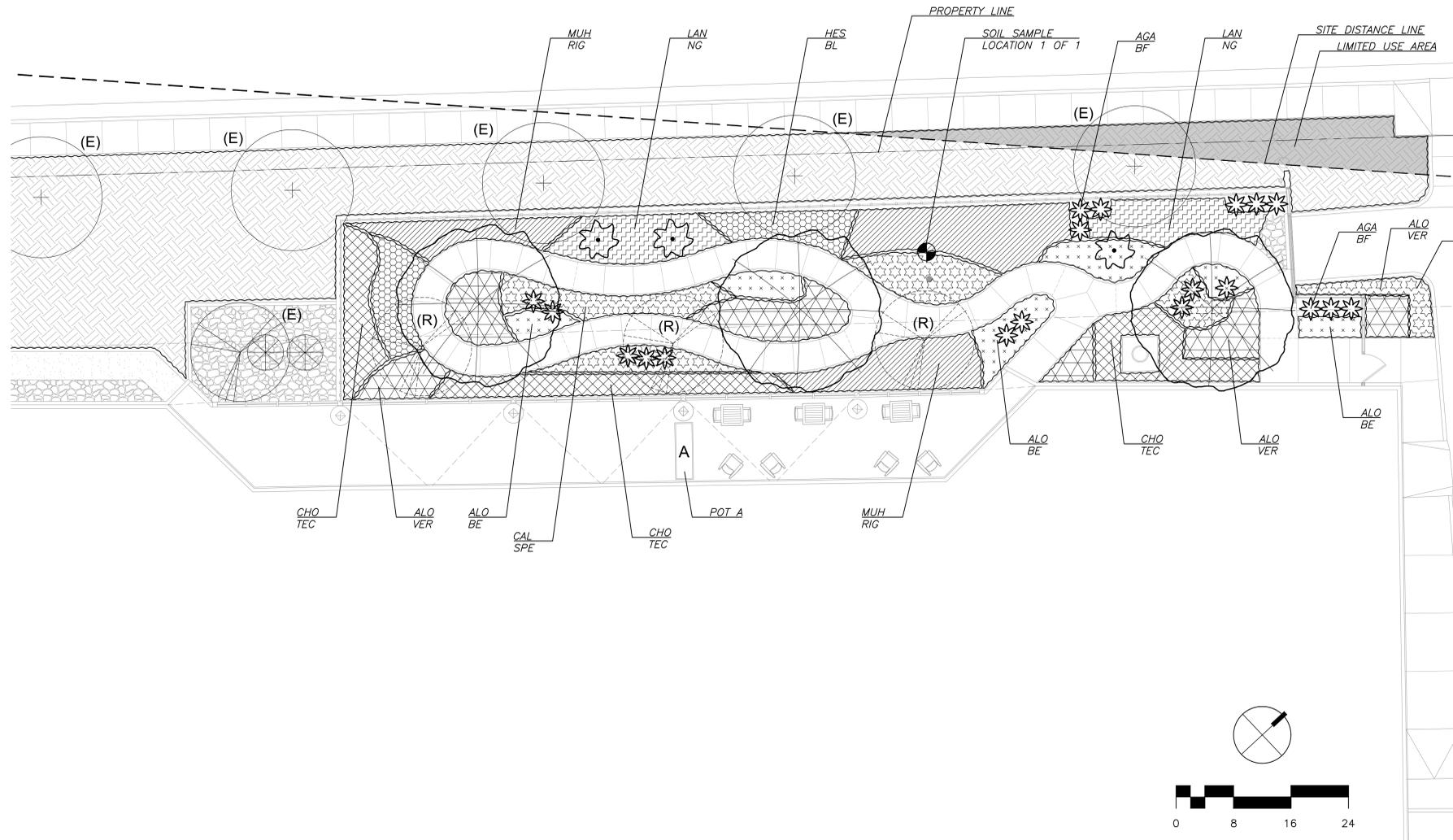
SHEET NUMBER

L1.1



PLANTING NOTES

- REFER TO PLANTING SPECIFICATIONS AND DETAILS FOR SOIL PREPARATION, FERTILIZATION, MULCHING AND OTHER PLANTING INFORMATION.
- NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE AND THE CITY INSPECTOR 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES.
- VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE WORK. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY SHOULD FIELD CONDITIONS VARY FROM THOSE SHOWN ON PLAN.
- REPORT DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT. CORRECTED DRAWINGS OR INSTRUCTION SHALL BE ISSUED PRIOR TO THE CONTINUATION OF THIS WORK. ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY CORRECTIONS DUE TO FAILURE TO REPORT KNOWN DISCREPANCIES.
- LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND PROTECT THEM FROM DAMAGE. NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY AND ASSUME FULL RESPONSIBILITY FOR EXPENSE OF REPAIR OR REPLACEMENT IN CONJUNCTION WITH DAMAGED UTILITIES.
- LOCATION OF N.I.C. CONSTRUCTION ELEMENTS SUCH AS LIGHTS, SIGNS, VENTS, HYDRANTS, TRANSFORMERS, ETC. ARE APPROXIMATE. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY SHOULD THE LOCATION OF THESE ITEMS INTERFERE WITH THE PROPER EXECUTION OF WORK.
- PROVIDE PRE-PLANT WEED CONTROL IN ALL PROPOSED PLANTER AREAS, PER SPECIFICATIONS, PRIOR TO START OF PLANTING. WEED CONTROL INCLUDES ERADICATION OF ALL EXISTING WEED PLANTS, AS WELL AS VIABLE SEEDS AND ROOTS. USE A NON-SELECTIVE SYSTEMIC CONTACT HERBICIDE, APPLIED PER MANUFACTURER'S RECOMMENDATIONS AND LEAVE SPRAYED PLANTS INTACT FOR AT LEAST 14 DAYS BEFORE REMOVING BY MOWING OR GRUBBING. APPLY WATER BY IRRIGATION OR BY HAND FOR 10 DAYS AS REQUIRED TO ACHIEVE WEED GERMINATION, AND THEN RE-APPLY CONTACT HERBICIDES PER ABOVE. REPEAT AS REQUIRED TO ELIMINATE ALL WEEDS PRIOR TO PROCEEDING WITH PLANTING OPERATIONS.
- OBTAIN ALL SOIL FOR LANDSCAPE PLANTING AREAS OR BERMS FROM ON-SITE EXCAVATIONS. SHOULD IMPORT SOIL BE NECESSARY, SUBMIT IMPORT SOIL TESTING RESULTS FOR APPROVAL PRIOR TO IMPORTATION. SOIL SHALL BE SANDY LOAM CONTAINING NO TOXIC CHEMICALS OR ELEMENTS WHICH MAY INHIBIT OR RETARD NORMAL PLANT GROWTH.
