



May 5, 2026

Ginger Shulman  
LPA Design Studios, Inc.  
5301 California Avenue, Suite 100  
Irvine, CA 92617

**Sent Via Email**

**Subject: Approval of Minor Modification 00956249-PMP to Master Plan 00464028-PMP for the redesign of the approved, unbuilt Parish Church, including a reduction in building area and elimination of previously approved height elements, at 51-55 Marketplace in Planning Area 4 (Lower Peters Canyon)**

Dear Ms. Shulman:

Community Development Department staff reviewed Minor Modification 00956249-PMP to Master Plan 00464028-PMP for the 8.4-acre campus of St. Thomas More Catholic Church. The project site is located at 51-55 Marketplace, at the northwest corner of Irvine Boulevard and Marketplace, within Planning Area 4 (Lower Peters Canyon). The site has a General Plan designation of Multi-Use and is zoned 3.1C Multi-Use.

The original master plan (File No. 00464028-PMP) was approved March 6, 2008 for a 49,824-square-foot campus to be developed in three phases. Phase 1 (which has been constructed) includes a 23,530-square-foot Parish Hall with associated site improvements, including landscaping, courtyards, lighting, and 497 parking spaces. Phase 2 is comprised of the main church sanctuary (containing 1,500 fixed seats) including a rotunda and bell tower, expansion of the parking lot, and the remainder of the St. Thomas More path on-site. Phase 3 consists of construction of the youth center at the northern edge of the Parish Hall.

The proposed modification would revise the improvements included in Phase 2 of the master plan and consists of a redesign of the approved but unbuilt Parish Church, including a reduction in building area from 23,583 square feet to 20,000 square feet with a reduction in seating capacity from 1,500 to 963 fixed seats. A revised architectural design for the church building reflects an updated Tuscan and Spanish-inspired character featuring clay tile roofing, smooth plaster facades, and stone veneer accents. The modification would also eliminate the previously rotunda and bell tower architectural features.

Section 2-19-2 of the Irvine Zoning Ordinance contains criteria to determine when a proposed modification is classified a "major modification." A major modification must be

reviewed by the original approving authority at a public hearing. However, where none of the criteria are met, the application is a “minor modification” and reviewed by the Director of Community Development.

Based on the submittal, the Director of Community Development determines that the proposed modification does not meet any of the five criteria to be classified as a major modification. Therefore, the project is a minor modification for the following reasons:

1. Proposed addition, deletion, and/or relocation of approved structures and/or land uses which would cause significant or potentially significant environmental impacts, based upon staff's analysis prepared in accordance with City policy.

The proposed modification results in a net reduction in building square footage and massing compared to the Parish Church originally approved as part of Phase 2. Specifically, the revised Parish Church (measuring 20,000 square feet in size) is smaller than the approved Parish Church, at 23,583 square feet in size and there would be a corresponding reduction of 537 fixed seats. The modification would also eliminate the rotunda and bell tower features, further reducing visual impacts. No new land uses are introduced by this modification.

The project falls within the scope of the environmental review conducted for the original master plan (File No. 00464028-PMP) approval and does not require subsequent environmental review pursuant to CEQA Guidelines Section 15162. In accordance with Section 15168(c)(2) of the CEQA Guidelines, an Environmental Evaluation for Subsequent Activity Under an Environmental Impact Report (EIR) has been prepared which concludes that the proposed modification is within the scope of the previously certified Lower Peters Canyon Specific Plan Program EIR (County EIR No. 557, SCH# 94041030) (Enclosure 2). The Environmental Evaluation finds that the proposed modification would not result in new or more severe significant environmental impacts than those previously analyzed, and no new mitigation measures are required beyond those already incorporated into the project. No new significant environmental impacts are anticipated beyond those previously analyzed. Therefore, the scope of this modification will not result in significant or potentially significant environmental impacts.

2. Proposed addition, deletion and/or relocation of approved structures and/or land uses which would cause significant or potentially significant on-site and off-site traffic impacts, based on staff's analysis of the transportation issues prepared in accordance with City policy.

The proposed modification reduces the intensity of the previously approved use, including a reduction in seating capacity of the Parish Church below the originally approved program. With fewer parishioners traveling to the site, there would be a direct reduction in average daily vehicle trips (ADT) generated by the site. The

modification, which reduces site activity, remains within the original traffic assumptions and ADT budget established under the approved master plan. However, Conditions 4.14 and 6.20 (previously Condition A.1.a.2.) require the construction of a 150-foot southbound left-turn pocket on Marketplace at Irvine Boulevard to facilitate vehicles exiting and entering the church site. Furthermore, no changes to site access, driveway locations, or off-site circulation improvements are proposed. Therefore, the project will not cause significant or potentially significant on-site or off-site traffic impacts.

3. The intent of the findings and conditions of approval for the approved project would not be preserved.

The modification is consistent with, and does not alter, the intent of the findings or conditions of approval of the original master plan. The purpose of the original approval was to establish a cohesive, multi-purpose religious campus supporting worship, fellowship, and community ministry at the site. The proposed modification maintains this purpose by retaining the full institutional character and operational function of the campus. The revised Parish Church continues to serve the same religious and community functions as the originally approved design. Condition 6.20 is included in this approval to ensure the site continues to comply with all applicable conditions from previous entitlements, which required 150-foot southbound left-turn pocket on Marketplace at Irvine Boulevard. Additionally, the project will continue to be subject to the prior condition stating that that no assembly should be permitted in the parish center (constructed in Phase 1) at the same time the main sanctuary (proposed in Phase 2) is in use unless added parking is made available to meet Zoning Ordinance requirements. Therefore, the modification is consistent with the intent of the findings and conditions of approval of the original approval.

4. Proposed addition, deletion, and/or relocation of structures would result in an impact to, or introduction of, sensitive uses not previously considered within the site. This includes, but is not limited to, uses not previously considered such as childcare centers, schools, residences, and medical establishments.

The modification does not alter the existing use of the site or introduce any new uses to the project site. The proposed modification is limited to the architectural redesign and building size reduction of the approved Parish Church. The site was originally approved as a religious campus and will continue to operate in that capacity. No sensitive uses, including childcare centers, schools, residences, or medical establishments, are introduced by this modification. Therefore, the project will not result in an impact to, or introduction of, sensitive uses not previously considered.

5. Reconfiguration of the site plan resulting in: a) a significant reduction of landscaping; or b) a significant change in parking.

The modification involves a reduction in building area and elimination of previously approved architectural elements. For the 3.1C Multi-Use zone, a minimum of 15% landscape site coverage is required. The existing landscape coverage for the site is 34.1%. This will be reduced to 28.9% with the incorporation of proposed modification, which still allows the site to maintain a robust landscaping design consistent with the original approval and in excess of the minimum coverage required. Furthermore, the existing landscape screen hedge abutting the adjacent residential zone and the intersection landscape screen hedge at Irvine Boulevard and Marketplace will remain in place, consistent with Section 9-4-7(A)(6)(d), *Special development requirements*, of the Zoning Ordinance for Planning Area 4 (Lower Peters Canyon). Planning Area 4 (Lower Peters Canyon).

The proposed modification will reduce the existing parking supply of 497 spaces by nine spaces to 488 spaces to accommodate site improvements required in conjunction with Phase 2 construction, including electric vehicle (EV) charging infrastructure, a trash enclosure sized to meet the organic waste recycling requirements of Senate Bill 1383, and an Orange County Fire Authority access drive aisle. Based on the revised seating capacity of 963 seats for the Parish Church, the code-required parking obligation (one parking space per three fixed seats for buildings less than 50,000 square feet in size) is 321 spaces. Therefore, the project will maintain a surplus of 168 parking spaces.

Therefore, this modification will not result in a significant reduction in landscaping or a significant change in parking.

Based on the information submitted with this application, the Director of Community Development makes the following finding pursuant to Section 2-19-7 of the Zoning Ordinance and hereby approves Minor Modification 00956249-PMP.

1. The modification does not alter or affect the intent of the findings and conditions of the original project approval.

The modification reduces the scope of Phase 2 of the approved master plan and does not result in a change of use or other significant change that would substantially alter the intent and purpose of the original approval. The revised Parish Church retains the same institutional use, maintains architectural compatibility with the established campus design, and complies with the applicable development standards of the 3.1C Multi-Use zone and the Special Development Requirements of Planning Area 4 (Lower Peters Canyon), as set forth in Section 9-4-7 of the Irvine Zoning Ordinance. The modification remains consistent with the Multi-Use land use designation of the City's General Plan. The project will comply with all previous conditions of approval of Master Plan 00464028-PMP and all subsequent modifications. As such, the project remains consistent with the intent of the findings

and conditions of approval associated with the original approval. All applicable conditions of approval shall remain in full force and effect.

This approval is subject to the following conditions of approval:

### **PRIOR TO THE ISSUANCE OF GRADING PERMITS**

#### Condition 2.26

#### FIRE MASTER PLAN

Prior to OCFA clearance of a final map, or prior to the issuance of a precise grading permit, or prior to the issuance of a building permit if a grading permit is not required, the applicant shall obtain Orange County Fire Authority approval of a Fire Master Plan for the project site (OCFA Service Code PR145).

### **PRIOR TO THE ISSUANCE OF BUILDING PERMITS**

#### Condition 3.30

#### ORANGE COUNTY FIRE AUTHORITY REVIEW

Prior to the issuance of building permits for each proposed building, the applicant shall submit the following plans to the Orange County Fire Authority (OCFA) for review and approval:

- A. Architectural (Service Codes PR200–PR285);
- B. Automatic Fire Sprinkler System and Standpipe System (Service Codes PR410–PR425); and
- C. Underground Fire Service Piping Service Codes PR470–PR475).

### **PRIOR TO THE AUTHORIZATION TO USE, OCCUPY, AND/OR OPERATE**

#### Condition 4.13

#### FIRE INSPECTIONS

Prior to issuance of temporary or final certificate of occupancy, all OCFA inspections shall be completed to the satisfaction of the OCFA inspector and be in substantial compliance with codes and standards applicable to the project and commensurate with the type of occupancy (temporary or final) requested. Inspections shall be scheduled at least five days in advance by calling OCFA Inspection Scheduling at 714-573-6150.

#### Condition 4.14

#### LEFT-TURN POCKET

Prior to the issuance of a final certificate of occupancy for Phase 2, the applicant shall construct a 150-foot southbound left-turn pocket on Marketplace at Irvine Boulevard. Street improvement plans depicting this improvement shall be submitted to and approved by the City Engineer prior to construction. All improvements shall be

constructed in conformance with applicable City standards and to the satisfaction of the City Engineer.

Condition 4.15

FIRE ALARM SYSTEM

Prior to concealing interior construction, the applicant shall submit a Fire Alarm System Installation Plan (Service Codes PR500–PR530) to Orange County Fire Authority for review and approval.

**MISCELLANEOUS**

Standard Condition 6.1

DISCRETIONARY CASE CHARGES

The applicant is responsible for paying all charges related to the processing of this discretionary case application within 30 days of the issuance of the final invoice or prior to the issuance of building permits for this project, whichever occurs first. Failure to pay all charges shall result in delays in the issuance of required permits or may result in the revocation of the approval of this application.

Standard Condition 6.2

LEGAL ACTION – HOLD HARMLESS

In accordance with the provisions of Section 5-5-114 of the Irvine Municipal Code and Government Code Section 66474.9, the applicant shall defend, indemnify, and hold harmless the City of Irvine and its agents, officers, and employees from and against any claim, action, or proceeding against the City agency or its agents, officers, or employees to attack, set aside, void, or annul an approval by the City, including, without limitation, an action by an advisory agency, appeal board, or legislative body concerning this discretionary approval. This defense and indemnification shall include the payment of all legal costs incurred on behalf of the City in connection with the application, and the defense of any claim, action or proceeding challenging the approval. The City will promptly notify the applicant of any claim, action, or proceeding and will cooperate fully in the defense.

In the event a legal challenge to the discretionary approval is successful, and an award of attorney fees is made to the challenger, the applicant shall be responsible to pay the full amount of such an award.

Condition 6.19

LUMBER-DROP INSPECTION

After installation of required fire access roadways and hydrants, the applicant shall receive clearance from the Orange County Fire Authority (OCFA) prior to bringing combustible building materials on-site. Call OCFA Inspection Scheduling at 714-573-6150 with the Service Request number of the approved fire master plan at least five days in advance to schedule the lumber drop inspection.

Ms. Ginger Shulman  
May 5, 2026  
Page 7 of 7

Condition 6.20

COMPLIANCE WITH PRIOR CONDITIONS

All applicable conditions of approval associated with Master Plan 00464028-PMP, to the extent applicable, and all applicable conditions of approval associated with subsequent modifications to that permit shall remain in full force and effect for the project site.

Unless an appeal is filed prior to the expiration of the five-business-day appeal period ending at 5 p.m. Tuesday, May 12, 2026, the approval granted by this letter shall become effective Wednesday, May 13, 2026.

The stamped-approved plans for Minor Modification 00956249-PMP are being transmitted electronically along with this letter. Should you wish to obtain a hard copy of the stamped-approved plans, please drop off a set of plans at the Planning counter. Please note that permits cannot be issued until all fees associated with this application are paid in full.

Should you have any questions regarding this approval, please contact Senior Planner Brett Cannon at 949-724-6687 or via email at [bcannon@cityofirvine.org](mailto:bcannon@cityofirvine.org).

Sincerely,



Stephanie Frady, AICP  
Director of Community Development

Enclosures:

1. Approved Project Plans
2. Environmental Evaluation for Subsequent Activity Under an EIR

ec: Diocese of Orange  
Alyssa Matheus, Planning Manager  
Chris Chung, Principal Planner  
File(s): 00956249-PMP; 00464028-PMP

# ST. THOMAS MORE CHURCH

51 MARKETPLACE, IRVINE, CA 92602



## APPROVAL BLOCK

\_\_\_\_\_  
DIOCESE OF ORANGE, JEFF GERMAMIA

\_\_\_\_\_  
ST. THOMAS MORE CATHOLIC CHURCH, FR. EUGENE LEE

\_\_\_\_\_  
CONSTRUCTION MANAGER, DANIEL DOUGLAS

\_\_\_\_\_  
LPA DESIGN STUDIOS, JAMES WIRICK

SHEET NUMBER	SHEET NAME	Sheet Discipline
<b>ST. THOMAS MORE CHURCH</b>		
<b>GENERAL</b>		
G0.00	COVER SHEET	GENERAL
G1.00	CODE ANALYSIS	GENERAL
<b>LANDSCAPE</b>		
L1.02	MATERIALS PLAN	LANDSCAPE
L1.02	MATERIALS PLAN	LANDSCAPE
L7.01	PLANTING PLAN	LANDSCAPE
L7.02	PLANTING PLAN	LANDSCAPE
<b>ARCHITECTURE</b>		
A1.00	EXISTING PHASE 01 ARCHITECTURAL SITE PLAN	ARCHITECTURE
A1.01	PROPOSED PHASE 02 ARCHITECTURAL SITE PLAN	ARCHITECTURE
A1.01A	PROPOSED PHASE 03 ARCHITECTURAL SITE PLAN	ARCHITECTURE
A1.01B	PRELIMINARY FIRE ACCESS PLAN	ARCHITECTURE
A1.02	SITE CONTEXT VIEWS	ARCHITECTURE
A2.01	FLOOR PLAN	ARCHITECTURE
A3.00	EXTERIOR ELEVATIONS	ARCHITECTURE
A3.01	EXTERIOR ELEVATIONS	ARCHITECTURE
<b>ARCHITECTURE (RECTORY)</b>		
A2.1.1	LEVEL 1 PLAN	ARCHITECTURE
A2.1.2	LEVEL 2 PLAN	ARCHITECTURE
A2.1.3	ROOF LEVEL PLAN	ARCHITECTURE
A3.1.1	ELEVATIONS	ARCHITECTURE
A3.1.2	ELEVATIONS	ARCHITECTURE
A4.1.1	SECTIONS	ARCHITECTURE

PROJECT NUMBER  
25048.50

Submittal	Date
AGENCY SUBMITTAL #1	10/17/2025
AGENCY SUBMITTAL #2	12/18/2025
AGENCY SUBMITTAL #3	03/16/2026



**IRVINE RANCH  
SPECIAL USE PARK**

**COVERED TRASH ENCLOSURE FRONT ELEVATION** 16  
1/8" = 1'-0"

**COVERED TRASH ENCLOSURE ROOF PLAN** 12  
1/8" = 1'-0"

**COVERED TRASH ENCLOSURE FLOOR PLAN** 08  
1/8" = 1'-0"

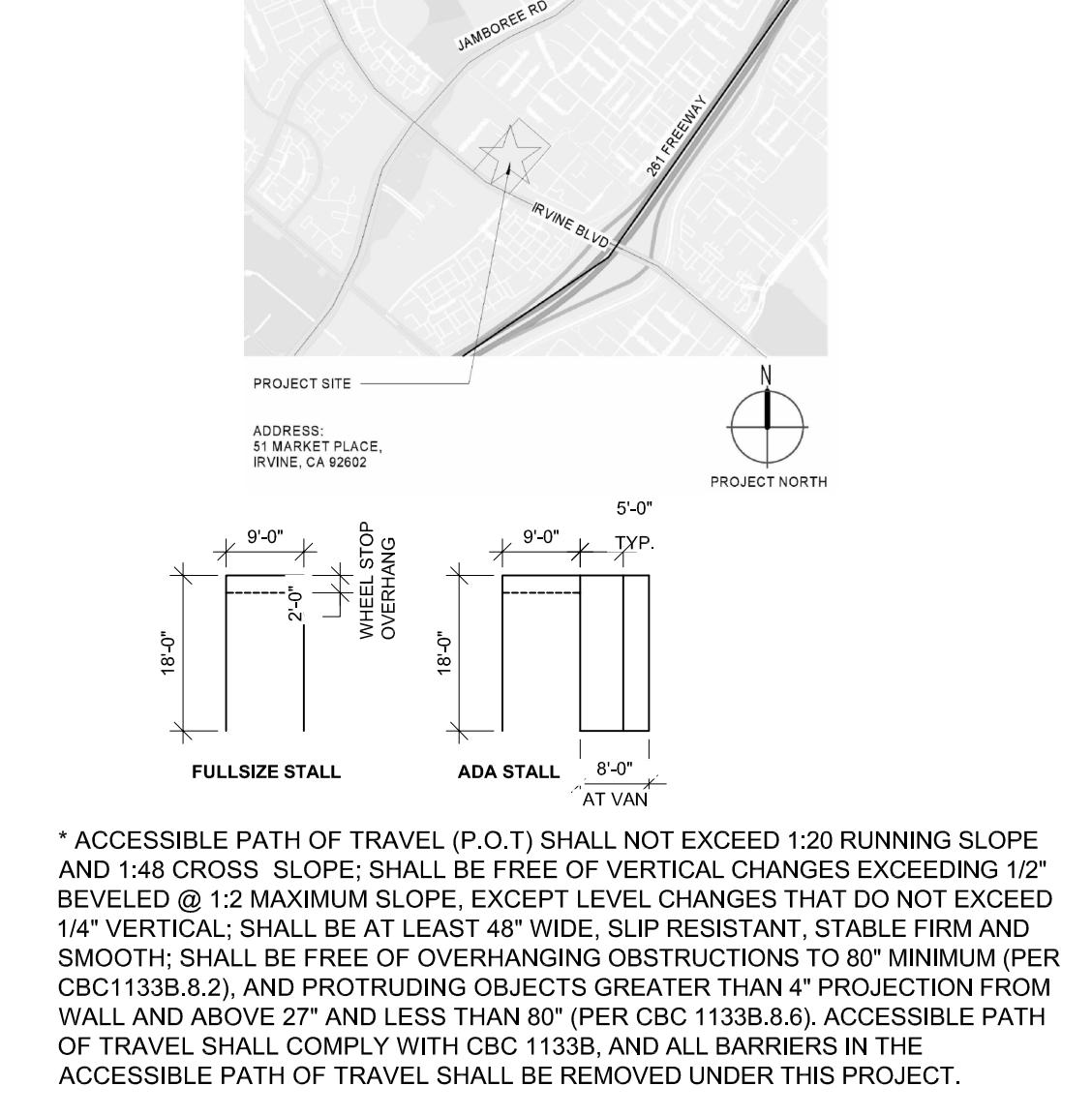
**KEYNOTES**

- A (E) MONUMENT SIGN
- B (E) ADA STANDARD STALL
- C (E) ADA VAN STALL
- D (E) SERVICE AREA
- E (E) TRASH ENCLOSURES
- F (E) SITE LIGHT (POLE MOUNTED)
- G (E) CMU WALL, REFER TO CIVIL AND LANDSCAPE PLANS.
- H (E) FENCE LINE, REFER TO LANDSCAPE PLAN
- I (P) MODULAR WETLAND, REFER TO CIVIL DRAWINGS
- J (P) EV CAPABLE CHARGING STATION, TYP.
- K (P) FENCE LINE, REFER TO LANDSCAPE PLAN
- L (P) CMU WALL, REFER TO CIVIL AND LANDSCAPE PLANS
- M (P) BIKE RACKS
- N (P) COVERED TRASH ENCLOSURE

**LEGEND**

- PROPERTY LINE
- LIMIT OF WORK
- BUILDING SETBACK LINE
- LANDSCAPE SETBACK LINE
- ACCESSIBLE PATH OF TRAVEL: RUNNING SLOPE NOT TO EXCEED 1:20  
CROSS SLOPE NOT TO EXCEED 1:48  
MINIMUM 48" WIDTH
- FIRE LANE
- EXISTING BOLLARDS
- PROPOSED BOLLARDS

**SITE PLAN GENERAL NOTES**



\* ACCESSIBLE PATH OF TRAVEL (P.O.T) SHALL NOT EXCEED 1:20 RUNNING SLOPE AND 1:48 CROSS SLOPE; SHALL BE FREE OF VERTICAL CHANGES EXCEEDING 1/2" BEVELED @ 1:12 MAXIMUM SLOPE, EXCEPT LEVEL CHANGES THAT DO NOT EXCEED 1/4" VERTICAL; SHALL BE AT LEAST 48" WIDE, SLIP RESISTANT, STABLE FIRM AND SMOOTH; SHALL BE FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM (PER CBC 1133B.8.2), AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80" (PER CBC 1133B.8.6), ACCESSIBLE PATH OF TRAVEL SHALL COMPLY WITH CBC 1133B, AND ALL BARRIERS IN THE ACCESSIBLE PATH OF TRAVEL SHALL BE REMOVED UNDER THIS PROJECT.