- AFTER ROUGH GRADES HAVE BEEN ESTABLISHED IN PLANTING AREAS, HAVE SOIL SAMPLES TAKEN AT THE LOCATIONS INDICATED ON PLANTING PLAN. HAVE SAMPLES TESTED BY SUMMIT TURF & HORTICULTURE CONSULTANTS, (714) 340-5216, FOR SOIL FERTILITY. TAKE TWO SAMPLES AT EACH LOCATION: (1) GROUND LEVEL TO 10" DEEP, (2) 24" TO 36" DEEP. EACH SAMPLE SHALL CONTAIN APPROXIMATELY 1 QUART OF SOIL TO BE LABELED PER LOCATION AND DEPTH. INSTALL SOIL PREPARATION AND BACK FILL MIX TO CONFORM TO THESE RECOMMENDATIONS ONLY UPON RECEIPT OF WRITTEN CHANGE ORDER FROM THE OWNER. SUBMIT SOIL REPORT TO LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- ENSURE THAT ROUGH GRADING HAS BEEN CERTIFIED BY CIVIL ENGINEER AND THAT CIVIL ENGINEER OR OWNER'S AUTHORIZED REPRESENTATIVE HAS APPROVED FINE GRADING TO 1/4" OF A FOOT PRIOR TO BEGINNING SOIL PREPARATION OPERATIONS. PROVIDE FOR INCLUSION OF ALL AMENDMENTS, SETTLING, ETC. IN DETERMINATION OF FINAL GRADES.
- ASSURE POSITIVE DRAINAGE IN ALL PLANTING AREAS, 2% MINIMUM.
- LOCATE AND TAG ALL PLANT MATERIAL. MATERIAL SHALL BE IN CONFORMANCE WITH PLANTING PLAN DESCRIPTIONS AND SPECIFICATIONS. ALL PLANT MATERIAL IS SUBJECT TO REVIEW AND APPROVAL PRIOR TO INSTALLATION. PROVIDE PHOTOS OF REPRESENTATIVE EXAMPLES OF EACH TAGGED BLOCK TO LANDSCAPE ARCHITECT MINIMUM 21 DAYS BEFORE ANTICIPATED DELIVERY. PHOTOS SHALL INCLUDE A PERSON FOR SCALE PURPOSES. LANDSCAPE ARCHITECT MAY OPT TO REVIEW MATERIAL AT GROWING NURSERY. MATERIAL DELIVERED TO THE SITE MAY BE REJECTED BASED ON UNHEALTHY APPEARANCE OR NON-COMFORMANCE WITH SPECIFICATIONS EVEN IF PREVIOUSLY REVIEWED BY THE LANDSCAPE ARCHITECT OR THE OWNER.
- FINAL LOCATION OF ALL PLANT MATERIALS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
- PLANTING QUANTITIES ARE GIVEN FOR CONVENIENCE ONLY. PLANT SYMBOLS AND SPECIFIED SPACING SHALL TAKE PRECEDENCE.
- AT EDGES OF PLANTING AREAS, THE CENTER LINE OF THE LAST ROW OF SHRUBS AND/OR GROUND COVER SHALL BE LOCATED AT ONE-HALF THE SPECIFIED ON CENTER SPACING FROM THE EDGE.
- INSTALL GROUND COVER AND/OR SHRUB MASSES WITH TRIANGULAR SPACING UNLESS OTHERWISE INDICATED.