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO BEGINNING WORK. SHOULD A DISCREPANCY APPEAR IN THE CONTRACT DOCUMENTS, OR BETWEEN THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS, NOTIFY THE ARCHITECT AT ONCE FOR INSTRUCTION ON HOW TO PROCEED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF ALL NEW CONSTRUCTION ON THE SITE.
- THE JOBSITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY CONDITION, FREE OF DEBRIS AND LITTER AND SHALL NOT BE UNREASONABLY ENCUMBERED WITH ANY MATERIAL OR EQUIPMENT. EACH SUB-CONTRACTOR, IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS WORK, SHALL REMOVE ALL TRASH AND DEBRIS AS A RESULT OF HIS OPERATION.
- ALL MATERIAL STORED ON THE SITE SHALL BE PROPERLY STACKED AND BE PROTECTED TO PREVENT DAMAGE AND DETERIORATION. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF THE WORK.
- FOR HORIZONTAL CONTROLS, REFER TO CIVIL DRAWINGS.
- ALL ENTRANCES AND EXTERIOR GROUND-FLOOR EXIT DOORS TO BUILDING SHALL BE MADE ACCESSIBLE.
- REFER TO ELECTRICAL AND LANDSCAPE FOR EV DESIGN AND SCOPE.

**PARKING SUMMARY**

**PARKING ZONING REQUIREMENTS TO REVIEW BUILDING AREA SUMMARIES, SEE G100 TO REVIEW PARKING SUMMARY, SEE LAND USE AND PARKING SUMMARY TABLE**

ACROSS CAMPUS, 20 STALLS ARE RESERVED FOR STAFF, REMAINING STALLS ARE FOR VISITORS. EV TOTALS ARE BASED ON STAFF PARKING NEEDS, PER CALIFORNIA GREEN BUILDING CODE TABLE 5.106.5.3.1.

TOTAL NUMBER OF STAFF PARKING SPACES: 20  
 NUMBER OF REQUIRED EV CAPABLE SPACES: 4  
 NUMBER OF REQUIRED EVCS: 0  
 NUMBER OF REQUIRED ADA EVCS: 0

PROPOSED PARKING	SPACES
FULL SIZE PARKING STALLS	483
LONG TERM PARKING STALLS	00
ADA STALL	07
ADA VAN ACCESSIBLE STALLS	02
<b>TOTAL PARKING</b>	<b>492 STALLS</b>

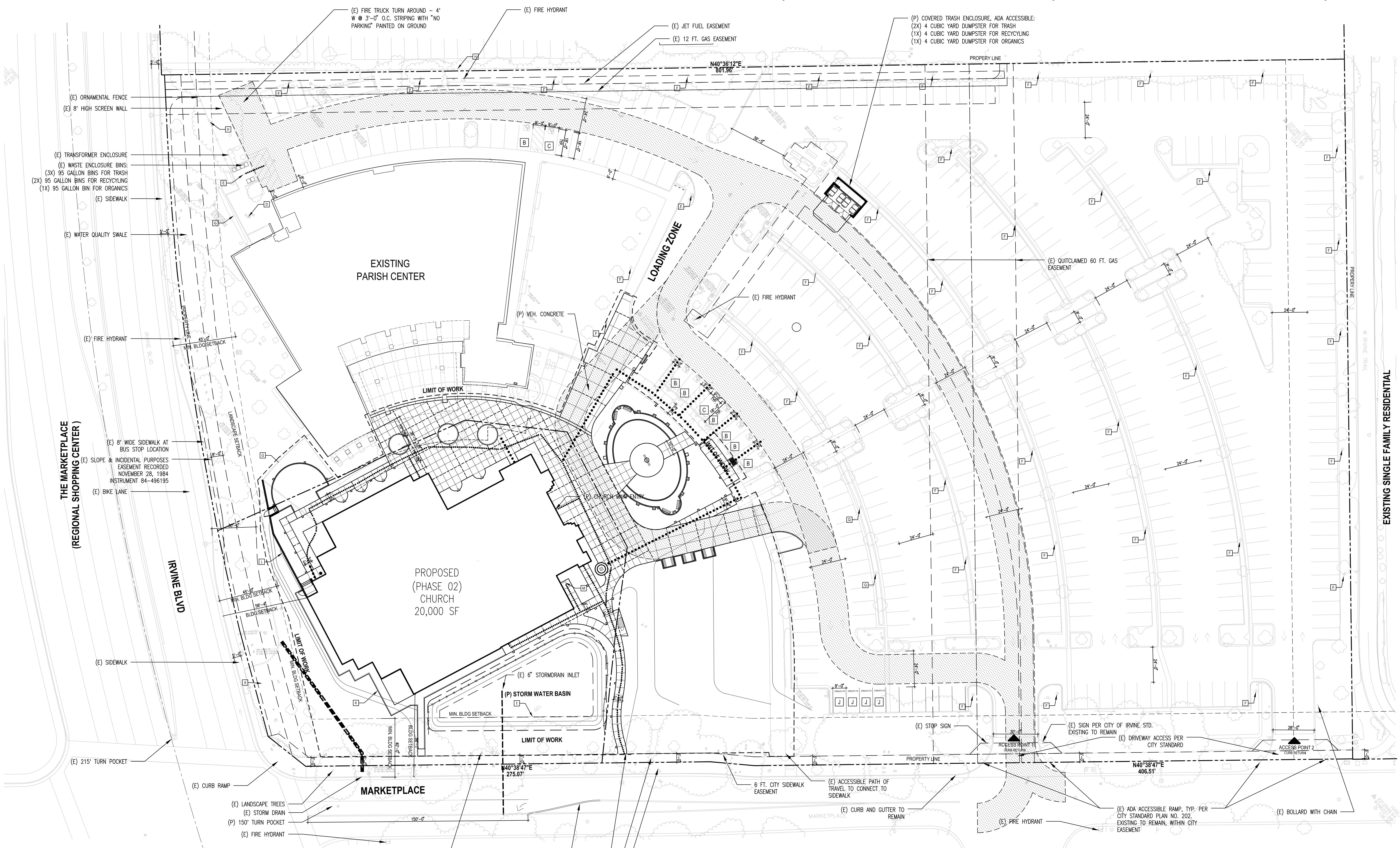
LAND USE AND PARKING SUMMARY TABLE					
LAND USE	OCCUPANCY AND CONSTRUCTION TYPE	SQ. FT. OR DU'S	PARKING RATIO	TOTAL SPACES REQUIRED	TOTAL SPACES PROVIDED
PA4.3.1 MULTI-USE PHASE 1 (EXISTING) (PARISH CENTER)	A-3 & B OCCUPANCY TYPE V FULLY SPRINKLERED	23,530 S.F. (BLDG. TOTAL) 10,338 S.F. (230 S.F.) (296 SPACES)	1 SPACE/35 S.F.	296	487
PA4.3.1 MULTI-USE PHASE 2 (PROPOSED) (CHURCH)	A-3, B, S-2 OCCUPANCY TYPE IIB FULLY SPRINKLERED	20,000 S.F. (BLDG. TOTAL) 12,500 S.F. (WORSHIP HALL)	1 SPACE/3 FIXED SEATS (963 FIXED SEATS) (321 SPACES)	321*	492**
PA4.3.1 MULTI-USE PHASE 3 (RECTORY N.A.P.)	R-3 OCCUPANCY TYPE VB FULLY SPRINKLERED	6,200 S.F. (BLDG. TOTAL) 5,540 (LIVING AREA) 660 S.F. (GARAGE)	1 SPACE/UNIT (6 SPACES)	327*	483**
		49,730 S.F. (TOTAL ALL PHASES)			

PROPOSED ACTIVITY SCHEDULE				
DAY	ACTIVITY	TIME	PROJECTED #PEOPLE	
SUN	ENGLISH MASSWORSHIP	8:00AM-9:00AM	963	
	ENGLISH MASSWORSHIP	9:30AM-10:30AM	963	
	ENGLISH MASSWORSHIP	11:30AM-12:30PM	963	
MON	SPANISH MASSWORSHIP	1:00PM-2:00PM	300	
	CHINESE MASSWORSHIP	3:00PM-4:00PM	50	
	ENGLISH MASSWORSHIP	5:00PM-6:00PM	963	
TUE	ENGLISH MASSWORSHIP	8:00AM-9:00AM	300	
WED	ENGLISH MASSWORSHIP	8:00AM-9:00AM	300	
THUR	ENGLISH MASSWORSHIP	8:00AM-9:00AM	300	
FRI	ENGLISH MASSWORSHIP	8:00AM-9:00AM	300	
SAT	ENGLISH MASSWORSHIP	8:00AM-9:00AM	300	
	VIETNAMESE MASSWORSHIP	4:00PM-5:00PM	600	
	ENGLISH MASSWORSHIP	6:00PM-7:00PM	700	

CONDITION ON PROJECT THAT NO ASSEMBLY PERMITTED IN PARISH CENTER (PHASE 1) WHEN MAIN SANCTUARY (PHASE 2) IN USE UNLESS ADDED PARKING IS MADE AVAILABLE TO MEET THE ZONING CODE

\*\* PARKING TOTAL REDUCED BY ADDITION OF TRASH ENCLOSURE AND RESTRICTION FOR EV CAPABLE SPACES

\*\*\* PARKING TOTAL REDUCED BY ADDITION OF RECTORY (N.A.P.), WHICH REMOVES 14 PARKING SPACES ALONG EAST EDGE OF PROPOSED RECTORY LOCATION.



THE MARKETPLACE (REGIONAL SHOPPING CENTER)

IRVINE BLVD

MARKETPLACE

EXISTING PARISH CENTER

EXISTING SINGLE FAMILY RESIDENTIAL

**LPA**  
 ARCHITECTURE ENGINEERING INTERIOR DESIGN  
 LANDSCAPE ARCHITECTURE PLANNING  
 949-261-1001 Office  
**LPA Design Studios.com**  
 5301 California Avenue, Suite 100  
 Irvine, California 92617

This document and all other project documents, ideas, aesthetics and designs incorporated therein are instruments of service. All project documents are copyright protected, and the property of LPA, Inc. LPA and cannot be lawfully used in whole or in part for any project or purpose except as set forth in the contractual agreement between LPA and its Client. The unauthorized disclosure and/or use of the project documents (including the creation of derivative works) may give rise to liability for copyright infringement, unlawful disclosure, use or misappropriation of property rights held by LPA. The unauthorized use of the project documents will give rise to the recovery of monetary losses and damages including attorney fees and costs for which the unauthorized user will be held liable. Project documents describe the design intent of the work and are not a representation of as-built or existing conditions. LPA is not responsible for any discrepancies between the project documents and the existing conditions. © LPA, Inc.

**ST. THOMAS MORE CHURCH**  
 51 MARKETPLACE, IRVINE, CA 92602  
 Developed for  
 The Diocese of Orange for St. Thomas More

Date	Revision
10/17/2025	
07/05/2025	
03/05/2025	

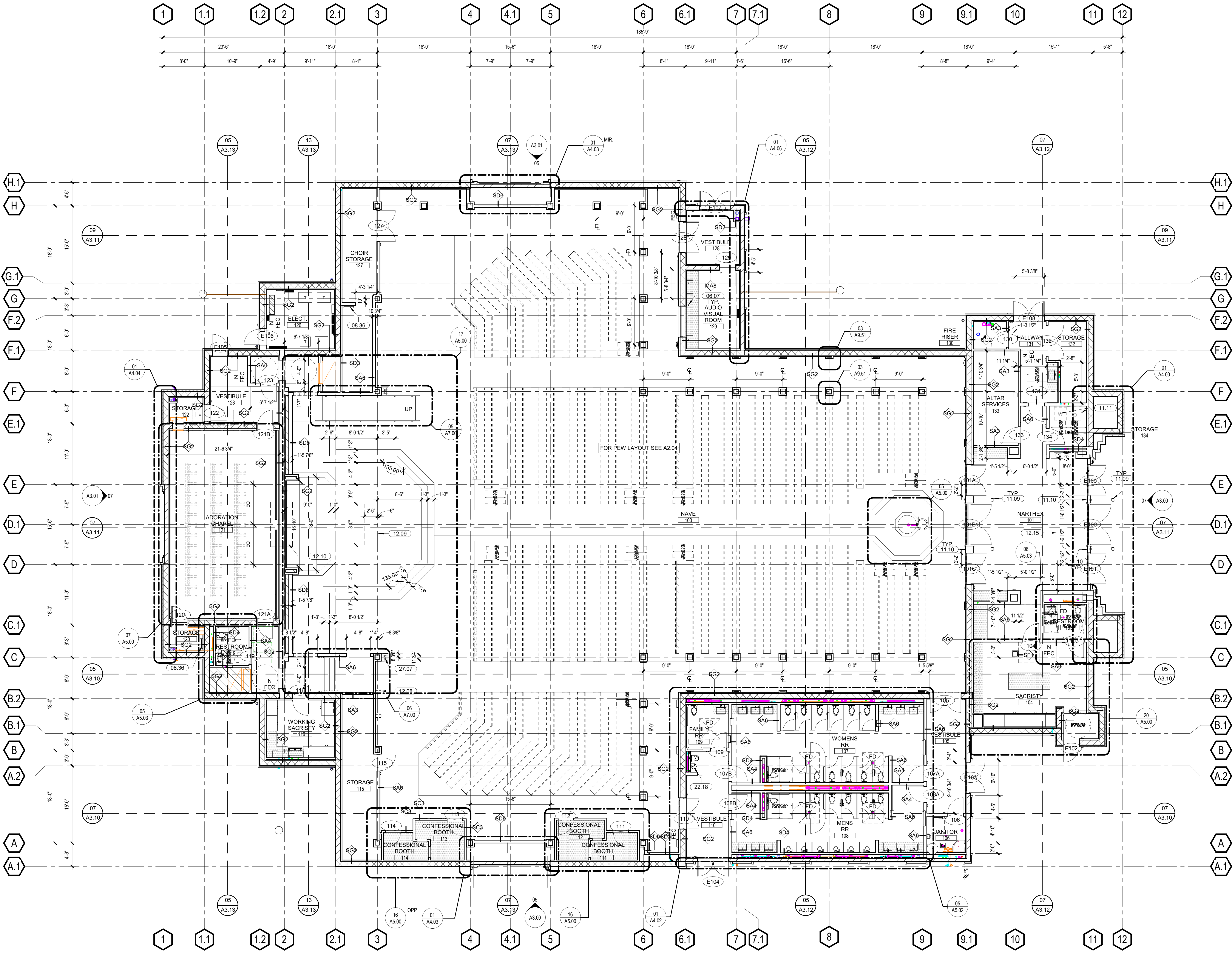
  

Date	Submitted	Agency Submittal #1	Agency Submittal #2	Agency Submittal #3

Job Number	25048.50
Checked By	
Scale	1" = 30'-0"





**KEYNOTES**

- 06.07 2-1/2" GROMMET FOR POWER CORDS/CABLES.
- 08.36 ACCESS LADDER TO INTERIOR MEZZANINE; REF. TO GENERAL NOTE #10
- 11.09 6"x6"x42" SQUARE BOLLARD POST; MANUF. SDC SECURITY; MODEL: BP56
- 11.10 4 3/4" SQUARE SURFACE AND FLUSH MOUNT; MODEL: LCN 8310-853
- 11.11 EQUIPMENT: FUTURE ACCESSIBLE WASHER AND DRYER, REF. ELECTRICAL
- 12.08 SHRINE BY OTHERS, PROVIDE BACKING IN WALL, J-BOX FOR INTEGRATED LIGHTING. FINAL LOCATION TO BE PROVIDED BY EVERGREENE.
- 12.09 ALTAR BY EVERGREENE
- 12.10 TABERNACLE AND REREDOS BY EVERGREENE
- 12.15 WALK OFF ENTRY SYSTEM, RE: 08/00.S1
- 22.18 DRINKING FOUNTAIN: PROVIDE ACCESSIBLE HIGH-LOW DRINKING FOUNTAIN WITH BOTTLE FILLER TO COMPLY WITH 2022 CBC 11B-02. SEE 01/G.03 FOR DRINKING FOUNTAIN ACCESSIBILITY DETAILS.
- 27.07 AV. SUBWOOFER SPEAKER, SEE DETAIL 13/A9.61

**LEGEND**

- WALL TYPE. LETTER INDICATES WALL TYPE. SEE A9.00
- STUD SIZE. NUMBER INDICATES STUD SIZE. REFER TO S6.71B FOR INTERIOR STUD WALL SCHEDULE
- METAL STUD WALL CONSTRUCTION
- 1 HOUR RATED WALL CONSTRUCTION
- MASONRY WALL CONSTRUCTION; SEE S2.01
- DENOTES MILLWORK - REFER TO INTERIOR ELEVATIONS
- DOOR TAG-SEE A6.00 DOOR SCHEDULE
- INACCESSIBLE SPACE
- FEC
- T.O.R. TOP OF ROOF/ROOFING

**GENERAL NOTES**

1. PROVIDE 6" HIGH CONCRETE CURBS @ ALL RESTROOMS, CUSTODIAL CLOSETS, WATER HEATER CLOSETS, & SHOWER COMPARTMENTS, UNO
2. PROVIDE MOISTURE RESISTANT GYP BD IN ALL WET LOCATIONS, UNO
3. PROVIDE CEMENTITIOUS BACKER BOARD @ ALL TILE WALL LOCATIONS, UNO
4. REFER TO G0.32 FOR TYP CLEARANCE @ DOOR LOCATIONS.
5. FOR TYP SWITCH @ DEVICE ALIGNMENTS, REFER TO 18/G0.32
6. LOCATE DOOR FRAME 4" MINIMUM FROM ADJACENT WALL FACE OF WALL, TYPICAL, UNO.
7. EACH INTERIOR METAL STUD WALL WITHOUT A WALL TAG TO BE SG2, UNO.
8. FOR ALL RATED WALLS, PROVIDE THE FOLLOWING MARKINGS & IDENTIFICATIONS PER THE APPLICABLE CODES:
  - A. BE LOCATED WITHIN 15 FT OF THE END OF EA WALL & AT INTERVALS NOT EXCEEDING 30 FT MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION.
  - B. INCLUDE LETTERING NOT LESS THAN 3" IN HEIGHT WITH A MIN 3/8" STROKE IN A CONTRASTING COLOR INCORPORATING THE SUGGESTED WORDING, "FIRE &/OR SMOKE BARRIER - PROTECT ALL OPENINGS", OR OTHER WORDING.
9. THE WATER LEVEL IN THE BAPTISTERY WILL BE KEPT BELOW 18 INCHES WHEN NO CEREMONY IS BEING HELD
10. PERMANENT LADDER REQUIRED BY SECTION 304.3.1.1 SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING
  - A. SIDE RAILINGS SHALL EXTEND NOT LESS THAN 30 INCHES (762 mm) ABOVE THE ROOF OR PARAPET WALL.
  - B. RUNGS SPACING SHALL NOT EXCEED 12 INCHES (305 mm) ON CENTER, AND EACH RUNG SHALL BE CAPABLE OF SUPPORTING A 300 POUND LOAD.
  - C. TOE SPACE SHALL BE NOT LESS THAN 6 INCHES
  - D. WHERE THE ROOF MATCH OPENING PROVIDING THE REQUIRED ACCESS IS LOCATED WITHIN 10 FEET OF THE ROOF EDGE, SUCH ROOF ACCESS OR ROOF EDGE SHALL BE PROTECTED BY GAUARDS INSTALLED IN ACCORDANCE WITH SECTION 1015 (CBC 1011.13)

**LPA**  
 ARCHITECTURE ENGINEERING INTERIOR DESIGN  
 LANDSCAPE ARCHITECTURE PLANNING  
 949-261-1001 Office  
 LPADesignStudios.com  
 5301 California Avenue, Suite 100  
 Irvine, California 92617

NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION

This document and all other project documents, ideas, aesthetics and designs incorporated therein are instruments of service. All project documents are copyright protected, and the property of LPA, Inc. LPA and cannot be lawfully used in whole or in part for any project or purpose except as set forth in the contractual agreement between LPA and its Client. The unauthorized disclosure and/or use of the project documents (including the creation of derivative works), may give rise to liability for copyright infringement, unlawful disclosure, use or misappropriation of property rights held by LPA. The unauthorized use of the project documents will give rise to the recovery of monetary losses and damages including attorney fees and costs for which the unauthorized user will be held liable. Project documents describe the design intent of the work and are not a representation of as-built or existing conditions. LPA is not responsible for any discrepancies between the project documents and the existing conditions.  
 © LPA, Inc.