- ALL CURVE TO CURVE AND CURVE TO TANGENT LINES SHALL BE NEAT, TRIM, SMOOTH AND UNIFORM.
- REMOVE ALL NURSERY STAKES AND ESPALIER RACKS IMMEDIATELY AFTER INSTALLATION UPON PROVIDING SUPPORT PER PLAN.
- DURING THE LENGTH OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER STAKING AND/OR GUYING OF TREES TO ENSURE STABILITY.
- MULCH ALL LANDSCAPE AREAS (EXCLUDING TURF AND BIO-RETENTION BASIN BOTTOMS) WITH A 3" DEEP LAYER OF 5/8" 15' FOREST FLOOR BARK MULCH BY AGUNGA GREEN OR APPROVED EQUAL, AT THE CONCLUSION OF PLANTING OPERATIONS. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- KEEP BARK MULCH 4-INCHES CLEAR FROM BASE OF TREES, SHRUBS, GRASSES, AND SUCCULENTS.
- CONTRACTOR SHALL REPLACE ANY EXISTING PLANT MATERIAL WHICH IS DAMAGED BY CONSTRUCTION OPERATIONS. REPLACEMENT PLANT MATERIAL MUST BE OF MATCHING SPECIES, INSTALLED FROM THE FOLLOWING MINIMUM SIZE: 15-GALLON TREE, 1-GALLON SHRUB, FLATTED GROUND COVER AND SODDED TURF.
- INSTALLATIONS THAT ARE ADJACENT OPEN SPACE, NATURALIZED SLOPES OR UNDEVELOPED LAND ARE SUBJECT TO DAMAGE BY RODENTS OR DEER AND SHALL BE TREATED WITH AN APPROPRIATE REPELLENT IN A SPRAY AND/OR TABLET FORM. REPELLEX BY GROPOWER OR APPROVED EQUAL, THAT PROVIDES IMMEDIATE AND LONG TERM PROTECTION, SHALL BE USED.
- INSTALL TEMPORARY EROSION CONTROL MATTING (SC-150 BY NORTH AMERICAN GREEN OR APPROVED EQUAL) ON ALL SLOPES 3:1 AND STEEPER AND 3' AND GREATER IN HEIGHT. SECURE NETTING IN PLACE WITH 9' LONG GALVANIZED SOIL STAPLES AT 12" O.C. ALONG THE TOP OF THE SLOPE AND 5' O.C. DOWN THE SLOPE IN BOTH DIRECTIONS. PROVIDE MINIMUM 24" OVERLAP AT TOP AND BOTTOM AND 36" OVERLAP THE SIDES.
- ROOT BARRIERS SHALL BE INSTALLED AT ALL TREES WITHIN 5 FEET OF ANY HARDSCAPE, PAVEMENT OR CURB. ROOT BARRIERS ARE TO BE UB24-2" BY DEEP ROOT CORPORATION, (800) 458-7668, INSTALLED PER MANUFACTURER'S SPECIFICATIONS. NOTE: ROOT BARRIERS SHALL NOT BE WRAPPED AROUND THE ROOTBALL. ROOT BARRIERS INSTALLED ADJACENT TO A BIOSWALE SHALL NOT INTERFERE WITH DRAINAGE TO OR FROM THE BIOSWALE SYSTEM.
- ANNUAL COLOR TO BE SELECTED BY LANDSCAPE ARCHITECT AT TIME OF INSTALLATION. REQUEST RECOMMENDATION A MINIMUM OF 48 HOURS IN ADVANCE OF NEED FOR DELIVERY.



PLANT SCHEDULE

TREES									
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE / FORM	HT. X SPRD. X CAL. (MIN)	WATER USE	DESCRIPTION	DETAIL	QTY.	
	LAGERSTROEMIA INDICA 'NATCHEZ'	NATCHEZ WHITE CRAPE MYRTLE	48" BOX STD.	8'H X 5'W X 4"C	M	FLOWERING TREE	A, L7.1	3	
SHRUBS, GRASSES, & GROUNDCOVERS									
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER USE	DESCRIPTION	DETAIL	QTY.
	AGA BF	AGAVE 'BLUE FLAME'	BLUE FLAME AGAVE	5 GAL.	36" O.C.	L	SUCCULENT ACCENT	B-C, L7.1	19
	ALO BE	ALOE 'BLUE ELF'	BLUE ELF ALOE	1 GAL.	18" O.C.	L	SUCCULENT GROUND COVER	B-C, L7.1	129
	ALO VER	ALOE VERA	MEDICINAL ALOE	5 GAL.	30" O.C.	L	MIDGROUND SUCCULENT	B-C, L7.1	69
	CAL SPE	CALANDRINIA SPECTABILIS	ROCK PURSLANE	1 GAL.	18" O.C.	L	SUCCULENT GROUND COVER	B-C, L7.1	200
	CHO TEC	CHONDROPETALUM TECTORUM	CAPE RUSH	5 GAL.	36" O.C.	L	ORNAMENTAL GRASS	B-C, L7.1	48
	DAS WHE	DASYLIRON WHEELERI	DESERT SPOON	5 GAL.	48" O.C.	L	SUCCULENT ACCENT	B-C, L7.1	3
	HES BL	HESPERALOE 'BRAKELIGHTS'	BRAKELIGHTS YUCCA	5 GAL.	36" O.C.	L	UPRIGHT ACCENT	B-C, L7.1	23
	LAN NG	LANTANA 'NEW GOLD'	NEW GOLD LANTANA	5 GAL.	36" O.C.	L	FLOWERING LOW SHRUB	B-C, L7.1	33
	MUH RIG	MUHLENBERGIA RIGENS	DEERGRASS	5 GAL.	36" O.C.	L	ORNAMENTAL GRASS	B-C, L7.1	60
	WATER USE KEY: VL = VERY LOW WATER USE, L = LOW WATER USE, M = MODERATE WATER USE, H = HIGH WATER USE. WATER USE STATED IS PER WATER USE CLASSIFICATION OF LANDSCAPE SPECIES' (ALSO REFERRED TO AS WUCOLS IV) FOR THE CITY OF IRVINE.								
	DENOTES SOIL SAMPLE LOCATION - REFER TO PLANTING NOTE '9' FOR ADDITIONAL INFORMATION.								