**ST. THOMAS MORE CHURCH**  
 51 MARKETPLACE, IRVINE, CA 92602  
 Developed for  
 The Diocese of Orange for St. Thomas More

Revision	Date
A	07/19/2025
A.1	09/18/2025

Submital	Date
AGENCY SUBMITTAL #1	10/17/2025
AGENCY SUBMITTAL #2	11/10/2025
AGENCY SUBMITTAL #3	09/18/2025

Job Number	25048.50
Checked By	EBH
Scale	1/8" = 1'-0"

**FLOOR PLAN**

A2.01

This document and all other project documents, ideas, aesthetics and designs incorporated therein are instruments of service. All project documents are copyright protected, and the property of LPA, Inc. LPA and cannot be lawfully used in whole or in part for any project or purpose except as set forth in the contractual agreement between LPA and its Client. The unauthorized disclosure and/or use of the project documents (including the creation of derivative works), may give rise to liability for copyright infringement, unlawful disclosure, use or misappropriation of property rights held by LPA. The unauthorized use of the project documents will give rise to the recovery of monetary losses and damages including attorney fees and costs for which the unauthorized user will be held liable. Project documents describe the design intent of the work and are not a representation of as-built or existing conditions. LPA is not responsible for any discrepancies between the project documents and the existing conditions.  
 © LPA, Inc.

**KEYNOTES**

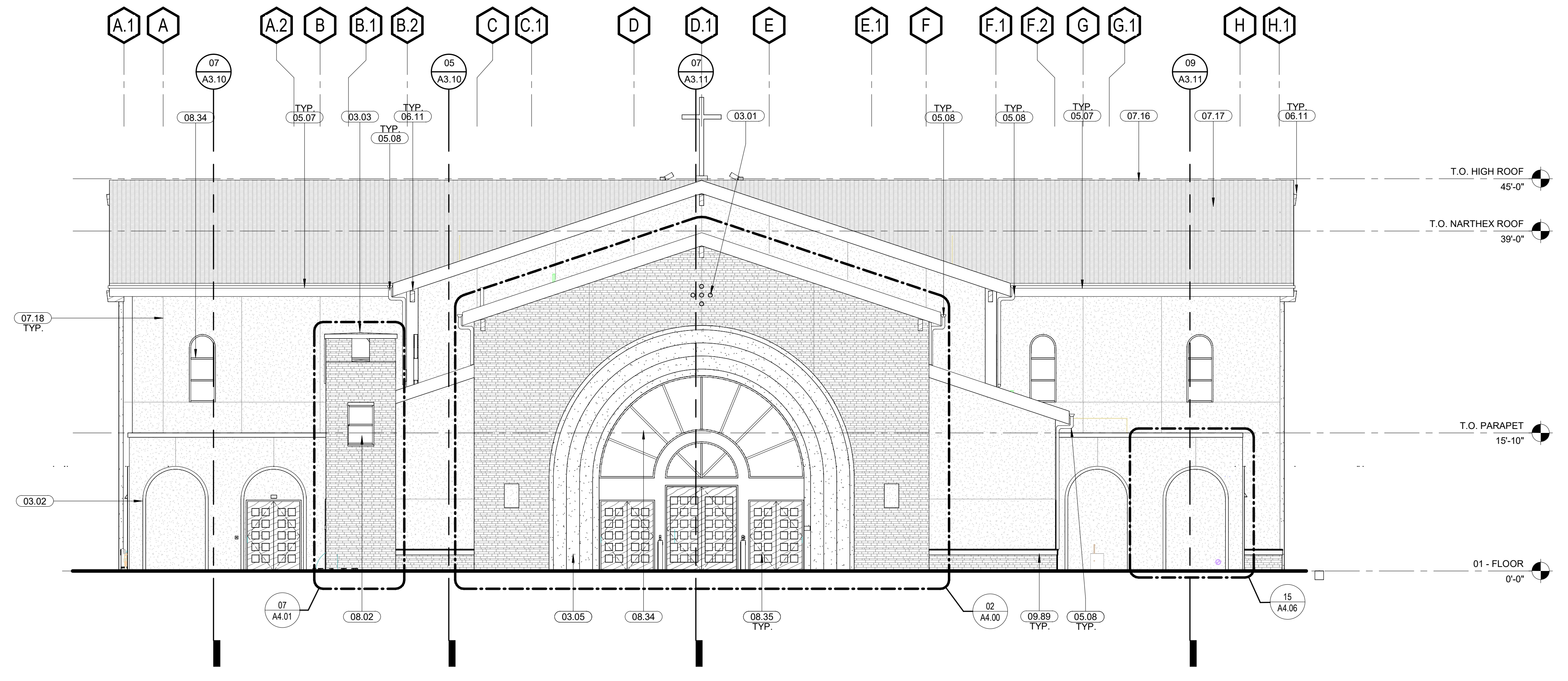
- 03.01 DECORATIVE CANALES
- 03.02 PRE-CAST CONCRETE ARCH (GFRC)
- 03.03 PRE-CAST CONCRETE CAP
- 03.05 GFRC DECORATIVE FORMWORK AT ENTRY AND BUILDING OPENINGS
- 05.01 HSS LOUVER (FIXED), WOOD-LOOK FINISH (REF. STRUCT.)
- 05.07 6" HALF-ROUND METAL GUTTER, SLOPED AT 1/8"=12" TO DOWNSPOUT, COLOR: BRONZE (MATCH DOWNSPOUTS)
- 05.08 4" DIAMETER DOWNSPOUT, COLOR: BRONZE (MATCH GUTTERS)
- 06.11 GLULAM OUTRIGGER, 15"D X 5 1/8"W, SLOPED/UNDERCUT END W/ SHEET METAL CAP, COLOR: BRONZE (MATCH GUTTERS)
- 07.16 RIDGE ROOF TILE
- 07.17 CLAY ROOF TILE SYSTEM, REF. R1/A8.10 FOR ASSEMBLY
- 07.18 PLASTER EXPANSION JOINT
- 08.02 STAINED GLASS WINDOW, FIXED PICTURE FRAME, NEW STAINED GLASS DESIGN TO BE DETERMINED, CONSISTENT WITH LIBRARY TOWER ON EXISTING PARISH HALL.
- 08.34 PAINTED ALUMINUM GLAZING SYSTEM, 1" IGU
- 08.35 DOOR - SEE DOOR SCHEDULE A8.10
- 09.89 EXTERIOR MANUFACTURED STONE VENEER WAINSCOT AND GFRC SILL, REF. 13/A8.14 FOR SILL DETAIL AND 01/A8.12 FOR BASE DETAIL
- 26.43 WALL MOUNTED WEDGE SCOSCE, SEE LIGHTING DWGS

**LEGEND**

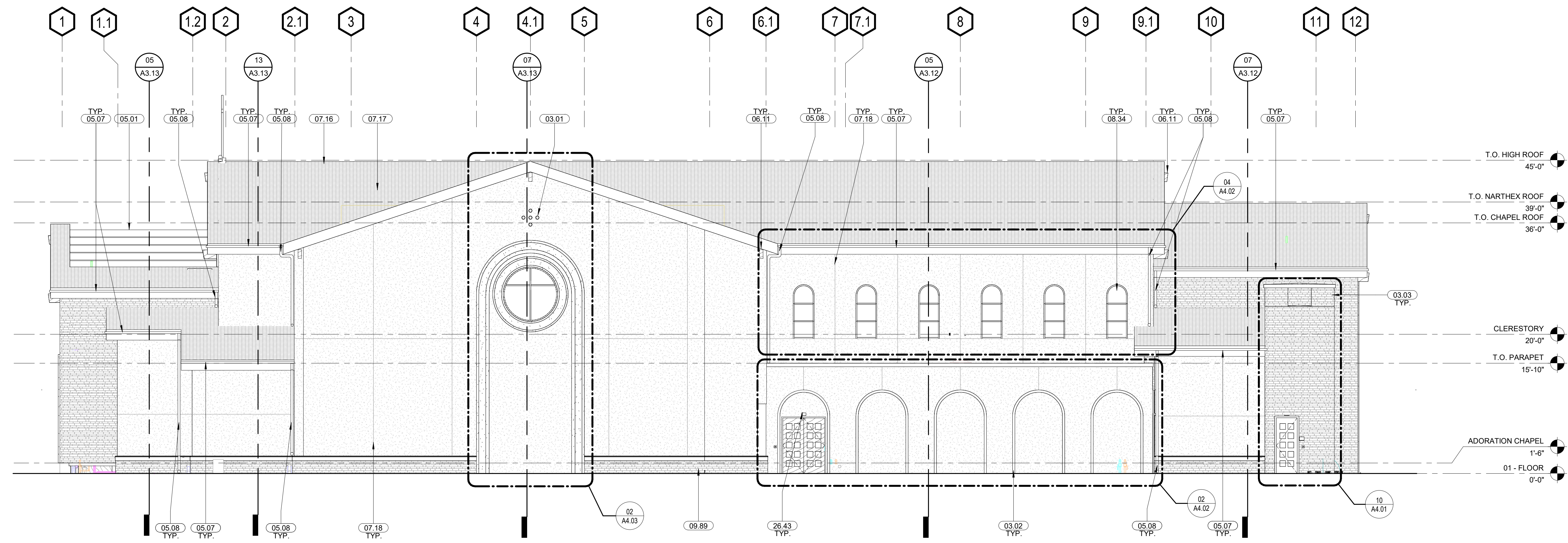
- POLYMER MODIFIED FIBERGLASS REINFORCED PLASTER (PL-1), PAINTED O/ DENZGLASS O/ STRUCTURE (CMU / METAL STUD)
- INSULATED LOW-E VISION GLAZING (GL-1)  
U-FACTOR: 0.5, 0.23 SHGC, 0.45 VT
- STONE VENEER
- CLAY TILE ROOF. \*NOTE: ALL SLOPING ROOFS TO BE 4:12
- GLASS FIBER REINFORCED CONCRETE, PAINTED, DECORATIVE FORMWORK CLADDING MOUNTED TO BACKING FRAME

**GENERAL NOTES**

1. PROVIDE R-30 THERMAL BATT INSULATION AT UNDERSIDE OF TILED ROOF AND R-19 AT EXTERIOR WALLS
2. SEE CIVIL AND LANDSCAPE DRAWINGS FOR GRADES AND SLAB ELEVATIONS
3. PAINT CAST IRON ROOF DRAIN TRANSITION TO MATCH DOWNSPOUTS



NORTH ELEVATION | 1/8" = 1'-0" | 07  
 A3.00



EAST ELEVATION | 1/8" = 1'-0" | 05  
 A3.00

ST. THOMAS MORE CHURCH

51 MARKETPLACE, IRVINE, CA 92602

Developed for  
 The Diocese of Orange for St. Thomas More

Revision	Date
A	07/16/2025
A.1	09/16/2025

Submital	Date
AGENCY SUBMITTAL #1	10/17/2025
AGENCY SUBMITTAL #2	01/17/2025
AGENCY SUBMITTAL #3	03/16/2025

Job Number	25048.50
Checked By	EBH
Scale	1/8" = 1'-0"

**EXTERIOR ELEVATIONS**

This document and all other project documents, ideas, aesthetics and designs incorporated therein are instruments of service. All project documents are copyright protected, and the property of LPA, Inc. LPA and cannot be lawfully used in whole or in part for any project or purpose except as set forth in the contractual agreement between LPA and its Client. The unauthorized disclosure and/or use of the project documents (including the creation of derivative works), may give rise to liability for copyright infringement, unlawful disclosure, use or misappropriation of property rights held by LPA. The unauthorized use of the project documents will give rise to the recovery of monetary losses and damages including attorney fees and costs for which the unauthorized user will be held liable. Project documents describe the design intent of the work and are not a representation of as-built or existing conditions. LPA is not responsible for any discrepancies between the project documents and the existing conditions.  
 © LPA, Inc.

**KEYNOTES**

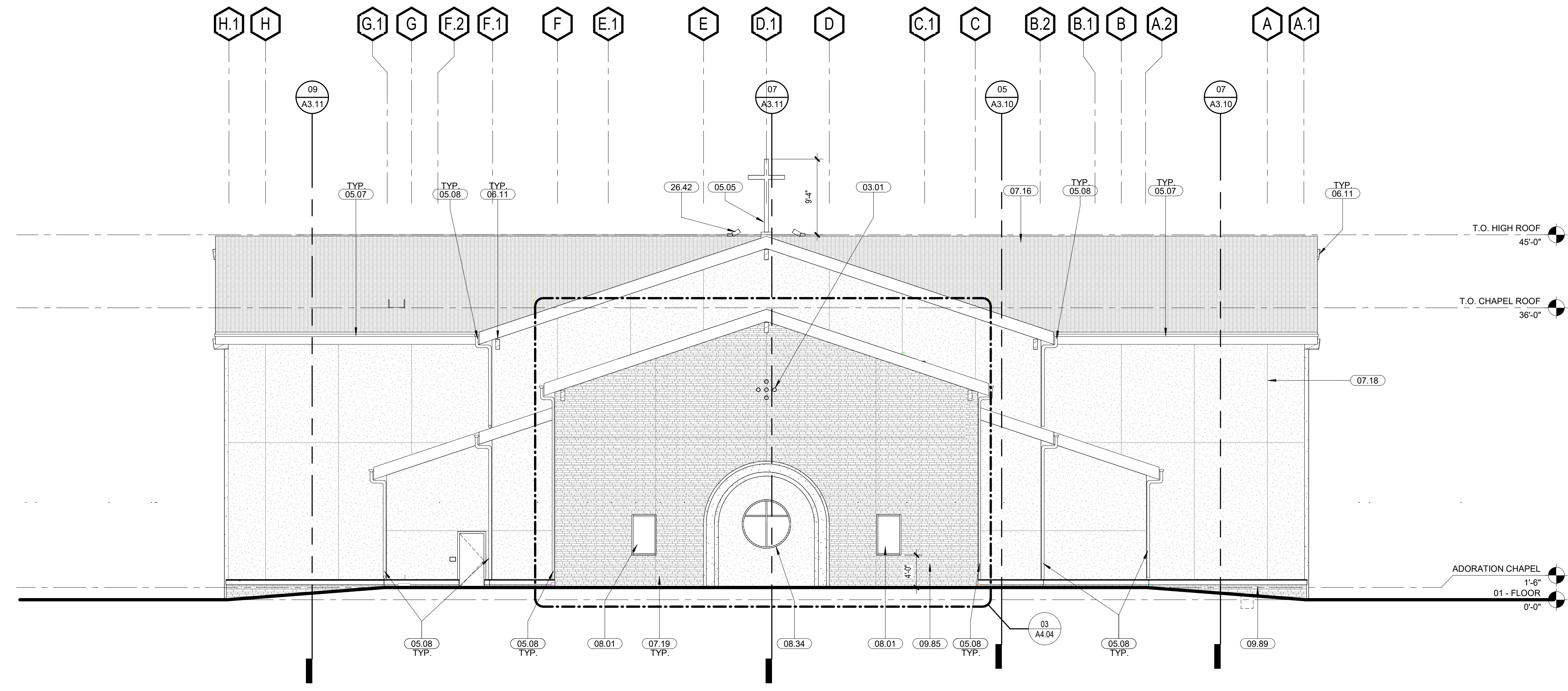
- 03.01 DECORATIVE CANALES
- 03.03 PRE-CAST CONCRETE CAP
- 05.05 STEEL FRAME ROOF MOUNTED CROSS, PAINTED TO MATCH CROSS AT PARISH HALL, STRUCTURALLY MOUNTED TO TOP OF CMU WALL BELOW.
- 05.07 6" HALF-ROUND METAL GUTTER, SLOPED AT 1/8" 12" TO DOWNSPOUT. COLOR: BRONZE (MATCH DOWNSPOUTS)
- 05.08 4" DIAMETER DOWNSPOUT, COLOR: BRONZE (MATCH GUTTERS)
- 06.11 GLULAM OUTRIGGER, 15"D X 5 1/8"W, SLOPED/UNDERCUT END W/ SHEET METAL CAP, COLOR: BRONZE (MATCH GUTTERS)
- 07.16 RIDGE ROOF TILE
- 07.18 PLASTER EXPANSION JOINT
- 07.19 MANUFACTURED STONED VENEER EXPANSION JOINT
- 08.01 STAINED GLASS WINDOW, FIXED PICTURE FRAME, RELOCATED FROM LIBRARY TOWER ON EXISTING PARISH HALL. WINDOWS AT EXISTING PARISH HALL TO BE REPLACED WITH FIXED PICTURE WINDOW, 1" IGU, TO CONSISTENT DIMENSIONS AND CONSTRUCTION.
- 08.34 PAINTED ALUMINUM GLAZING SYSTEM, 1" IGU
- 09.85 MANUFACTURED STONE VENEER
- 09.89 EXTERIOR MANUFACTURED STONE VENEER WAINSCOT AND GFRC SILL; REF: 15/AS 14 FOR SILL DETAIL AND 01/AS 12 FOR BASE DETAIL.
- 26.42 EXTERIOR LIGHTING FOR ROOF MOUNTED CROSS
- 26.43 WALL MOUNTED WEDGE SCOSCE, SEE LIGHTING DWGS

**LEGEND**

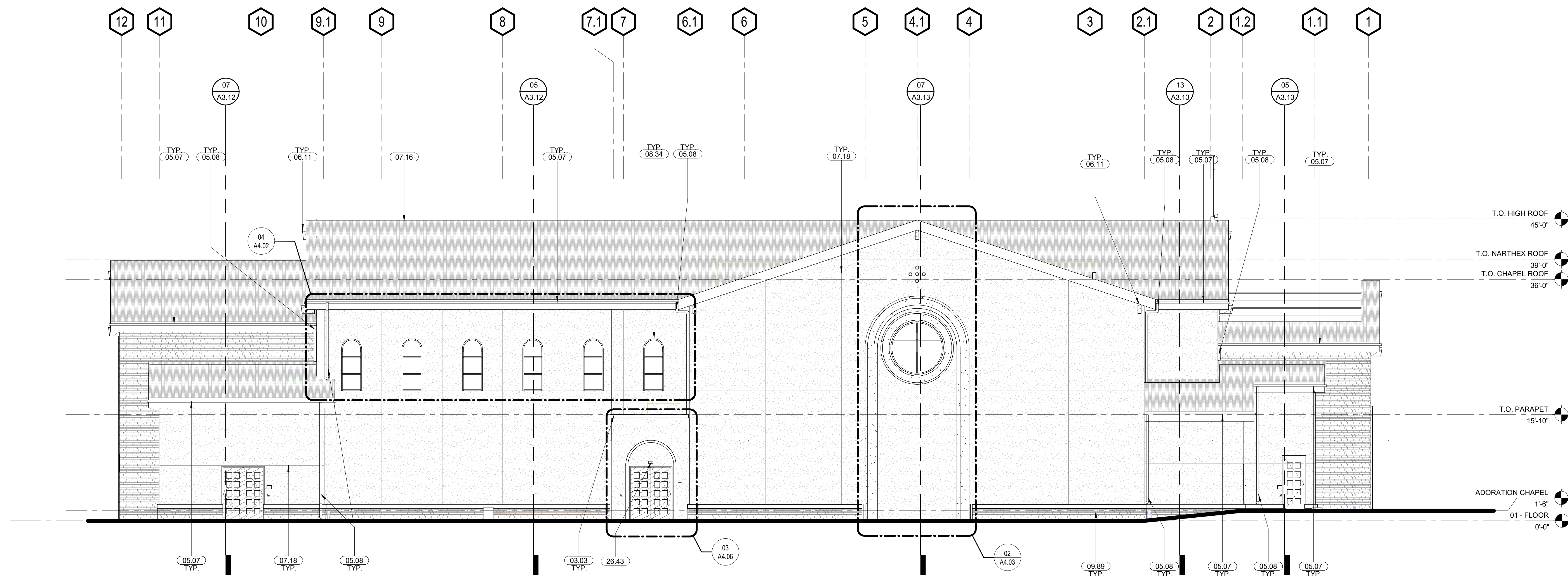
- POLYMER MODIFIED FIBERGLASS REINFORCED PLASTER (PL-1), PAINTED O/ DENNGLOSS O/ STRUCTURE (CMU / METAL STUD)
- INSULATED LOW-E VISION GLAZING (GL-1)  
U-FACTOR: 0.5; 0.23 SHGC; 0.45 VT
- STONE VENEER
- CLAY TILE ROOF. \*NOTE: ALL SLOPING ROOFS TO BE 4:12
- GLASS FIBER REINFORCED CONCRETE, PAINTED, DECORATIVE FORMWORK CLADDING MOUNTED TO BACKING FRAME