CONTAINER PLANTING SCHEDULE

SYMBOL	CONTAINER SIZE	BOTANICAL NAME	COMMON NAME	SIZE	QTY. PER CONTAINER	TOTAL QTY.
	96" L x 30" W x 30" H (1 TOTAL) SHADE EXPOSURE	FICUS NITIDA	INDIAN FIG	24" BOX	3	3

EXISTING PLANT SCHEDULE

TREES			
SYMBOL	BOTANICAL NAME	COMMON NAME	COMMENTS
	CERCIDIUM 'DESERT MUSEUM'	DESERT MUSEUM PALO VERDE	- NO EXISTING TREES TO BE REMOVED
	CHILOPSIS LINEARIS	DESERT WILLOW	- (3) EXISTING TREES TO BE REMOVED
SHRUBS, GRASSES, & GROUNDCOVERS			
SYMBOL	DESCRIPTION		COMMENTS
	DASYLIRON WHEELERI	DESERT SPOON	--
	EXISTING SHRUBS AND GROUND COVER		PROTECT IN PLACE

NOTE: THE LETTER (E) NEXT TO A TREE SYMBOL INDICATES AN EXISTING TREE TO BE PROTECTED IN PLACE. THE LETTER (R) INDICATES AN EXISTING TREE TO BE REMOVED FROM SITE.

LANDSCAPE SUMMARY

TOTAL SITE AREA: (WITHIN LIMIT OF WORK)	3,824 SQ. FT.
TOTAL EXISTING LANDSCAPE AREA: (WITHIN LIMIT OF WORK)	3,543 SQ. FT.
TOTAL PROPOSED LANDSCAPE AREA: (WITHIN LIMIT OF WORK)	2,717 SQ. FT. (71.05%)
TOTAL PROPOSED HARDSCAPE AREA: (WITHIN LIMIT OF WORK)	1,107 SQ. FT. (28.95%)
EXISTING TREES TO BE REMOVED:	3 TREES (REFER TO PLAN)
EXISTING TREES TO REMAIN:	6 TREES (REFER TO PLAN)
PROPOSED TREES TO BE ADDED:	3 TREES (REFER TO PLAN)



1063 McGaw Avenue Suite 100
Irvine, CA 92614

January 14, 2026

City of Irvine
Community Development Department - Planning Division
1 Civic Center Plaza
Irvine, CA 92606-5207

Re: CUP Modification for Easterseals - 00956257-PCPM

Easterseals Southern California (ESSC), a California non-profit Corporation, serves local children and adults with autism spectrum disorders, and/or similar disabilities and their families. We currently provide comprehensive early intervention services within a portion of our corporate offices located at 1063 McGaw in Irvine. To meet the growing needs of families in the area, we propose dedicating more space to direct program services within the building, expanding from the previously approved 3,520 square feet to 17,375 square feet.

The program activities will continue to operate as currently approved with a full menu of individualized services for children ages 2 through young adulthood with autism spectrum disorder and similar disabilities. The center's business hours will remain from 8:30 AM to 7:30 PM Monday thru Friday. The expanded program areas will consist of individual therapy rooms, a playroom, conference rooms for training, resource and learning spaces for participants and caregiver groups, and office space for administrative and support functions

Services will include one-on-one Applied Behavior Analysis Therapy to stimulate positive behaviors; Speech Therapy to enhance communication skills and abilities; Occupational Therapy to promote independent living skills; and Physical Therapy to enhance motor skills. In addition to these services, Easterseals will provide Severe Behavior Services (SBS) to approximately 10 individuals at a time consisting of 2:1 or 3:1 services, based on the needs of the individual. Sessions range from 3 to 8 hours depending on the clinical recommendations of behavior experts (BCBAs). These supports are provided on-site at the center and/or in the participant's home with family involvement – a critical component of the growth and development process. This expanded space will also serve as a hub for staff who support and deliver services in the surrounding area.

ENCLOSURE 2

Occasional weekday and weekend activities (i.e., social skills instructional sessions and family game nights) may occur for clients, their families and therapists. These sessions shall begin no earlier than 6:15 p.m. during the week so as to not conflict with PM peak hour traffic. This schedule does not apply to the use of office space at this building.

The building will *not* be redesigned or used to provide medical services nor will ESSC employ medical personnel (i.e., medical doctors, nurses, lab techs, etc.) or maintain diagnostic or medical treatment equipment at this location.

All activities related to the program services portion of the building are consistent with the existing conditional use permit (007234097-PCMP). They adhere to city Zoning Ordinance requirements and meet all parking and traffic impact requirements. The use is a benefit to the community and not detrimental to public health, safety or welfare. Finally, as evidenced by the existing service delivery, the use is compatible with current and future uses in the area.