**GENERAL NOTES**

1. PROVIDE R-30 THERMAL BATT INSULATION AT UNDERSIDE OF TILED ROOF AND R-19 AT EXTERIOR WALLS
2. SEE CIVIL AND LANDSCAPE DRAWINGS FOR GRADES AND SLAB ELEVATIONS
3. PAINT CAST IRON ROOF DRAIN TRANSITION TO MATCH DOWNSPOUTS



SOUTH ELEVATION | 1/8" = 1'-0" | 07  
 A3.01



WEST ELEVATION | 1/8" = 1'-0" | 05  
 A3.01

ST. THOMAS MORE CHURCH

51 MARKETPLACE, IRVINE, CA 92602

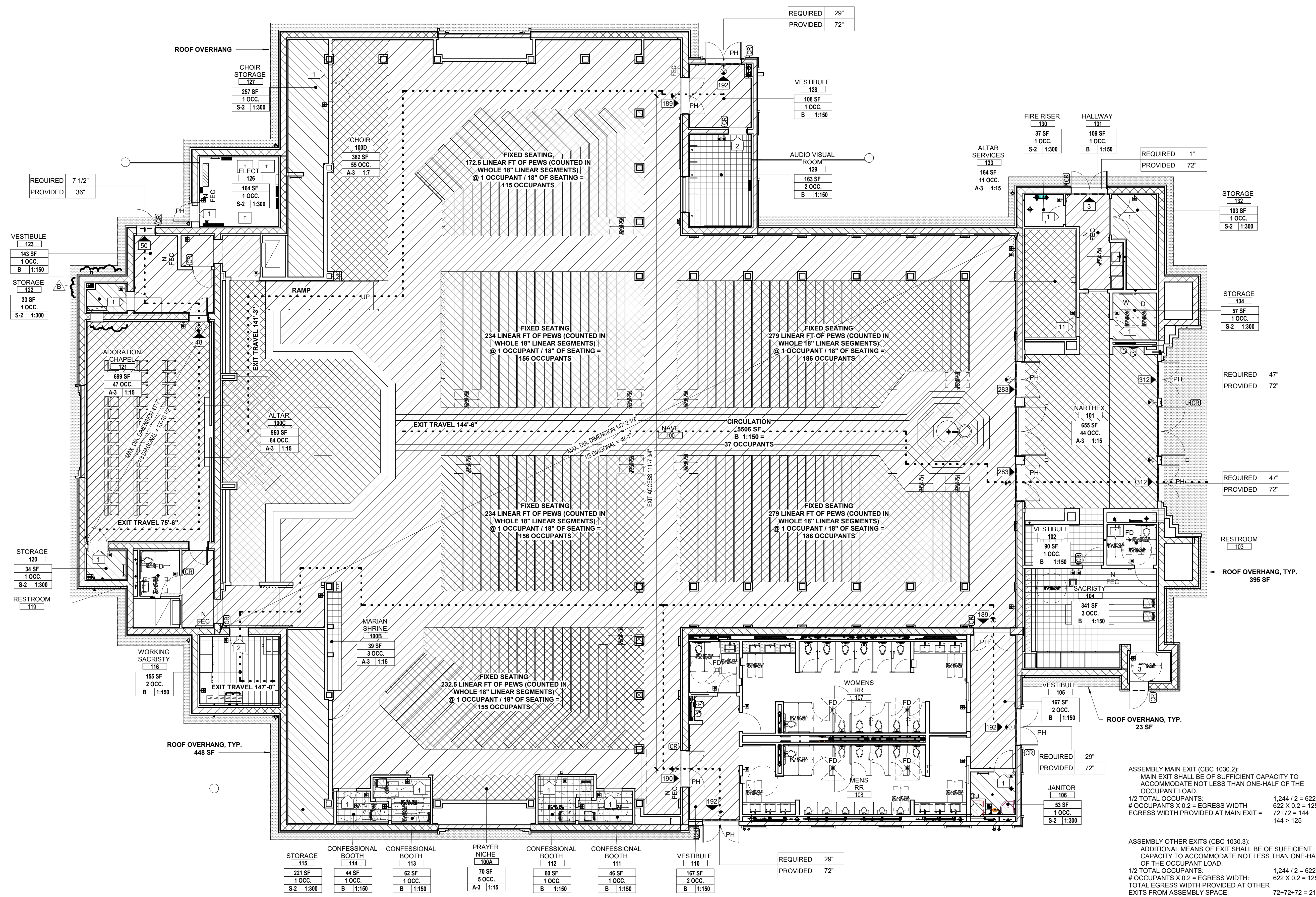
Developed for  
 The Diocese of Orange for St. Thomas More

Revision	Date
A.1.1 BID REVISION	02/18/2026

Submital	Date
AGENCY SUBMITTAL #1	10/17/2025
AGENCY SUBMITTAL #2	03/20/2025
AGENCY SUBMITTAL #3	03/16/2026

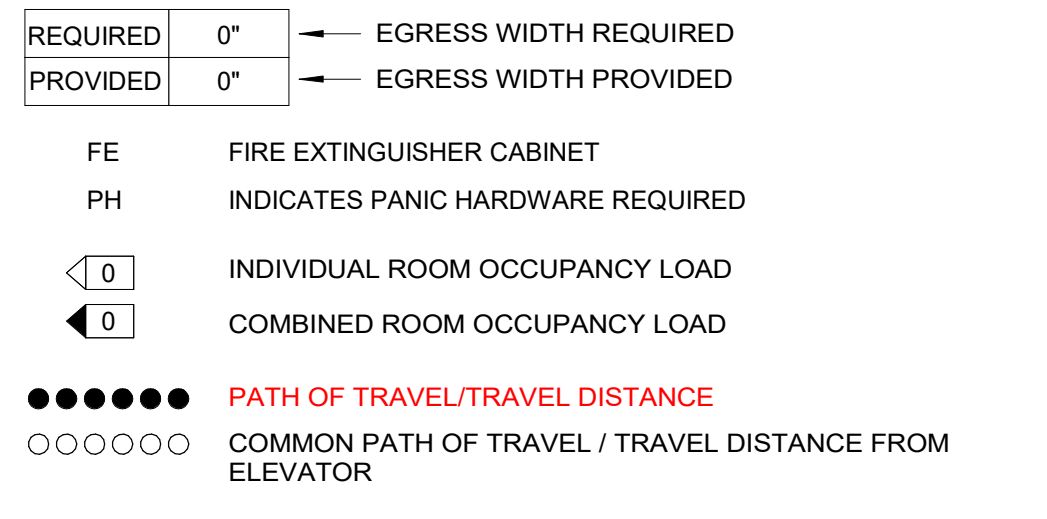
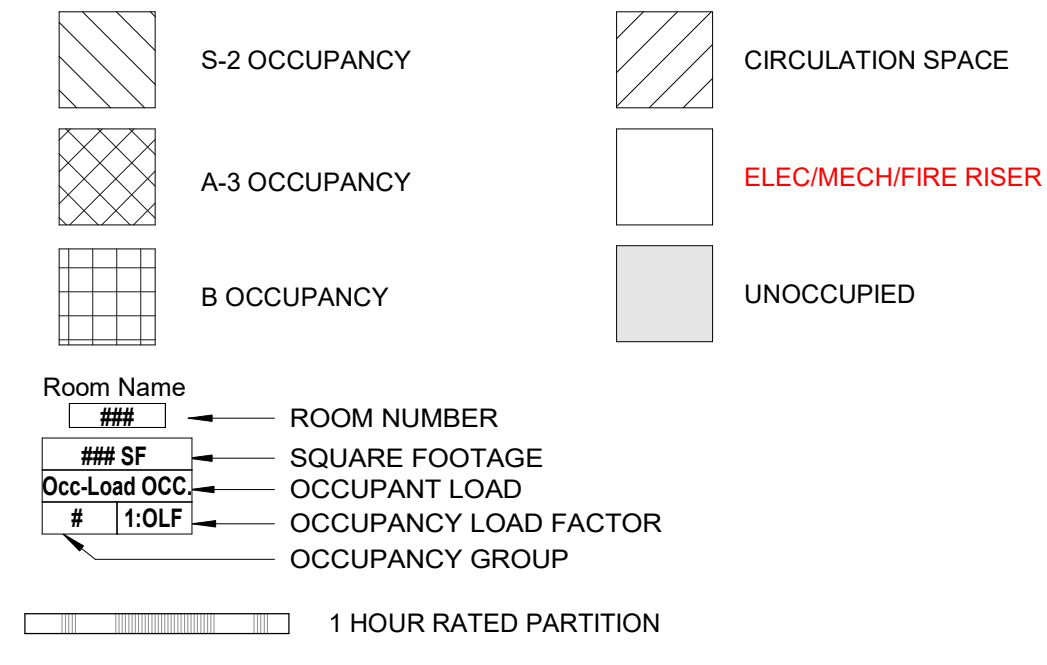
Job Number	25048.50
Checked By	EBH
Scale	1/8" = 1'-0"

**EXTERIOR ELEVATIONS**



**KEYNOTES**

**LEGEND**



**CODE ANALYSIS**

BUILDING USE:	WORSHIP CENTER
CONSTRUCTION CLASSIFICATION (CBC 602):	TYPE I-B
OCCUPANCY CLASSIFICATION (CBC 302 & 508.3):	A-3, B & S-2 (NON-SEPARATED OCCUPANCIES - MOST RESTRICTIVE OCCUPANCY USED)
FIRE PROTECTION:	SPRINKLERED
ACCESSORY OCCUPANCY (CBC 508.2):	NONE
INCIDENTAL USES (CBC 509):	
ALLOWABLE BUILDING HEIGHT (CBC 504 & TABLE 504.3):	75' - 0" (WITHOUT AREA INCREASE)
ALLOWABLE NUMBER OF STORIES (CBC 504 & TABLE 504.4):	3 STORIES (WITHOUT AREA INCREASE)
ALLOWABLE BUILDING AREA (CBC 506.2.3 & TABLE 506.2):	28,500 SF (WITHOUT HEIGHT INCREASE)
ACTUAL BUILDING HEIGHT:	45'-0" - OK
ACTUAL NUMBER OF STORIES:	1 STORIES - OK
OVERALL BUILDING AREA*:	20,397 SF < 28,500 SF - OK**

\* BUILDING AREA INCLUDES 866 SF OF HORIZONTAL PROJECTIONS OF THE ROOF OR FLOOR ABOVE BUT EXCLUDES VENT SHAFTS & COURTS. (CBC 302)

FIRE-RESISTANCE RATING REQ FOR BLDG ELEMENTS (CBC TABLE 601):	
STRUCTURAL FRAME:	0 HOUR
EXTERIOR BEARING WALLS:	0 HOUR
INTERIOR BEARING WALLS:	0 HOUR
EXTERIOR NONBEARING WALLS:	REFER TO RATING REQ BELOW
INTERIOR NONBEARING WALLS:	0 HOUR
FLOOR CONSTRUCTION:	0 HOUR
ROOF CONSTRUCTION:	0 HOUR**

\*\*FIRE PROTECTION OF MEMBERS OTHER THAN THE PRIMARY STRUCTURAL FRAME SHALL NOT BE REQ. INCLUDING PROTECTION OF THE ROOF FRAMING & DECKING WHERE EVERY PART OF CONSTRUCTION IS 20 FT OR MORE ABOVE ANY FLOOR IMMEDIATELY BELOW (CBC 601 EXCEPTION B)

FIRE-RESISTANCE RATING REQ FOR EXTERIOR WALLS (CBC TABLE 705.5):	
1-HR PROTECTED:	< 10'-0"
NO PROTECTION REQ:	≥ 10'-0"

MAX FLOOR AREA ALLOWANCES PER OCCUPANT (CBC TABLE 1004.5):	
ASSEMBLY W/OUT FIXED SEATS (CONCENTRATED-CHAIRS):	1.7 NET 381 SF = 55 OCC.
ASSEMBLY W/OUT FIXED SEATS (UNCONCENTRATED):	1.15 NET 2,605 SF = 174 OCC.
ASSEMBLY W/ FIXED SEATS:	1.18' OF SEATING LENGTH 17,316' OF SEATING LENGTH = 962 OCC.
BUSINESS AREA:	1.150 GROSS 961 SF = 7 OCC.
STORAGE AREAS, MECHANICAL EQUIPMENT ROOM:	1.300 GROSS 960 SF = 4 OCC.
CIRCULATION:	1.150 GROSS 6182 SF = 42 OCC.

OCCUPANT LOAD PER FLOOR:	
LEVEL 1:	1244 OCCUPANTS
# OF EXITS REQUIRED =	4
# OF EXITS PROVIDED =	7

MEANS OF EGRESS SIZING (CBC 1005):  
 STAIRWAYS: # OCCUPANTS X 0.2 = EGRESS WIDTH  
 DOOR EXITS & CORRIDORS: # OCCUPANTS X 0.15 = EGRESS WIDTH (CBC 1005.3.2 EXCEPTION 1)  
 PROVIDE 2 EXITS IN ALL ROOMS WITH OCCUPANT LOADS ABOVE 49 (A-3 & B)  
 PROVIDE 2 EXITS IN ALL ROOMS WITH OCCUPANT LOADS ABOVE 29 (S-2)

MAXIMUM COMMON PATH OF TRAVEL (CBC TABLE 1006.2.1):  
 A OCCUPANCY: 75'-0"  
 B OCCUPANCY: 100'-0"  
 S-1 OCCUPANCY: 100'-0"  
 MAXIMUM EXIT ACCESS TRAVEL DISTANCE (CBC TABLE 1017.2):  
 A OCCUPANCY: 250'-0"  
 B OCCUPANCY: 300'-0"  
 S-1 OCCUPANCY: 250'-0"

AREA OF REFUGE (CBC 1009):  
 NOT REQUIRED IN BLDGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM

MINIMUM PLUMBING FACILITIES:  
 OCCUPANT LOAD FACTOR (CBC TABLE 4-1):  
 A-3 FIXED SEATS = 50% OF THE FIXED SEATING VALUE  
 = 963 / 2 = 482 OCCUPANTS = 241 MALES & 241 FEMALES  
 A-3, 2,988 ASF / 11 = 272 OCCUPANTS = 136 MALES & 136 FEMALES  
 B, 961 ASF / 150 = 7 OCCUPANTS = 4 MALES & 3 FEMALES  
 S-2, 960 ASF / 4,000 = 1 OCCUPANT

TOTAL OCCUPANTS = 782 OCCUPANTS = 381 MALES & 381 FEMALES

MINIMUM PLUMBING FACILITIES (CPC TABLE 422.1):	A-3 OCCUPANCY
REQUIRED FIXTURES:	
WATER CLOSET:	4
URINALS:	5
LAVATORIES:	4
DRINKING FOUNTAIN:	5

PROVIDED FIXTURES:	
WATER CLOSET:	6
URINALS:	6
LAVATORIES:	6
DRINKING FOUNTAIN:	5

MEN:	6	6	6	5
WOMEN:	12	-	6*	5
AG:	3	-	3	

\*TO REACH REQUIRED BY INCLUDING COUNTS AT GENDER NEUTRAL RESTROOMS.

ST. THOMAS MORE CHURCH

51 MARKETPLACE, IRVINE, CA 92602

Developed for  
The Diocese of Orange for St. Thomas More

Date:	07/19/2025
Agency Submittal #1:	07/19/2025
Agency Submittal #2:	07/19/2025
Agency Submittal #3:	07/19/2025
Agency Submittal #4:	07/19/2025
Agency Submittal #5:	07/19/2025

Job Number:	25048.50
Checked By:	EBH
Scale:	1/8" = 1'-0"

**CODE ANALYSIS**

This document and all other project documents, ideas, aesthetics and design incorporated therein are instruments of service. All project documents are copyright protected, as the property of LPA, Inc. (LPA) and cannot be lawfully used in whole or in part for any project or purpose except as set forth in the contractual agreement between LPA and its Client. The unauthorized disclosure and/or use of the project documents (including the creation of derivative works) may give rise to liability for copyright infringement, unlawful disclosure, use or misappropriation of property rights held by LPA. The unauthorized use of the project documents will give rise to the recovery of monetary losses and damages including attorney fees and costs for which the unauthorized user will be held liable. Project documents describe the design intent of the work and are not a representation of as-built or existing conditions. LPA is not responsible for any discrepancies between the project documents and the existing conditions. © LPA, Inc.

MATERIALS KEYNOTE LEGEND			
NOTE	DESCRIPTION	DET/ SHIT	COLOR / FINISH
01	CONCRETE PAVING	L5.01	NATURAL GRAY/ TOPCAST 05
02	CONCRETE FLUSH MOW CURB	14/ L5.01	NATURAL GRAY/ SMOOTH TROWEL
03	CONCRETE FLUSH BAND	17/ L5.01	NATURAL GRAY/ LIGHT BROOM
04	DECOMPOSED GRANITE PAVING	12/ L5.01	DESERT GOLD
05	FLAGSTONE PAVING	10/ L5.01	ARIZONA OAK
06	CONCRETE RETAINING WALL	09/ L5.02	NATURAL GRAY/ SMOOTH TROWEL
07	CMU WALL WITH PLASTER & PRECAST CAP	01, 17/ L5.02	CMU NAT. GREY / PRECISION PLASTER; MATCH EXIST. CAP: MATCH EXIST.
08	CONCRETE STAIRS	06/ L5.03	NATURAL GRAY/ MEDIUM BROOM
09	CABLE RAIL BARRIER	017/ L5.03	BLACK/ HDG W/ 2 PART URETHANE COATING
10	TRUNCATED DOME PAVER	09/ L5.01	FEDERAL YELLOW
11	CONCRETE RETAINING/SEAT WALL	06/ L5.02	NATURAL GRAY/ TOPCAST 05
12	SOLID STEEL DOOR	04/ L5.02	
13	RELOCATED EXISTING STATUE	19/ L5.01	MATCH EXISTING
14	RELOCATED EXISTING BENCHES	03/ L5.03	MATCH EXISTING
15	WATER FEATURE (SELF-CONTAINED KIT)	-	PER SITE FURNISHING LEGEND
16	WOOD CROSS PAD & FOOTING	13/ L5.03	NATURAL GRAY/ TOPCAST 05
17	HANDRAIL AT STAIRS	07/ L5.03	BROWN/ HDG W/ 2 PART URETHANE COATING
18	TREE GRATE	02/ L5.03	CAST IRON RAW
19	ALUMINUM EDGING	16/ L5.01	BLACK/ PER MANUF.
20	BROKEN STONE @ DRAIN OUTLET	PER CIVIL	SOUTHWEST BOULDER & STONE
21	CONCRETE PAVING TIE-IN	08/ L5.01	
22	CONCRETE TURN-DOWN EDGE	20/ L5.01	NATURAL GRAY/ TOPCAST 05

REFERENCE KEYNOTE LEGEND			
NOTE	DESCRIPTION	DET/ SHIT	COMMENTS
A	(E) PAVING		PROTECT IN PLACE
B	(E) CURB		PROTECT IN PLACE
C	(E) SITE FURNISHINGS		PROTECT IN PLACE
D	(E) WALL		PROTECT IN PLACE
E	(E) FENCE		PROTECT IN PLACE
F	(E) UTILITY		PROTECT IN PLACE
G	(E) PLANTER		PROTECT IN PLACE
H	(E) PAVING BAND		PROTECT IN PLACE
J	(E) SITE LIGHTING		PROTECT IN PLACE
K	(E) TRELLIS		PROTECT IN PLACE
L	(E) MONUMENT		PROTECT IN PLACE
M	CURB	PER CIVIL	
N	PARKING STRIPING	PER CIVIL	
P	BIORETENTION BASIN	PER CIVIL	
Q	BIORETENTION INLETS	PER CIVIL	
R	AREA DRAIN	PER CIVIL	
S	SLOT DRAIN	PER CIVIL	
T	CLEANOUT	PER CIVIL	
U	CONCRETE JUNCTION STRUCTURE	PER CIVIL	
V	BUILDING CANOPY	PER ARCH	
W	(E) TRELLIS COLUMN		PROTECT IN PLACE
X	BUILDING WALL	PER ARCH	
Y	SITE LIGHTING	PER ELECTRICAL	
Z	EV CHARGER	PER ELECTRICAL	
AA	UTILITY	PER ELECTRICAL	

SITE LIGHTING LEGEND			
SYM.	DESCRIPTION	DET/ SHIT	COMMENTS
○	PEDESTRIAN LIGHT POLE	017/ L5.04	PER ELEC.
⊕	BOLLARD	05/ L5.04	PER ELEC.
○	INGRADE UPLIGHT	09/ L5.04	PER ELEC.
⊕	INGRADE UPLIGHT ADJUSTABLE	09/ L5.04	PER ELEC.

NOTE: SEE ELECTRICAL PLANS FOR FIXTURES, LAMPS, AND SPECS.

SITE SYMBOLS LEGEND			
SYM.	DESCRIPTION	SYM.	DESCRIPTION
●	FIRE HYDRANT - PER CIVIL	—	SAWTOOTH JOINT
■	CATCH BASIN - PER CIVIL	- - -	EXPANSION JOINT
⊙	CLEAN OUT - PER CIVIL	- - -	MATCHLINE
⊕	MAN HOLE - PER CIVIL	(E)/PA	EXISTING PLANTING AREA
+	EXISTING TREE	PA	PLANTING AREA
+	EXISTING BIKE RACK		PROTECT IN PLACE
—	EXISTING BIKE RACK		PROTECT IN PLACE

NOTE: UTILITIES SHOWN ARE FOR REFERENCE ONLY. SEE CIVIL AND ELEC. DWGS FOR DETAILS AND EXACT LOCATIONS. FINAL LOCATIONS TO BE REVIEWED BY LANDSCAPE ARCHITECT.

ST. THOMAS MORE CHURCH

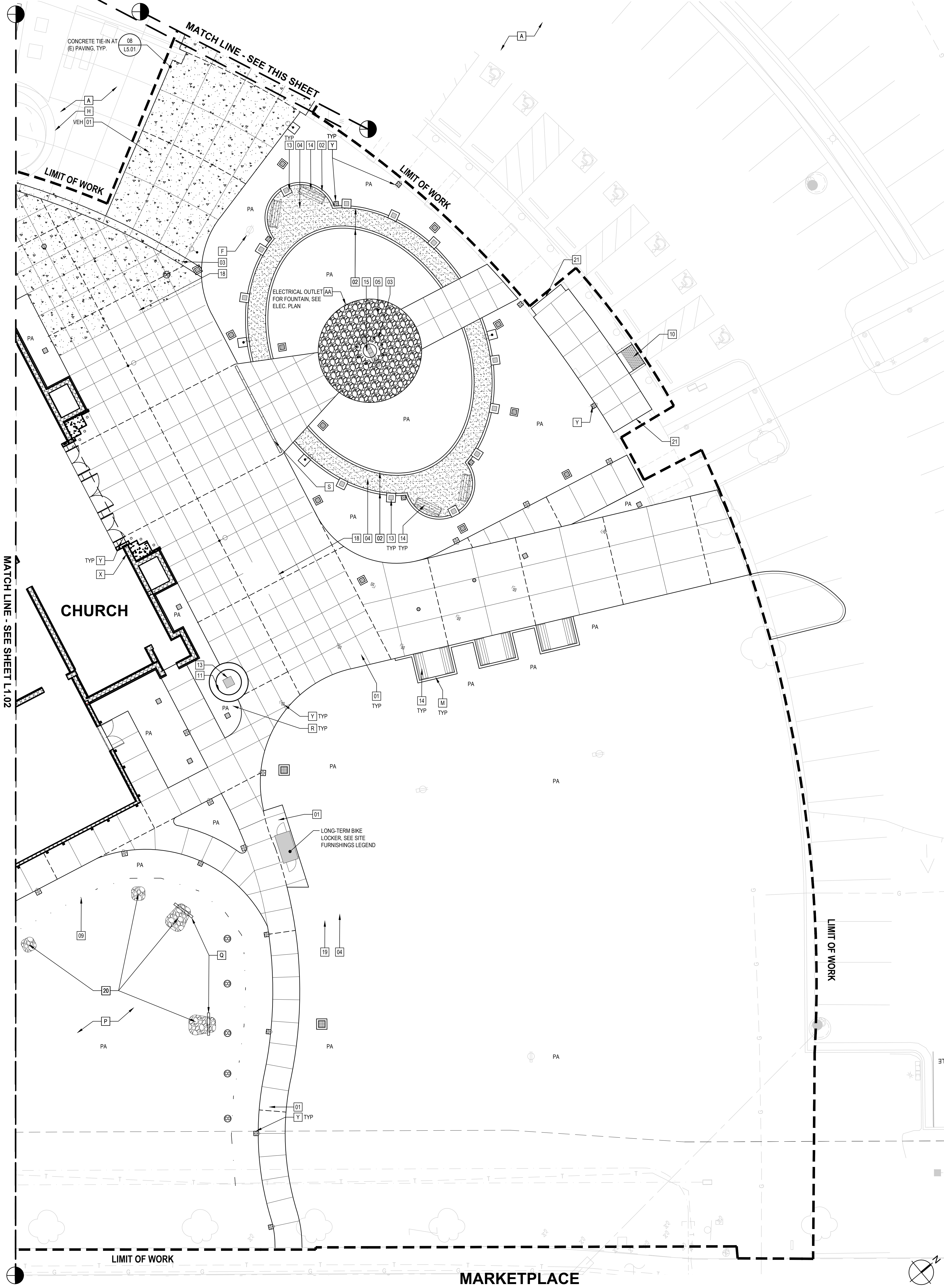
51 MARKETPLACE, IRVINE, CA 92602

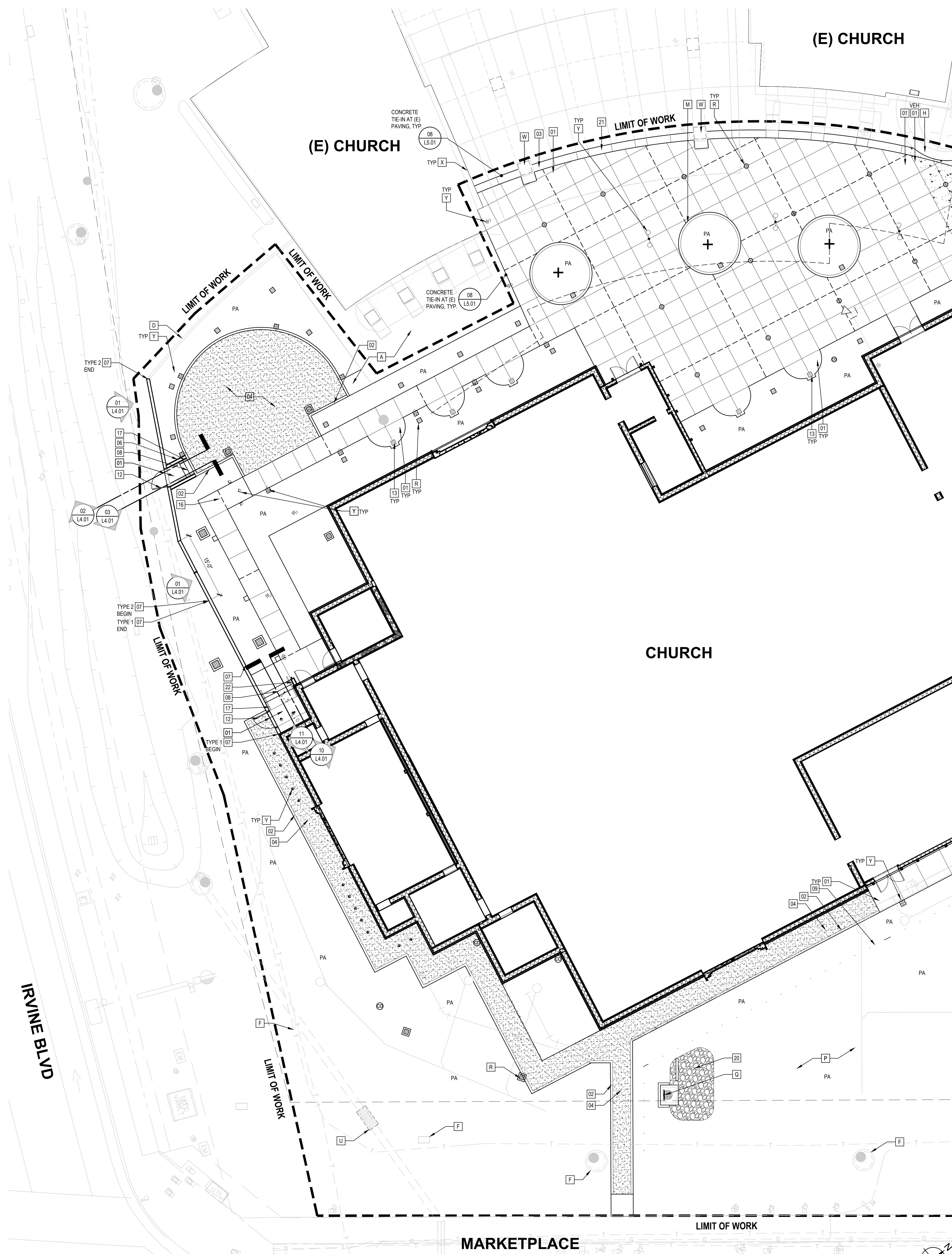
Developed for  
The Diocese of Orange for St. Thomas More

Revision	Date
1	01/16/2026

Submission	Date
AGENCY SUBMITTAL #1	10/17/2025
AGENCY SUBMITTAL #2	10/17/2025
AGENCY SUBMITTAL #3	03/16/2026

Job Number	25048.50
Checked By	
Scale	1" = 10'-0"





### MATERIALS KEYNOTE LEGEND

NOTE	DESCRIPTION	DET/ SHT	COLOR / FINISH
01	CONCRETE PAVING	01/ L5.01	NATURAL GRAY/ TOPCAST 05
02	CONCRETE FLUSH MOW CURB	14/ L5.01	NATURAL GRAY/ SMOOTH TROWEL
03	CONCRETE FLUSH BAND	17/ L5.01	NATURAL GRAY/ LIGHT BROOM
04	DECOMPOSED GRANITE PAVING	12/ L5.01	DESERT GOLD
05	FLAGSTONE PAVING	10/ L5.01	ARIZONA OAK
06	CONCRETE RETAINING WALL	09/ L5.02	NATURAL GRAY/ SMOOTH TROWEL
07	CMU WALL WITH PLASTER & PRECAST CAP	01, 17/ L5.02	CMU NAT. GREY / PRECISION PLASTER: MATCH EXIST. CAP: MATCH EXIST.
08	CONCRETE STAIRS	06/ L5.03	NATURAL GRAY/ MEDIUM BROOM
09	CABLE RAIL BARRIER	01/ L5.03	BLACK/ HDG W/ 2 PART URETHANE COATING
10	TRUNCATED DOME PAVER	09/ L5.01	FEDERAL YELLOW
11	CONCRETE RETAINING/SEAT WALL	06/ L5.02	NATURAL GRAY/ TOPCAST 05
12	SOLID STEEL DOOR	04/ L5.02	
13	RELOCATED EXISTING STATUE	19/ L5.01	MATCH EXISTING
14	RELOCATED EXISTING BENCHES	03/ L5.03	MATCH EXISTING
15	WATER FEATURE (SELF-CONTAINED KIT)	-	PER SITE FURNISHING LEGEND
16	WOOD CROSS PAD & FOOTING	13/ L5.03	NATURAL GRAY/ TOPCAST 05
17	HANDRAIL AT STAIRS	07/ L5.03	BROWN/ HDG W/ 2 PART URETHANE COATING
18	TREE GRATE	02/ L5.03	CAST IRON
19	ALUMINUM EDGING	16/ L5.01	BLACK/ PER MANUF.
20	BROKEN STONE @ DRAIN OUTLET	PER CIVIL	SOUTHWEST BOULDER & STONE BAJA CRESTA RUBBLE 1'6" X 12"
21	CONCRETE PAVING TIE-IN	08/ L5.01	
22	CONCRETE TURN-DOWN EDGE	20/ L5.01	NATURAL GRAY/ TOPCAST 05

### REFERENCE KEYNOTE LEGEND

NOTE	DESCRIPTION	DET/ SHT	COMMENTS
A	(E) PAVING		PROTECT IN PLACE
B	(E) CURB		PROTECT IN PLACE
C	(E) SITE FURNISHINGS		PROTECT IN PLACE
D	(E) WALL		PROTECT IN PLACE
E	(E) FENCE		PROTECT IN PLACE
F	(E) UTILITY		PROTECT IN PLACE
G	(E) PLANTER		PROTECT IN PLACE
H	(E) PAVING BAND		PROTECT IN PLACE
J	(E) SITE LIGHTING		PROTECT IN PLACE
K	(E) TRELLIS		PROTECT IN PLACE
L	(E) MONUMENT		PROTECT IN PLACE
M	CURB	PER CIVIL	
N	PARKING STRIPING	PER CIVIL	
P	BIORETENTION BASIN	PER CIVIL	
Q	BIORETENTION INLETS	PER CIVIL	
R	AREA DRAIN	PER CIVIL	
S	SLOT DRAIN	PER CIVIL	
T	CLEANOUT	PER CIVIL	
U	CONCRETE JUNCTION STRUCTURE	PER CIVIL	
V	BUILDING CANOPY	PER ARCH	
W	(E) TRELLIS COLUMN		PROTECT IN PLACE
X	BUILDING WALL	PER ARCH	
Y	SITE LIGHTING	PER ELECTRICAL	
Z	EV CHARGER	PER ELECTRICAL	
AA	UTILITY	PER ELECTRICAL	

### SITE LIGHTING LEGEND

SYM.	DESCRIPTION	DET/ SHT	DET/ SHT	COMMENTS
⊙	PEDESTRIAN LIGHT POLE	01/ L5.04	01/ E9.51	PER ELEC.
⊕	BOLLARD	09/ L5.04	09/ E9.51	PER ELEC.
⊙	INGRADE UPLIGHT	09/ L5.04	13/ E9.51	PER ELEC.
⊙	INGRADE UPLIGHT ADJUSTABLE	09/ L5.04	13/ E9.51	PER ELEC.

NOTE: SEE ELECTRICAL PLANS FOR FIXTURES, LAMPS, AND SPECS.

### SITE SYMBOLS LEGEND

SYM.	DESCRIPTION	SYM.	DESCRIPTION	DET.
⊕	FIRE HYDRANT - PER CIVIL	—	SAWCUT JOINT	02/ L5.01
⊕	CATCH BASIN - PER CIVIL	---	EXPANSION JOINT	02/ L5.01
⊕	CLEAN OUT - PER CIVIL	---	MATCHLINE	
⊕	MAN HOLE - PER CIVIL	(E)PA	EXISTING PLANTING AREA	
+	EXISTING TREE	PA	PLANTING AREA	
+	PROTECT IN PLACE			
+	EXISTING BIKE RACK			
+	PROTECT IN PLACE			

NOTE: UTILITIES SHOWN ARE FOR REFERENCE ONLY. SEE CIVIL AND ELEC DWGS FOR DETAILS AND EXACT LOCATIONS. FINAL LOCATIONS TO BE REVIEWED BY LANDSCAPE ARCHITECT.

**LPA**  
 ARCHITECTURE ENGINEERING INTERIOR DESIGN  
 LANDSCAPE ARCHITECTURE PLANNING  
 949-261-1001 Office  
**LPA Design Studios, Inc.**  
 5301 California Avenue, Suite 100  
 Irvine, California 92617

This document and all other project documents, ideas, aesthetics and designs incorporated therein are instruments of service. All project documents are copyright protected, and the property of LPA, Inc. (LPA) and cannot be lawfully used in whole or in part for any project or purpose except as set forth in the contractual agreement between LPA and its Client. The unauthorized disclosure and/or use of the project documents (including the creation of derivative works), may give rise to liability for copyright infringement, unlawful disclosure, use or misappropriation of property rights held by LPA. The unauthorized use of the project documents will give rise to the recovery of monetary losses and damages including attorney fees and costs for which the unauthorized user will be held liable. Project documents describe the design intent of the work and are not a representation of as-built or existing conditions. LPA is not responsible for any discrepancies between the project documents and the existing conditions. © LPA, Inc.

**ST. THOMAS MORE CHURCH**  
 51 MARKETPLACE, IRVINE, CA 92602  
 Developed for  
 The Diocese of Orange for St. Thomas More

Revision	Date
01	01/16/2025
02	03/16/2025
03	03/16/2025
04	03/16/2025
05	03/16/2025
06	03/16/2025
07	03/16/2025
08	03/16/2025
09	03/16/2025
10	03/16/2025
11	03/16/2025
12	03/16/2025
13	03/16/2025
14	03/16/2025
15	03/16/2025
16	03/16/2025
17	03/16/2025
18	03/16/2025
19	03/16/2025
20	03/16/2025
21	03/16/2025
22	03/16/2025
23	03/16/2025
24	03/16/2025
25	03/16/2025
26	03/16/2025
27	03/16/2025
28	03/16/2025
29	03/16/2025
30	03/16/2025
31	03/16/2025
32	03/16/2025
33	03/16/2025
34	03/16/2025
35	03/16/2025
36	03/16/2025
37	03/16/2025
38	03/16/2025
39	03/16/2025
40	03/16/2025
41	03/16/2025
42	03/16/2025
43	03/16/2025
44	03/16/2025
45	03/16/2025
46	03/16/2025
47	03/16/2025
48	03/16/2025
49	03/16/2025
50	03/16/2025

Job Number	25048.50
Checked By	
Scale	1" = 10'-0"

**PLANTING LEGEND**

TREE LIST		(NCH) - NO COMMON NAME	(*) - UNLESS NOTED ON PLAN
REF.	SYM.	BOTANICAL NAME/ COMMON NAME	SIZE/ SPACING COMMENTS/ DET
T1	⊕	OLEA EUROPAEA 'SWAN HILL' SWAN HILL FRUITLESS OLIVE	L 36" BOX/ PER PLAN 01/ L7.03
T2	⊙	PLATANUS RACEMOSA CALIFORNIA SYCAMORE	M 36" BOX/ PER PLAN 01/ L7.03
T3	⊕	LAGERSTROMIA INDICA X FAURIEI 'MUSKOGEE' / MUSKOGEE CRAPE MYRTLE	L 36" SOV/ PER PLAN 01/ L7.03