The operating schedule for the program services will be as follows:

Service	Morning 7:30-11:59am	Midday 12-3 pm	Afternoon 3-5 pm	Evening 5-7:30 pm
SBS Therapy	8-10 individuals 15 to 25 staff			
Center-based ABA	5 individuals 5 staff	7 individuals 7 staff	7 individuals 7 staff	3 individuals 3 staff
Speech Therapy	3 individuals 3 staff	3 individuals 3 staff	3 individuals 3 staff	3 individuals 3 staff
Occupational Therapy	0-2 individuals 5 staff	0-2 individuals 5 staff	5 individuals 5 staff	3 individuals 5 staff
Physical Therapy	0-2 individuals 1 staff	0-2 individuals 1 staff	0-2 individuals 1 staff	N/A

Arrival schedule	Program Staff Participants	
7:30 AM to 8:30 AM	40	4
8:30 AM to 10:00 AM	27	16
10:00 AM to 11:00 AM	11	16
1:00 PM to 2:00 PM	11	26
3:00 PM to 4:00 PM	--	31
5:00 PM to 6:00 PM	--	15
6:00 PM to 7:00 PM	--	15

Departure Schedule	Program Staff Participants	
8:30 AM to 10:00 AM	--	10
10:00 AM to 11:00 AM	--	15
12:00 PM to 1:00 PM	--	11
1:00 PM to 2:00 PM	--	16
3:00 PM to 4:00 PM	30	26
5:00 PM to 6:00 PM	31	15
6:00 PM to 7:00 PM	31	30

The exterior courtyard space will be used as an outdoor break area for program participants to walk and get fresh air while on break from indoor instruction and therapy in a safe space away from vehicles. Due to the unique safety requirements of the population served, we propose enclosing this space with a 4.5-foot-tall transparent glass wall with 4" wide post at 5 feet. The glass wall will help maintain the character of the neighborhood and preserve visual sight lines.

More details can be found in the accompanying attachments.

Sincerely,



Mark Whitley
President



NOTICE OF EXEMPTION

TO: State of California
Office of Planning & Research
PO Box 3044
Sacramento, CA 95812-3044

County Clerk
County of Orange
PO Box 238
Santa Ana, CA 92702

FROM:

City of Irvine
Community Development Department
PO Box 19575
Irvine, CA 92623-9575
Attn: Michael O'Toole
Associate Planner
949-724-6102

SUBJECT: Filing of **Notice of Exemption** in compliance with Section 15062 of the Public Resources Code.
Project Title; File No: Minor Modification to the approved Conditional Use Permit for Easterseals Southern California (File No. 00956257-PCPM)
Project Location: 1063 McGaw Avenue in Planning Area 36 (Irvine Business Complex), in the City of Irvine, County of Orange, CA
Project Description: Expand the existing community facility, which provides autism therapy services, within an existing office building. The project also includes administrative relief from wall/fence standards to allow a 4.5-foot high wall surrounding a new outdoor break area. The facility will continue to function as originally approved.

Approving Public Agency: City of Irvine
Director of Community Development
PO Box 19575
Irvine, CA 92623-9575

Approval Date: February 17, 2026
Resolution No. N/A

Project Applicant: Easterseals Southern California
1063 McGaw Avenue
Irvine, CA 92614
Attn: Bryan Layne
323-420-5599
bryan.layne@essc.org

Exempt Status:
(check one)

- Ministerial (Section 21080(b)(1); 15268)
- Declared Emergency (Section 21080(b)(3); 15269(a))
- Emergency Project (Section 21080(b)(4); 15269(b)(c))
- Statutory Exemption:
- Categorical Exemption: Section 15301, Class 1 Existing Facilities
- General Rule Exemption (Section 15061(b)(3))

Reasons Why Project Is Exempt: Project is exempt pursuant to CEQA Guidelines Section 15301 Class 1, Existing Facilities. Class 1 consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use. The proposed project will expand existing community facility use within an existing office building and add a new outdoor break area. The use is consistent and compatible with the previously approved use permit

Michael O'Toole,
Associate Planner

Name and Title

Signature

February 17, 2026

Date