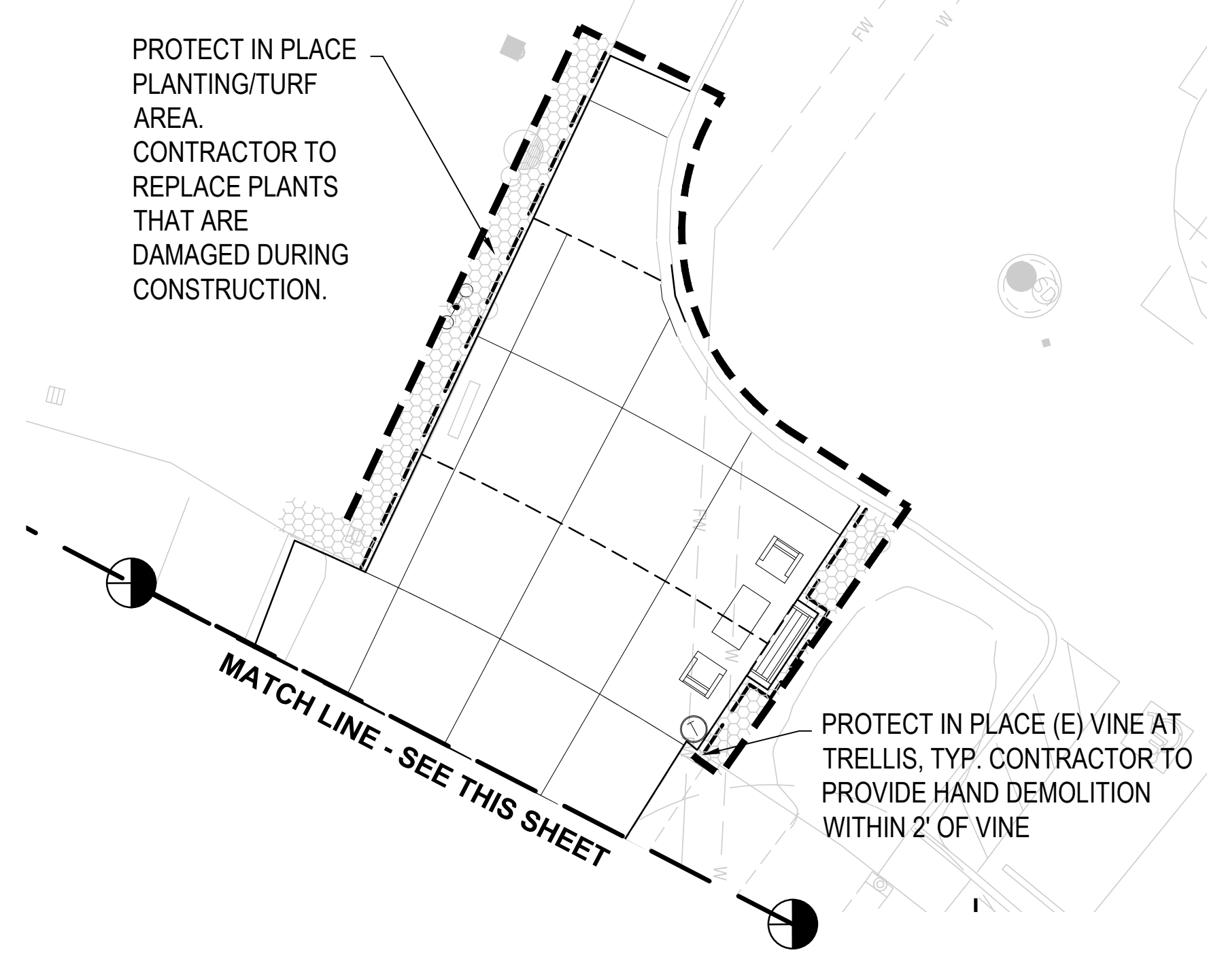
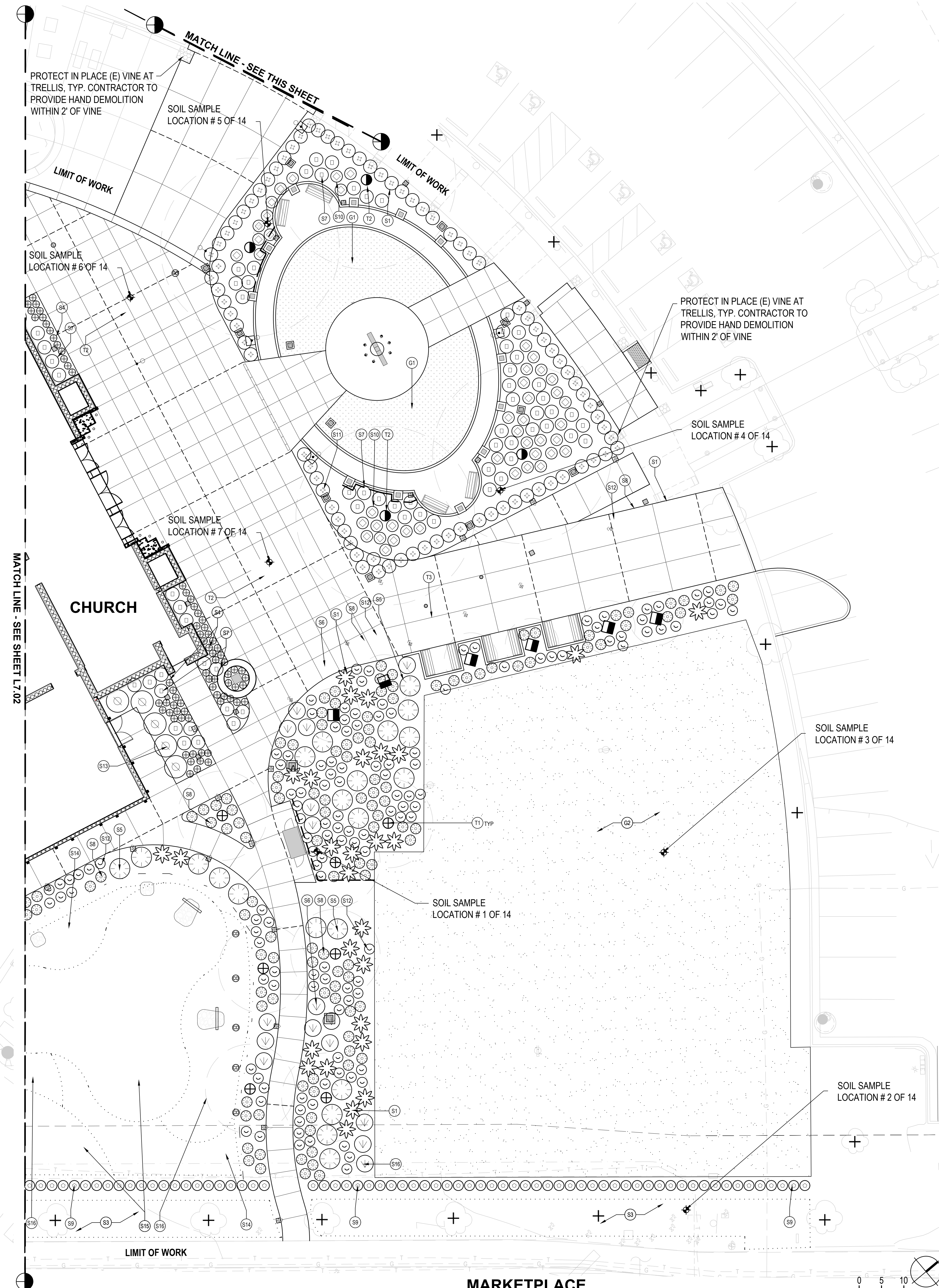
SHRUB LIST			
REF.	SYM.	BOTANICAL NAME/ COMMON NAME	SIZE/ SPACING COMMENTS/ DET
S1	⊕	AGAVE ATTENUATA 'RAY OF LIGHT' FOXTAIL AGAVE	L 5 GAL / PER PLAN 03/ L7.03
S2	⊕	BOUTELOUA GRAECILIS 'BLONDE AMBITION' BLONDE AMBITION BLUE GRAMA	L 5 GAL / 30" O.C. 03/ L7.03
S3	⊕	CAREX MACROCARPA 'GREEN CARPET' GREEN CARPET NATAL FLUM	L 5 GAL / 36" O.C. 03/ L7.03
S4	⊕	DIANELLA REVOLUTA 'LITTLE REV' LITTLE REV DIANELLA	L 5 GAL / 24" O.C. 03/ L7.03
S5	⊕	LANTANA CAMARA 'RADIATION' RADIATION BUSH LANTANA	L 5 GAL / 72" O.C. 03/ L7.03
S6	⊕	LANTANA MONTEVIDENSIS 'NEW GOLD' NEW GOLD LANTANA	L 5 GAL / 72" O.C. 03/ L7.03
S7	⊕	LAVENDULA ANGSTIFOLIA ENGLISH LAVENDER	L 5 GAL / PER PLAN 03/ L7.03
S8	⊕	LAVANDULA X ALLARDII 'MERRLO' VAREGATED LAVENDER	L 5 GAL / PER PLAN 03/ L7.03
S9	⊕	LIGUSTRUM JAPONICUM 'TEXANUM' TEXAS JAPANESE PRIVET	M 10 GAL / 30" O.C. 03/ L7.03
S10	⊕	LOMANDRA LONGIFOLIA 'BREEZE' DWARF MAT RUSH	L 5 GAL / 42" O.C. 03/ L7.03
S11	⊕	OLEA EUROPAEA 'MONTRA' LITTLE OLIVE DWARF OLIVE	L 5 GAL / PER PLAN 03/ L7.03
S12	⊕	SALVIA GREGGII AUFUM SAGE	L 5 GAL / PER PLAN 03/ L7.03
S13	⊕	SARCOCOCCA HOOKERIANA HIMALAYAN SWEET BOX	M 5 GAL / PER PLAN 03/ L7.03

BIORETENTION BASIN SHRUBS			
REF.	SYM.	BOTANICAL NAME/ COMMON NAME	SIZE/ SPACING COMMENTS/ DET
S14	⊕	CAREX DIVULSA BERKELEY SEDGE	L 5 GAL / 18" O.C. 03/ L7.03
S15	⊕	CHONDROPETALUM TECTORUM SMALL CAPE RUSH	M 5 GAL / 30" O.C. 03/ L7.03
S16	⊕	LEYMUS CONDENSATUS 'CANYON PRINCE' CANYON PRINCE WILD RYE	L 5 GAL / 30" O.C. 03/ L7.03

TURF LIST			
REF.	SYM.	TURF TYPE	SPACING
G1	⊕	1240 HYBRID BERMLUDA AVAL AT PACIFIC SOD	M 12" SOD ROLLS
G2	⊕	11700 HYDROSEED MIX	-

MISCELLANEOUS SYMBOLS			
SYM.	DESCRIPTION	QTY	DET
---	LINEAR ROOT BARRIER	07'	L7.03
⊕	SOIL SAMPLE LOCATION (14 TOTAL)		
⊕	EXISTING PLANTING, PROTECT IN PLACE - HAND DEMOLITION WITHIN 2'		

\*NOTE: ALL VINE PLANTING AT TRELLIS POST LOCATIONS TO BE PROTECTED IN PLACE CONTRACTOR TO VERIFY IN FIELD ALL VINE PLANTING.

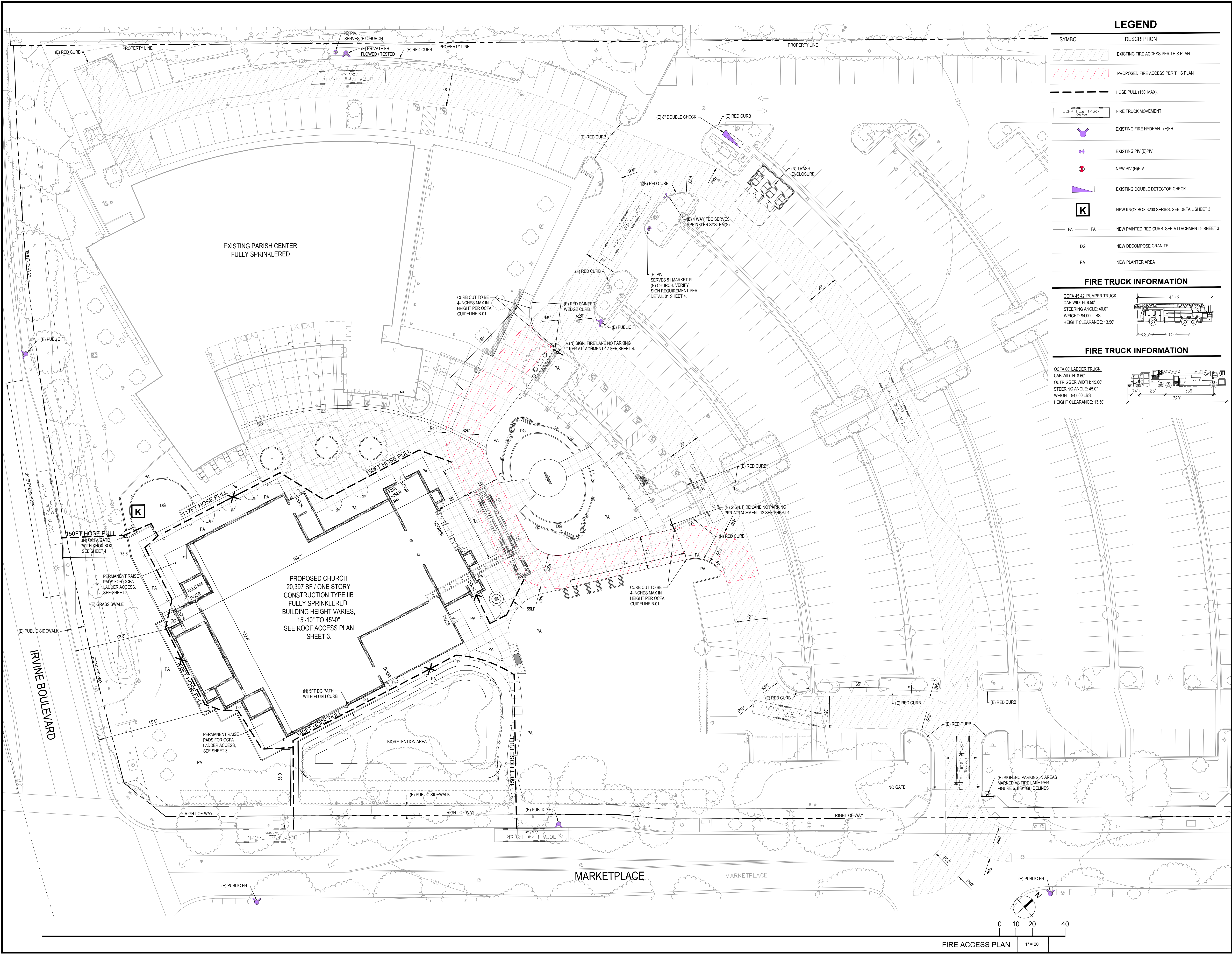


Submission	Date	Revision	Date
AGENCY SUBMITTAL #1	10/17/2025	AGENCY SUBMITTAL #2	01/16/2026
AGENCY SUBMITTAL #2	03/19/2025		
AGENCY SUBMITTAL #3	03/19/2025		

Job Number: 25048.50  
Checked By:  
Scale: 1" = 10'-0"





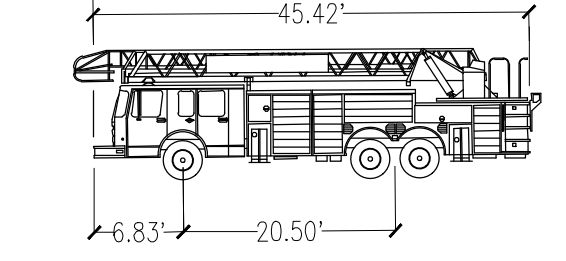


**LEGEND**

SYMBOL	DESCRIPTION
[Dotted Pattern]	EXISTING FIRE ACCESS PER THIS PLAN
[Red Dashed Line]	PROPOSED FIRE ACCESS PER THIS PLAN
[Dashed Line]	HOSE PULL (150' MAX)
[DCFA Fire Truck Icon]	FIRE TRUCK MOVEMENT
[Blue Circle]	EXISTING FIRE HYDRANT (E/FH)
[Purple Circle]	EXISTING PIV (E/PIV)
[Red Circle]	NEW PIV (N/PIV)
[Purple Triangle]	EXISTING DOUBLE DETECTOR CHECK
[K in Box]	NEW KNOX BOX 3200 SERIES. SEE DETAIL SHEET 3
[FA Line]	FA FA NEW PAINTED RED CURB. SEE ATTACHMENT 9 SHEET 3
[DG Line]	NEW DECOMPOSE GRANITE
[PA Line]	NEW PLANTER AREA

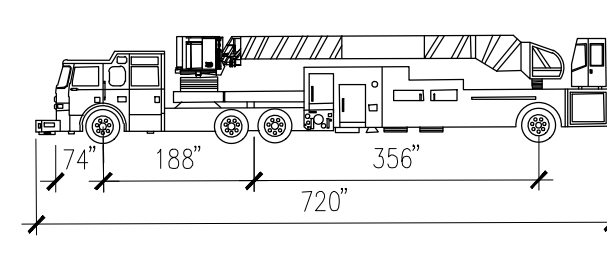
**FIRE TRUCK INFORMATION**

**OCFA 45.42' PUMPER TRUCK:**  
 CAB WIDTH: 8.50'  
 STEERING ANGLE: 40.0°  
 WEIGHT: 94,000 LBS  
 HEIGHT CLEARANCE: 13.50'



**FIRE TRUCK INFORMATION**

**OCFA 60' LADDER TRUCK:**  
 CAB WIDTH: 8.50'  
 OUTRIGGER WIDTH: 15.00'  
 STEERING ANGLE: 45.0°  
 WEIGHT: 94,000 LBS  
 HEIGHT CLEARANCE: 13.50'



PROPOSED CHURCH  
 20,397 SF / ONE STORY  
 CONSTRUCTION TYPE IIB  
 FULLY SPRINKLERED.  
 BUILDING HEIGHT VARIES,  
 15'-10" TO 45'-0"  
 SEE ROOF ACCESS PLAN  
 SHEET 3.

**FIRE ACCESS PLAN**  
 SAINT THOMAS MORE CATHOLIC NEW CHURCH  
 51 MARKETPLACE  
 IRVINE, CA 92602

**ORANGE COUNTY FIRE AUTHORITY**  
 COMMUNITY RISK REDUCTION - PLANNING AND DEVELOPMENT SECTION

DESIGNED: GB 5  
 DRAWN: GB 4  
 CHECKED: RR 3  
 DATE: 03/16/2026  
 SUBMITTAL NO. 2  
 SCALE: AS SHOWN  
 NO. DATE

PLANS PREPARED BY:  
 LPA LANDSCAPE ARCHITECTURE PLANNING  
 949-261-1189 Fax  
 949-261-1189 Fax  
 LPADesignStudios.com  
 5381 California Avenue, Suite 100  
 Irvine, California 92617

ROBERT RICHARDSON 3.31.26  
 CIVIL ENGINEER LICENSE NO. EXP. DATE

OCFA REVIEW AND INSPECTIONS (OCFA USE ONLY)  
 NO OCFA REVIEW REQUIRED  
 PLAN REVIEW ONLY  
 PLAN REVIEW AND INSPECTION

SR# 26000275  
 A1.01B

EXISTING PLANTING SF:

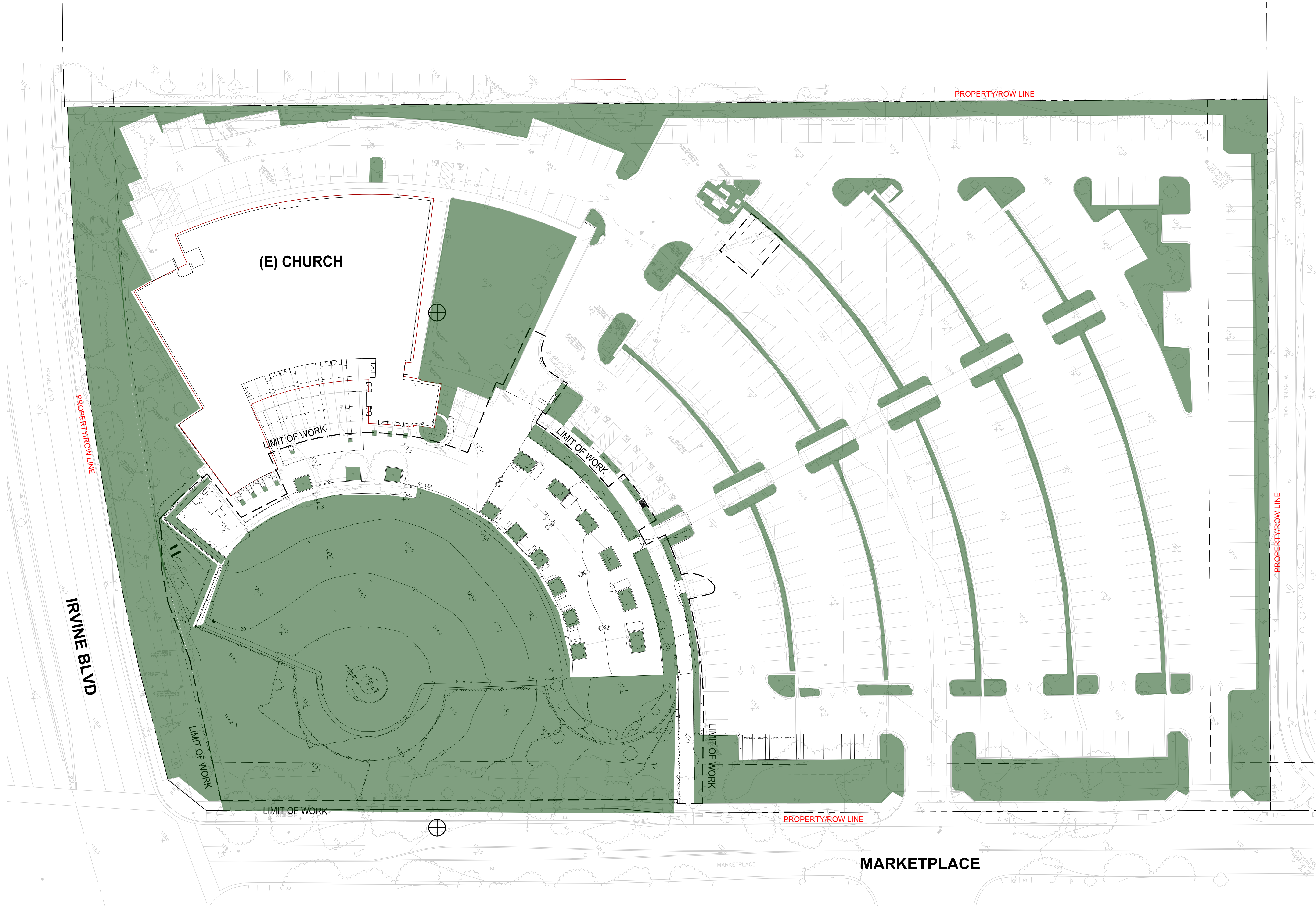


ARCHITECTURE ENGINEERING INTERIOR DESIGN  
 LANDSCAPE ARCHITECTURE PLANNING  
 949-261-1001 Office  
 LPADesignStudios.com  
 5301 California Avenue, Suite 100  
 Irvine, California 92617

Legend

Description	Quantity	Unit
EX SITE - PA	125,226.10	sf

TOTAL SITE AREA: 367,533 SF  
 OPEN SPACE COVERAGE: 34.1%



This document and all other project documents, ideas, aesthetics and designs incorporated therein are instruments of service. All project documents are copyright protected, as the property of LPA, Inc. (LPA) and cannot be lawfully used in whole or in part for any project or purpose except as set forth in the contractual agreement between LPA and its Client. The unauthorized disclosure and/or use of the project documents (including the creation of derivative works) may give rise to liability for copyright infringement, unlawful disclosure, use or misappropriation of property rights held by LPA. The unauthorized use of the project documents will give rise to the recovery of monetary losses and damages including attorney fees and costs for which the unauthorized user will be held liable. Project documents describe the design intent of the work and are not a representation of as-built or existing conditions. LPA is not responsible for any discrepancies between the project documents and the existing conditions. © LPA, Inc.

ST. THOMAS MORE CHURCH

51 MARKETPLACE, IRVINE, CA 92602

Developed for  
 The Diocese of Orange for St. Thomas More

Revision	Date
AGENCY SUBMITTAL #2	01/16/2026
AGENCY SUBMITTAL #3	04/03/2026

Submittal	Date
AGENCY SUBMITTAL #1	10/17/2025
AGENCY SUBMITTAL #2	01/05/2026
AGENCY SUBMITTAL #3	04/03/2026

Job Number	25048.50
Checked By	
Scale	1" = 30'-0"

OVERALL SITE PLAN

EXISTING SITE

EXISTING PLANTING SF:



PROPOSED PLANTING SF:



Legend

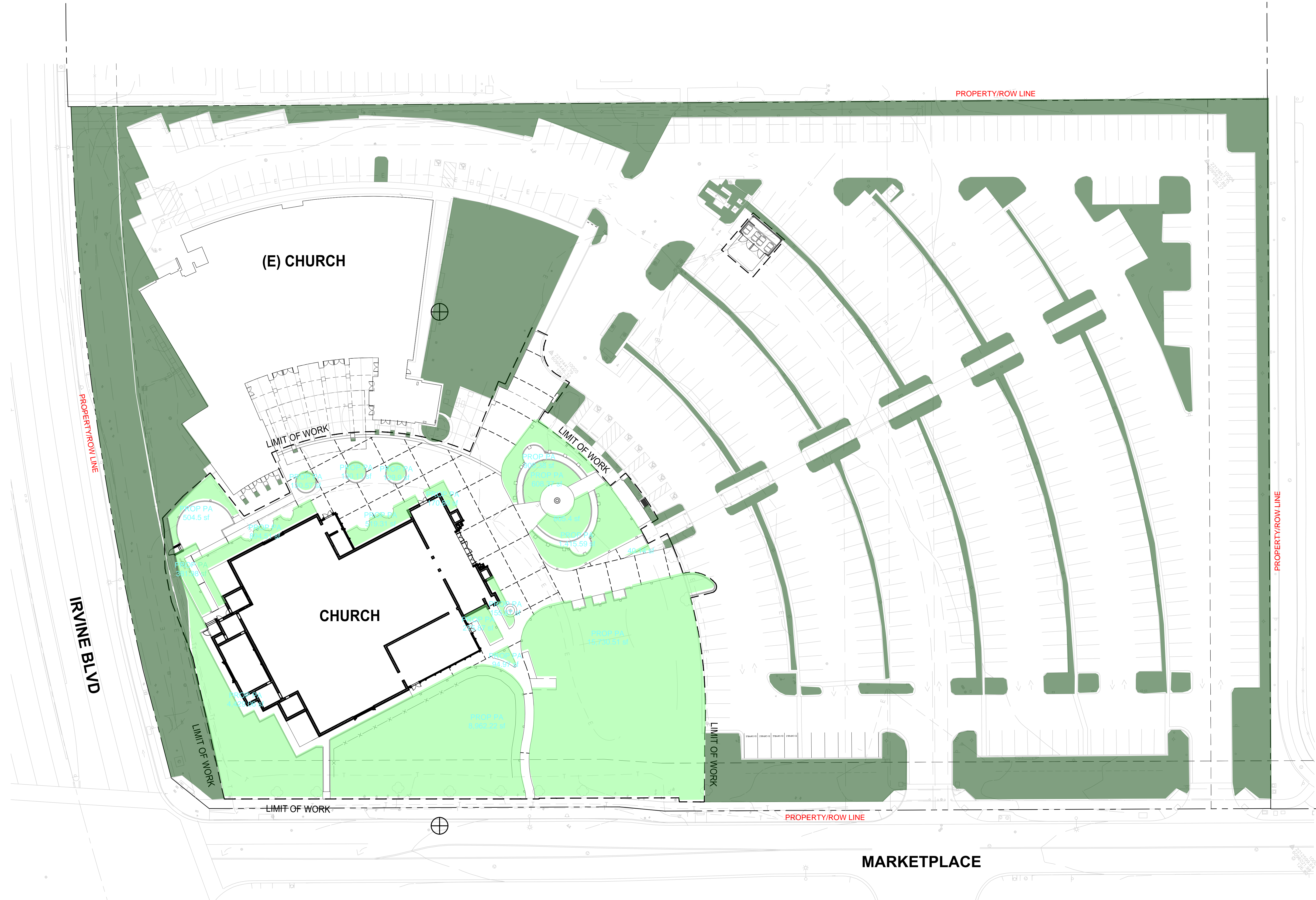
Description	Quantity	Unit
PROP SITE - EX PA	70,919.77	sf
PROP SITE - NEW PA	35,480.80	sf
<b>SUB TOTAL PA:</b>	<b>106,400.57</b>	<b>SF</b>

TOTAL SITE AREA: 367,533 SF  
OPEN SPACE COVERAGE: 28.9%



ARCHITECTURE ENGINEERING INTERIOR DESIGN  
LANDSCAPE ARCHITECTURE PLANNING  
949-261-1001 Office  
LPADesignStudios.com  
5301 California Avenue, Suite 100  
Irvine, California 92617

This document and all other project documents, ideas, aesthetics and designs incorporated therein are instruments of service. All project documents are copyright protected, and the property of LPA, Inc. (LPA) and cannot be lawfully used in whole or in part for any project or purpose except as set forth in the contractual agreement between LPA and its Client. The unauthorized disclosure and/or use of the project documents (including the creation of derivative works) may give rise to liability for copyright infringement, unlawful disclosure, use or misappropriation of property rights held by LPA. The unauthorized use of the project documents will give rise to the recovery of monetary losses and damages including attorney fees and costs for which the unauthorized user will be held liable. Project documents describe the design intent of the work and are not a representation of as-built or existing conditions. LPA is not responsible for any discrepancies between the project documents and the existing conditions. © LPA, Inc.



ST. THOMAS MORE CHURCH

51 MARKETPLACE, IRVINE, CA 92602

Developed for  
The Diocese of Orange for St. Thomas More

Revision	Date
AGENCY SUBMITTAL #2	07/16/2026
AGENCY SUBMITTAL #3	04/03/2026

Submittal	Date
AGENCY SUBMITTAL #1	10/17/2025
AGENCY SUBMITTAL #2	07/05/2026
AGENCY SUBMITTAL #3	04/03/2026

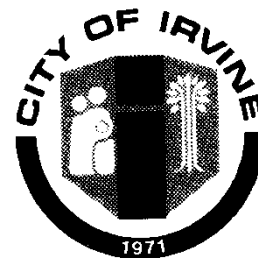
Job Number	25048.50
Checked By	
Scale	1" = 30'-0"

OVERALL SITE PLAN

PROPOSED SITE

City of Irvine

Department of Community Development  
P.O. Box 19575  
Irvine, CA 92623-9575



**ENVIRONMENTAL EVALUATION FOR  
SUBSEQUENT ACTIVITY UNDER AN EIR**

**(This is not an Initial Study)**

**PLANNING AREA 4**

**SECTION I. PROJECT INFORMATION**

PROJECT TITLE AND NUMBER: Master Plan Modification St. Thomas More Church – File No. 00956249-PMP

---

PROGRAM EIR NAME:  
Lower Peters Canyon Specific Plan Final  
Environmental Impact Report

EIR NUMBER:  
County EIR No. 557  
SCH# 94041030

---

PROJECT APPLICANT: Ginger Shulman - LPA Design Studio, Inc.

---

PROJECT LOCATION (SPECIFIED): 51-55 Marketplace, Planning Area 4 (Lower Peters Canyon), APN 10435506

---

PROJECT LOCATION (CITY): Irvine

PROJECT LOCATION (COUNTY): Orange

---

PROJECT DESCRIPTION: Modification to the approved St. Thomas More church campus master plan (Phase 2) to redesign the approved, but unbuilt, Parish Church building, including a reduction in building area (23,583 to 20,000 square feet), a corresponding reduction in seating capacity (1,500 to 963 fixed seats), and removal of the previously approved rotunda and bell tower architectural elements.

GENERAL PLAN LAND USE DESIGNATION: Multi-Use

ZONING DESIGNATION OF SITE: 3.1C Multi-Use

PREPARED BY: Brett Cannon, Senior Planner

DATE: May 5, 2026

APPROVED BY: Chris Chung, Principal Planner

DATE: May 5, 2026

**SECTION II: PROGRAM EIR CHECKLIST**

In accordance with Section 15168c of the CEQA Guidelines, the following checklist ensures that all project-related impacts have been addressed in the Program EIR. Mitigation measures identified in the Program EIR are listed for each project-related impact. This checklist is based on the Program EIR prepared for the original Master Plan approval. The proposed modification represents a reduction in building area, height, and intensity. The modification does not result in new or more severe environmental impacts than those previously analyzed, and all applicable mitigation measures identified in the Program EIR continue to apply.

	<b>Project related impact</b>	<b>Impact DOES NOT require mitigation through EIR analysis</b>	<b>Impact DOES require mitigation through EIR analysis</b>	<b>Assigned mitigation measures</b>
1.	<b><u>EARTH RESOURCES.</u></b> Will the proposal result in or be affected by:			
	A. Unstable earth conditions or changes in geologic substructures?	Yes / <b>No</b>	x	1,3
	B. Substantial disruptions, displacements, compaction, or over covering of the soil?	Yes / <b>No</b>	x	
	C. Significant change in topography or ground surface relief features?	Yes / <b>No</b>	x	
	D. The destruction, covering, or modification of any unique geologic or physical features?	Yes / <b>No</b>	x	3
	E. Substantial increase in water or wind erosion of soils, either on or off the site?	Yes / <b>No</b>	x	
	F. Changes in siltation, deposition, or erosion which may modify the channel of a river or stream or the bed of any bay, inlet or lake?	Yes / <b>No</b>	x	8, 25
	G. Exposure of people or property to geologic hazards such as earthquakes, landslides, mudslides, ground failure, or similar hazards?	Yes / <b>No</b>	x	2
2.	<b><u>AIR RESOURCES.</u></b> Will the proposal result in:			
	A. The creation of objectionable odors?	Yes / <b>No</b>	x	
	B. Substantial contribution to an existing or projected air quality violation?	Yes / <b>No</b>	x	6,7
	C. Violation of any ambient air quality standard?	Yes / <b>No</b>	x	6,7
	D. Exposure of sensitive receptors to substantial pollutant concentrations?	Yes / <b>No</b>	x	

	<b>Impact DOES NOT require mitigation through EIR analysis</b>	<b>Impact DOES require mitigation through EIR analysis</b>	<b>Assigned mitigation measures</b>
<b>3. <u>WATER RESOURCES.</u> Will the proposal result in:</b>			
A. Changes in drainage patterns, rate and amount of surface water runoff, or substantial changes in absorption rates?	Yes / <b>No</b> _____	x	8,10,15 8,9,11,12 13,14,20
B. Alterations to the flow or course of flood waters?	Yes / <b>No</b> _____	x	8,21
C. Change in the amount of surface water in any water body?	Yes / <b>No</b> _____	x	21,23, 24,25
D. Discharge into surface waters, or in any alteration of surface water quality, including but not limited to temperature, dissolved oxygen or turbidity?	Yes / <b>No</b> _____	x	x
E. Alteration of the level, direction, or rate of flow of ground waters?	Yes / <b>No</b> _____	x	x
F. Change in the quantity or quality of ground waters, either through direct additions or withdrawals, or through interception of an aquifer by cuts or excavations?	Yes / <b>No</b> _____	x	74,75,76 10,11,12, 13,14,15, 16,17,16, 18,19
G. Reduction in the amount of water otherwise available for public water supplies?	Yes / <b>No</b> _____	x	54,74, 75,76
H. Exposure of people or property to water-related hazards, such as flooding?	Yes / <b>No</b> _____	x	27
I. Wasteful use of water?	Yes / <b>No</b> _____	x	26,33,34
<b>4. <u>BIOLOGICAL RESOURCES.</u> Will the proposal result in:</b>			
A. Substantial change in the diversity or number of any species of plants or animals (including trees, shrubs, grass, crops, microflora, aquatic plants, birds, land animals, reptiles, fish and shellfish, insects or microfauna)?	Yes / <b>No</b> _____	x	26,33,34
B. Any reduction in the numbers of unique, aesthetically significant, rare or endangered plants or animals?	Yes / <b>No</b> _____	x	26,33,34

	<u>Project related impact</u>	<u>Impact DOES NOT require mitigation through EIR analysis</u>	<u>Impact DOES require mitigation through EIR analysis</u>	<u>Assigned mitigation measures</u>
C. Introduction of new species of plants or animals into an area as a barrier to the normal replenishment or migration of existing species?	Yes / <b>No</b>		x	53
D. Reduction in acreage of any agricultural crop?	Yes / <b>No</b>		x	Statement of Overriding Considerations
E. Significant deterioration of existing fish or wildlife habitat?	Yes / <b>No</b>	x		
5. <b><u>CULTURAL/SCIENTIFIC RESOURCES.</u></b> Will the proposal:				
A. Result in the alteration of a paleontological, archaeological, or historical site?	Yes / <b>No</b>		x	28,29,30 31,32
B. Result in adverse physical or aesthetic effects to a prehistoric or historic building, structure, or object?	Yes / <b>No</b>		x	28,29,30
C. Have the potential to cause a physical change which would affect unique ethnic cultural values?	Yes / <b>No</b>	x		
D. Restrict existing religious or sacred uses within the potential impact area?	Yes / <b>No</b>	x		
6. <b><u>NATURAL RESOURCES.</u></b> Will the proposal result in:				
A. An abnormal increase in the rate of use of any natural resource?	Yes / <b>No</b>		x	74,75,76
B. Substantial depletion of any nonrenewable natural resource, including agricultural soils or open space?	Yes / <b>No</b>		x	Statement of Overriding Considerations
7. <b><u>AESTHETICS.</u></b> Will the proposal result in the obstruction of any scenic vista or view open to the public, or will the proposal create a substantial, negative aesthetic effect?	Yes / <b>No</b>		x	33,34,35
8. <b><u>ENERGY.</u></b> Will the proposal:				
A. Result in wasteful use of fuel or energy?	Yes / <b>No</b>	x		
B. Abnormally increase demand for existing sources of energy, or require the development of new sources of energy?	Yes / <b>No</b>	x		

	Project related impact	Impact DOES NOT require mitigation through EIR analysis	Impact DOES require mitigation through EIR analysis	Assigned mitigation measures
9. <b>LAND USE.</b> Will the proposal:				
A. Conflict with zoning or general plan designations, or policies?	Yes / <b>No</b>	x		
B. Conflict with adjacent, existing, or planned land uses?	Yes / <b>No</b>	x		
C. Significantly induce urban growth?	Yes / <b>No</b>		x	Statement of Overriding Considerations
D. Disrupt the physical arrangement of an established community?	Yes / <b>No</b>	x		
E. Result in conversion of prime agricultural land to non-agricultural use, or impair the agricultural productivity of prime agricultural land?	Yes / <b>No</b>		x	Statement of Overriding Considerations
10. <b>TRANSPORTATION/CIRCULATION.</b> Will the proposal:				
A. Result in generation of substantial traffic in excess of existing or planned system capacity?	Yes / <b>No</b>		x	36,37,38, 39,40,41, 42,70,71, 72,73
B. Alter present patterns of circulation or movement of people and/or goods?	Yes / <b>No</b>		x	36,37,38, 39,40, 41,42
C. Create substantial demand for rail or air traffic beyond existing or planned capacity?	Yes / <b>No</b>	x		
D. Increase traffic hazards to equestrians, motor vehicles, bicyclists, or pedestrians?	Yes / <b>No</b>		x	36,42
E. Create internal circulation problems?	Yes / <b>No</b>		x	36,37, 38,42
11. <b>POPULATION.</b> Will the proposal significantly:				
A. Alter the location, distribution, density, or growth rate of the human population of the area?	Yes / <b>No</b>	x		
B. Displace a large number of people?	Yes / <b>No</b>	x		
12. <b>HOUSING.</b> Will the proposal alter existing housing types, or create a substantial demand for additional housing?	Yes / <b>No</b>	x		

	Project related impact	Impact DOES NOT require mitigation through EIR analysis	Impact DOES require mitigation through EIR analysis	Assigned mitigation measures
13. <b>RECREATION.</b> Will the proposal result in a major impact upon the quality or quantity of existing recreational opportunities?	Yes / <b>No</b>		x	43,44,45, 46, 47, 48,49
14. <b>PUBLIC HEALTH AND SAFETY.</b> Will the proposal:				
A. Create a potential public health hazard, or involve the use, production or disposal of materials which pose a hazard to people, animal or plant populations in the area affected?	Yes / <b>No</b>		x	4,5,22, 29,50,51, 52,55,56
B. Expose persons or property to high fire hazard conditions?	Yes / <b>No</b>		x	4,65, 66,67
C. Expose persons to potential aircraft crash hazards?	Yes / <b>No</b>	x		
15. <b>NOISE.</b> Will the proposal result in:				
A. Substantial increases in ambient noise levels for adjoining areas?	Yes / <b>No</b>		x	57,58,59
B. Exposure of people to existing or ultimate noise levels in excess of city, state, or federal standards?	Yes / <b>No</b>		x	57,58,59
16. <b>LIGHT AND GLARE.</b> Will the proposal produce light or glare which would be annoying or hazardous?	Yes / <b>No</b>		x	60
17. <b>PUBLIC SERVICES AND UTILITIES.</b> Will project be deficient in the following areas:				
A. Fire protection?	Yes / <b>No</b>		x	64,65, 66,67
B. Police protection?	Yes / <b>No</b>		x	63
C. Schools?	Yes / <b>No</b>		x	68
D. Parks or other recreational facilities?	Yes / <b>No</b>		x	43,44,45, 46,47, 48,49
E. Maintenance of public facilities, including roads?	Yes / <b>No</b>	x		
F. Electricity or natural gas?	Yes / <b>No</b>		x	61
G. Communications systems?	Yes / <b>No</b>		x	62
H. Water?	Yes / <b>No</b>		x	61,74,75
I. Sewer?	Yes / <b>No</b>		x	61
J. Storm water drainage?	Yes / <b>No</b>		x	61

Project related impact	Impact DOES NOT require mitigation through EIR analysis	Impact DOES require mitigation through EIR analysis	Assigned mitigation measures
K. Solid waste and disposal?	Yes / <u>No</u>	x	78,89
			62,69,70
L. Other services?	Yes / <u>No</u>	x	71,72,73

**SECTION III. APPLICABILITY OF CEQA GUIDELINES**  
**SECTIONS 15162 AND 15163**

	<u>YES</u>	<u>NO</u>
1. Subsequent changes are proposed in the project which will require important revisions of the EIR due to the involvement of new significant environmental impacts not considered in a EIR on the project.	_____	_____ <b>X</b> _____
2. Substantial changes occur with respect to the circumstances under which the project is undertaken, such as a substantial deterioration in the air quality where the project will be located, which will require important revisions in the EIR due to the involvement of new significant environmental impacts not covered in the EIR; or	_____	_____ <b>X</b> _____
3. New information of substantial importance to the project becomes available, and		
A. The information was not known and could not have been known at the time the EIR was certified as complete or was adopted, and	_____	_____ <b>X</b> _____
B. The new information shows any of the following:		
1. The project will have one or more significant effects not discussed previously in the EIR;	_____	_____ <b>X</b> _____
2. Significant effects previously examined will be substantially more severe than show in the EIR;	_____	_____ <b>X</b> _____
3. Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the project; or	_____	_____ <b>X</b> _____
4. Mitigation measures or alternatives which were not previously considered in the EIR would substantially lessen one or more significant effects on the environment.	_____	_____ <b>X</b> _____

**SECTION IV. FINDINGS**

	<u>YES</u>	<u>NO</u>
1. The project has effects that were not examined in the EIR; therefore, an Initial Study needs to be prepared leading to either an EIR or a Negative Declaration.	_____	_____ <b>X</b> _____
2. The agency finds that pursuant to Section 15162, no new effects will occur or no new mitigation measures will be required. The agency can approve the project as being within the scope of the project covered by the EIR, and no new environmental document is required.	_____ <b>X</b> _____	_____

**SUBSEQUENT ACTIVITY UNDER A PROGRAM EIR  
LOWER PETERS CANYON  
SPECIFIC PLAN  
PLANNING AREA 4**

- A - Previously applied mitigation measures**  
**B - Mitigation measures for this project**  
**S - Mitigation Measures Satisfied for Entire Planning Area**  
**N/A - Not applicable mitigation measures for this project**
- 

Earth Resources

- N/A 1. Prior to the issuance of grading permits for Sector 1 (S1), the applicant shall submit a geotechnical report to the Director of Community Development for approval. As part of this geotechnical investigation, a specific review and analysis of the state-of-activity of the El Modeno Fault shall be made. This investigation shall determine the exact location of the fault as it traverses S1 and to determine if it represents a seismic hazard to the planned development in the area. If it is determined that the fault is potentially active, then a setback zone shall be established so that no structures designed for human occupancy will be constructed over, or immediately adjacent to, the surface trace of the fault (Mitigation Measure S-1).
- A 2. Prior to the issuance of building permits, the applicant shall submit a statement to the Director of Community Development that acknowledges receipt of the City of Irvine's Earthquake Preparedness Pamphlet. The statement shall be signed by each prospective buyer, lessee and/or occupant prior to occupancy (Mitigation Measure S-2).
- S 3. Prior to the issuance of the first grading permit within each Sector, the developer shall submit a geotechnical conditions report to the Director of Community Development. The report shall investigate the soil conditions and properties for the Sector and shall be prepared by a qualified geotechnical engineer (Mitigation Measure S-3).
- N/A 4. Prior to the issuance of certificates of use and occupancy for individual tenant improvements or construction permits for a chemical tank or pipeline in Sectors 4, 6, 8, or 10, uses shall be identified and, for specified uses, the applicant shall propose plans and measures for chemical management (including, but not limited to, storage, emergency response, employee training,

spill contingencies and disposal) to the satisfaction of the Director of Community Development (Mitigation Measure S-4).

N/A 5. Prior to the issuance of any certificates of use and occupancy in Sectors 4, 6, 8, or 10, a copy of the "Chemical Management Plans" as approved by the Director of Community Development and other specified agencies such as the Orange County Fire Authority, the County of Orange Health Care Agency and sewerage agencies to ensure implementation of each agency's respective requirements, shall be provided to the Director of Community Development. Ministerially issued certificates or permits may be withheld if features needed to properly manage chemicals cannot be incorporated into a previously completed building, center or complex (Mitigation Measure S-4).

A 6. Prior to the issuance of any grading permit, it shall be demonstrated that grading activities shall be in compliance with the South Coast Air Quality Management District Rule 403 to reduce fugitive dust. Dust reduction measures may include, but are not limited to: regular watering of graded surfaces, restriction of all construction vehicles and equipment to travel along established and regularly watered roadways, and suspending operations that create dust during windy conditions. Notes to this effect on grading plans shall be reviewed and approved by the Director of Community Development (Mitigation Measure S-5).

#### Air Quality

S 7. Prior to the issuance of the first building permits for non-residential buildings in Sectors 4 and 6, a Transportation Management Plan (TMP) shall be submitted and approved by the Manager of Transportation Services. The TMP shall identify Transportation Demand Management techniques to increase vehicle occupancy rates and the use of public transportation including: preferred parking for carpools and/or vanpools for employees and the distribution of rideshare/public transit information to each employee (Mitigation Measure A-1).

#### Surface Hydrology, Water Quality and Groundwater

A 8. Prior to the issuance of certificates of use and occupancy, project construction shall appropriately mitigate effects of increased runoff resulting from the project on Peters Canyon Wash and its tributaries through and downstream of the project site to the confluence of Peters Canyon Wash and San Diego Creek. Mitigation shall be accomplished for 10-year, 25-year and 100-year flood (Mitigation Measure H-1, Special Development Requirement).

A. Retarding basins shall be constructed either within, downstream and/or upstream of the Lower Peters Canyon area to reduce post-project peak flow rates to be equal to or be below pre-project level discharges.

- B. Master Plan retarding basins may be constructed for mitigation purposes except the Trabuco Retarding Basin which shall not be considered.
- C. The East Hicks, Hicks and Orchard Estates Retaining Basins shall be constructed at specific development stages to insure mitigation of increased runoff or interim retaining basins will need to be constructed to mitigate flood peak increases until the ultimate basins are constructed.

A 9. Prior to the issuance of certificates of use and occupancy, the applicant shall design and construct all necessary regional control facilities within Lower Peters Canyon to convey the Orange County Environmental Management Agency's (OCEMA) approved ultimate (i.e., full build-out) 100-year discharges, or the 100-year interim condition discharges, whichever is greater (Mitigation Measure H-2, Special Development Requirement).

A. All flood control facilities shall be designed to Orange County Flood Control District (OCFCD) standards and approved by the Director of Community Development prior to construction of the facility.

1. Interim flood control facilities may be considered for approval provided such facilities meet all mitigation requirements and are maintained at the sole cost of the applicant and overseen by OCFCD. All interim improvements, including interim mitigation basins, will require agreements which guarantee construction of ultimate flood control facilities by the applicant prior to a date to be determined by OCFCD, and provide for indemnification of OCFCD against losses and liabilities except that ultimate improvements of Peters Canyon Channel shall be accomplished prior to the year 2003, or any other mutually acceptable date, prior to year 2005.
2. Agreements which guarantee construction of ultimate flood control facilities by the applicant will be required prior to grading for the first residential project.

A 10. Prior to issuance of any grading permit or approval of any subdivision map (excluding conveyance maps), whichever occurs first, the applicant shall demonstrate that project grading in conjunction with the project's drainage conveyance systems ensures that all building pads are safe from inundation from rainfall runoff from all storms up to, and including the theoretical 100-year storm to the satisfaction of the Director of Community Development (Mitigation Measure H-3).

N/A 11. Prior to the issuance grading permits and occupancy and the construction of regional flood control facilities, appropriate state and federal approvals including agreements and permits shall be obtained, except that no application shall be processed without prior approval of the Director of Community Development, including, but not limited to: Regional Water Quality Control Board permit; and the National Pollutant Discharge Elimination System (NPDES) permit; Section 404 permit from the United States Army Corps of Engineers; and

Section 1601 and/or 1603 agreement from the California Department of Fish and Game. If any basins fall under the jurisdiction of the Division of Safety of Dams (DSOD), all appropriate applications shall be filed with the DSOD. Any work within the Eastern Transportation Corridor right-of-way, once it is acquired by the Transportation Corridor Agencies (TCA), will require prior approval from the TCA (Mitigation Measure H-4).

N/A 12. Prior to issuance of any grading permit or approval of any subdivision map (excluding conveyance maps), whichever occurs first, for any development that is partially or completely located within the 100-year Floodplain of the Flood Insurance Rate Map (FIRM), the applicant shall submit all required documentation to the Federal Emergency Management Agency (FEMA) and demonstrate that the application for a Conditional Letter of Map Revision (CLOMR), for changes to the 100-year floodplain are satisfied in a manner meeting the approval of the Director of Community Development (Mitigation Measure H-5, Special Development Requirement).

N/A 13. Prior to recordation of a final map for any development that is partially or completely located within the 100-year floodplain of the Flood Insurance Rate Map (FIRM), with the exception of the Sector 4 Regional Commercial Center, the applicant shall obtain a Conditional Letter of Map Revision (CLOMR) from the Federal Emergency Management Agency (FEMA), for changes to the 100-year floodplain in a manner meeting the approval of the Director of Community Development and the City Engineer (Mitigation Measure H-6).

N/A 14. Prior to recordation of a final map for any development that is partially or completely located within the 100-year floodplain of the Flood Insurance Rate Map (FIRM), with the exception of the Sector 4 Regional Commercial Center, the applicant shall obtain the Federal Emergency Management Agency's (FEMA) Letter of Map Revision (LOMR) revising the FIRM to show changes to the 100-year floodplain caused by the project in a manner meeting the approval of the Director of Community Development and the City Engineer (Mitigation Measure H-7).

N/A 15. Prior to the approval of any applicable subdivision map (excluding conveyance maps), local drainage systems shall be designed and constructed by the applicant to standards which generally call for conveyance of the 10-year runoff, unless the facility is located within a local sump, in which event the facility shall be designed to convey the 25-year runoff, or with concurrence of the Director of Community Development, subdivision improvement bonds may be posted in-lieu of construction (Mitigation Measure H-8, Special Development Requirement).

N/A 16. Prior to the issuance of any building permits within any dam inundation area, the applicant shall submit, and the Director of Community Development and City Attorney shall approve a document to be recorded separate from the

deed which shall serve as an information notice to future property owners. The notice shall address dam inundation hazards, including a description of Rattlesnake Reservoir, its location in relation to the community, given date of construction of the dam, maximum water storage level and other pertinent information (Mitigation Measure H-9).

N/A 17. Prior to the issuance of the first building permits for residential units in a dam inundation area, the applicant shall notify the owner of the dam containing the water within Rattlesnake Reservoir for the purpose of revising dam inundation maps in accordance with state law. Verification of notification shall be submitted to the Director of Community Development. In the event the dam owner does not revise inundation maps, the applicant shall prepare the necessary dam inundation maps, application forms and supporting documentation on behalf of the dam owner (Mitigation Measure H-10).

S 18. Prior to the issuance of the first building permits for residential units in a dam inundation area, the applicant shall provide to the Chief Building Official, a dam inundation map suitable for copying and in an 8 1/2" x 11" format for inclusion in the Irvine Emergency Plan in a manner meeting the approval of the Director of Community Development (Mitigation Measure H-11).

N/A 19. Prior to approval of plans and specifications for regional flood control facilities, the applicant shall ensure in a manner meeting the approval of the Director of Community Development, that the design of grade separated crossings for trails are compatible with the required hydraulic capacity of the impacted channel (Mitigation Measure H-12, Special Development Requirement).

S 20. Prior to approval of the Flood Protection Proposal for the Planning Sector 4 regional commercial center, shown on page 1 of Figure 4-13 in EIR No. 557, the applicant shall meet the following conditions in a manner meeting the approval of the Director of Community Development (Mitigation Measure H-13):

- A. Prior to the issuance of grading permits for any grading within floodplains, the applicant shall demonstrate that a completed application for a Conditional Letter of Map Revision (CLOMR) has been submitted to FEMA.
- B. Prior to the issuance of building permits, in a manner meeting the approval of the Director of Community Development, the applicant shall meet all other conditions of approval set forth by the City of Irvine, including a requirement for a Floodplain Elevation Certificate.
- C. Prior to the issuance of certificates of use and occupancy, the applicant shall provide to the Director of Community Development the following:
  1. Receipt of a CLOMR from FEMA, and
  2. Proof that all required flood control improvement shave been constructed, and
  3. Demonstration that the application for a LOMR has been submitted to FEMA.

## Water Quality

- A 21. Prior to the issuance of grading permits, the applicant shall submit for the approval of the Director of Community Development, a Water Quality Management Plan (WQMP) specifically identifying Best Management Practices (BMPs) that will be used on site to control predictable pollutant runoff. This WQMP shall identify the structural and non-structural measures specified in the Countywide NPDES Drainage Area Management Plan Appendix which details implementation of BMPs whenever they are applicable to a project, the assignment of long term maintenance responsibilities (specifying the developer, parcel owner, maintenance association, lessee, etc.); and shall reference the location(s) of structural BMPs (Mitigation Measure WQ-1).
- N/A 22. Prior to the issuance of certificates of use and occupancy for individual tenant improvements or construction permits for a tank or pipeline in Sectors 4, 6, 8, or 10, uses shall be identified and, for specified uses, the applicant shall propose plans and measures for chemical management including, but not limited to, storage, emergency response, employee training, spill contingencies and disposal, to the satisfaction of the Director of Community Development (Mitigation Measure WQ-2, Special Development Requirement).
- A. Chemical management plans shall be approved by the Director of Community Development and other specified agencies such as the Orange County Fire Authority, the Orange County Health Care Agency and sewerage agencies to ensure implementation of each agency's respective requirements. A copy of the approved "Chemical Management Plans" shall be furnished to the Chief Building Official, prior to the issuance of any certificates of use and occupancy.
- B. Certificates or permits may be ministerially withheld if features needed to properly manage chemicals cannot be incorporated into a previously completed building, center or complex.
- S 23. Prior to the issuance of grading permits, the applicant shall obtain coverage under the NPDES statewide Industrial Stormwater Permit for General Construction Activities from the State Water Resources Control Board. Evidence that this requirement has been met shall be submitted to the Director of Community Development (Mitigation Measure WQ-3).
- A 24. Prior to the issuance of grading permits, the applicant shall submit, and the Director of Community Development shall have approved, a Water Quality Management Plan (WQMP). The WQMP shall identify the Best Management Practices (BMPs) that will be used on the site to control predictable pollutant runoff (Mitigation Measure WQ-4).
- A 25. Prior to the issuance of grading permits, an Erosion Control Plan shall be prepared to identify specific measures for the control of siltation, sedimentation

and other soil materials. The Erosion Control Plan shall be implemented during the project construction period and in a manner meeting the approval of the Director of Community Development (Mitigation Measure WQ-5).

### Biological Resources

A 26. If construction activities are conducted during the nesting/breeding season (typically February through July), a construction inspector shall, at the pre-grade conference for each phase of grading, determine the need for, and the frequency of, monitoring for nesting birds protected by the Migratory Bird Treaty Act and/or Endangered Species Act (Mitigation Measure B-1, Special Development Requirement).

A. If monitoring is determined to be necessary, the qualified specialist should monitor construction activities in designated areas and any bird nest discovered should be reported to the Director of Community Development, the applicant, and any necessary state and federal agencies.

B. Removal of observed nests should be done only in compliance with the federal Migratory Bird Treaty Act and Endangered Species Act, or applicable permits.

N/A 27. Prior to issuance of grading permits for alterations to Peters Canyon, Hicks Canyon and/or Rattlesnake Canyon Washes, the applicant shall provide evidence to the Director of Community Development that consultation with the California Department of Fish and Game (CDFG) and United States Army Corps of Engineers (USACOE) has occurred. Evidence shall also be provided that Sections 1601-6 of the California Fish and Game Code and Section 404 of the Clean Water Act have been complied with as applicable to Planning Sectors 2, 3, 5, 7, and 8 (Mitigation Measure B-2).

### Cultural Resources

S 28. Prior to the approval of the first subdivision map containing residential development, the developer and the County shall agree to monetary contributions and the phasing of the land dedication of the 16.5 gross acre Irvine Family Homesite, Gardens and Ranch Headquarters (Special Use Park). Offer(s) of dedication shall provide for conveyance of title by grant deed subject to the following:

A. Unrestricted use of any existing structure shall be allowed, except for stables which shall be prohibited. New structures (except for public park facilities, non-profit museums, exhibits and other similar non-profit education or cultural facilities, parking facilities and outdoor recreation facilities) will be limited to a total gross floor area of 50,000 square feet. The County will be responsible for mitigating all traffic impacts of the dedication area above those assumed in Final EIR No. 557 for the Lower Peters Canyon Site.

- B. The County may not sell the 16.5 gross acre Special Use Park property except to another public agency or non-profit organization.
- C. In the Special Use Park offer(s) of dedication the developer shall retain certain water rights and infrastructure easements to be determined at the time of dedication.

In return for dedication of the 16.5 gross acre Special Use Park, the developer shall receive a minimum of 15 acres of credit toward the Local Park Implementation Program (see General Regulation No. 10 in the Specific Plan) and full park credit for a contribution to the County of \$800,000 for improvements, acquisitions and/or planning for the Special Use Park. Additionally, the developer shall donate \$100,000 to the County toward preparation of the General Development Plan (GDP) for the Special Use Park. Additional park credit may be granted upon completion of the GDP for the park, at the discretion of the County. The following issues shall be considered prior to approval of the Special Use Park GDP:

- a. Proposed uses
- b. Elevations
- c. Structures
- d. Public facilities
- e. Parking
- f. Design concepts and themes
- g. Landscaping
- h. Compliance with the goals, policies and objectives of the County General Plan Recreation Element
- i. Community compatibility
- j. Fiscal impact
- k. Unique historic resources

The Special Use Park GDP shall be subject to public review and Board of Supervisor approval, and in light of more detailed design information that becomes available during this review process the decision maker shall identify and address any potential new significant environmental impacts not addressed in Final EIR 557 for the Lower Peters Canyon Specific Plan (Mitigation Measure CR-1).

N/A 29. Prior to the issuance of a demolition permit and/or relocation permit for any structure in the Irvine Agricultural Headquarters Complex (Sector 2) known or anticipated to contain asbestos containing building materials (ACBMs), the applicant shall (Mitigation Measure CR-2, Special Development Requirement):

- A. Develop an Asbestos Management Plan for the structure.
- B. Complete the demolition and/or relocation in conformity with the United States Environmental Protection Agency national emission standards for asbestos and the corresponding standards of the South Coast Air Quality Management

District. Evidence of compliance of the survey and abatement activities shall be provided by the project contractor in writing to the Orange County Fire Authority, Hazardous Materials Unit prior to any disruption of the structure.

N/A 30. Prior to the issuance of a demolition permit for any structure in the boundaries of the National Register eligible Irvine Agricultural Headquarters Complex, the developer shall prepare a written and photographic documentary record of the structure, its historic uses and other features related to the structure. This report shall be prepared to the satisfaction of the Director of Community Development (Mitigation Measure CR-3, Special Development Requirement).

A. Copies of the Final Report shall be provided to and on file with the County of Orange Harbors, Beaches and Parks, the City of Tustin, and the Irvine Branch Public Libraries.

#### Archeological and Paleontological Resources

A 31. Prior to issuance of grading permits (except where archeological and paleontological inspection has already occurred through a previously issued grading permit), the applicant shall provide written evidence to the Director of Community Development, that a certified archaeologist and paleontologist have been retained to conduct salvage excavation of archeological and/or paleontological resources in the permit area (Mitigation Measure CR-4). The following shall be required:

- A. A subsurface test level investigation and surface collection shall be performed as appropriate. The test level report evaluating the site shall include discussion of significance (depth, nature, condition and extent of the resources), final mitigation recommendations and cost estimates.
- B. A final report of any salvage operations shall be submitted to and approved by the Director of Community Development, prior to any grading in the archeological or paleontological sited areas.
- C. The archaeologist and paleontologist shall be present at the pregrading conference, shall establish procedures for archeological resource surveillance and shall establish, in cooperation with the developer, procedures for temporarily halting or redirecting work to permit the sampling, identification and evaluation of the artifacts and/or fossils as appropriate.
- D. If additional or unexpected archeological or paleontological features are discovered, the archaeologist or paleontologist shall report such findings to the developer and to the Director of Community Development. If the archeological or paleontological resources are found to be significant, the archeological or paleontological observer shall determine appropriate actions, in cooperation with the developer, for exploration and/or salvage.
- E. Excavated finds shall be offered to the City of Irvine, or its designee, on a first refusal basis. Applicant may retain said finds if written assurance is provided

that they will be properly preserved in the City of Irvine, unless said finds are of special significance, or a museum in the City of Irvine indicates desire to study and/or display them at this time, in which case items shall be donated to City, or designee.

F. Prior to the release of grading bonds, a final report shall be submitted to and approved by the Director of Community Development. This report shall include the period of inspection, the list of fossils collected and present repository.

A 32. In the event that human remains are exposed during site preparation, grading or construction, the project contractor shall cease all activity in the vicinity of the remains. The project contractor will comply with the requirements of the State Health and Safety Code Section 7050.5 which states that no further disturbance of the remains and surrounding area shall occur until the County Coroner has made the necessary findings as to the origin and disposition of the human remains, pursuant to Public Resources Code Section 5097.98 (Mitigation Measure CR-5, Special Development Requirement).

### Aesthetics

S 33. The eucalyptus windbreaks, or windrows, shown on Figure 1 (Windrow Preservation) in Appendix A of the Final Mitigation Monitoring Program have been selected as candidates for preservation. Candidate windrows will be preserved except where road, utility, drainage and other infrastructure crossings are necessary for development, or when health and safety concerns exist. Prior to approval of the first subdivision map for each Sector that contains candidate eucalyptus windrows, the final determination of which portion of the candidate eucalyptus windrows shall be preserved shall be made. The first subdivision map application shall include a diagram which generally depicts which candidate eucalyptus windrows, or portions of thereof, as depicted in Figure 1, are to be preserved and which are to be removed as part of the conceptual grading plan. Any candidate eucalyptus trees identified for removal shall be replaced in number elsewhere in a landscape plan for the Sector. Preservation of other existing non-candidate windrows may be used in lieu of preservation of candidate windrows. Prior to the approval of a Master Vesting Tentative Tract Map, the applicant shall demonstrate that a certified arborist has been retained to evaluate the health and safety of each tree in windrows identified for preservation, as shown in the application for this Master Vesting Tentative Tract Map first Subdivision Map in a Sector and to recommend tree removals and/or replacements (Mitigation Measure AE-1, Superseded by adopted Eucalyptus Windrow Maintenance and Preservation Plan, adopted in 1996).

S 34. Prior to the approval of the first subdivision map for each Sector which contains candidate eucalyptus windrows, the developer shall periodically trim and maintain eucalyptus windrows for fire protection purposes, but shall not remove any individual eucalyptus tree or eucalyptus windrow(s) unless it can be

demonstrated to the satisfaction of the Director of Community Development that the tree(s) is/are diseased, damaged, represent(s) a safety hazard, is/are a significant hindrance to agricultural operations is/are not a candidate windrow as shown on Figure 1 in Appendix A of the Final Mitigation Monitoring Program (Mitigation Measure AE-2, Superseded by adopted Eucalyptus Windrow Maintenance and Preservation Plan, adopted in 1996).

- A 35. Prior to issuance of building permits, the developer shall agree to construct and underground, or enter into an agreement and post security guaranteeing the construction and undergrounding of, all utility lines such as telephone, electric and cable television lines, and the undergrounding of all existing telephone lines. Design and construction shall be in accordance with plans and specifications meeting the approval of the Director of Community Development (Mitigation Measure AE-3).

#### Circulation and Transportation

- S 36. Prior to the approval of the first subdivision map or master plan in a Sector (except for financing or conveyance purposes only), the developer shall prepare a traffic study for the Sector.
- A. The study shall be approved by the Director of Public Works, in consultation with the City of Tustin.
  - B. The traffic study shall:
    - 1. Identify and assign circulation mitigation measures pursuant to the project Circulation Phasing Plan;
    - 2. Evaluate the impact of either the delay of any previously committed circulation improvements, or construction of currently unanticipated circulation improvements assumed in the March 1995 Lower Peters Canyon Traffic Study for each of the horizon years analyzed; and,
    - 3. Utilize the circulation system and capacity assumptions consistent with the City of Irvine and the City of Tustin circulation master plans and with those additional circulation improvements identified by the affected jurisdiction for the applicable horizon year (Mitigation Measure T-1, Special Development Requirements).
- S 37. Prior to the issuance of any building permit within each Sector, the developer shall enter into an agreement with the City of Irvine to: (a) design and construct, including relocation of existing signals, interconnect, and related appurtenances as necessary, all roadway improvements consistent with the average daily trip (ADT) generation phasing cap as listed below; and, (b) to specify the responsibility for any previously committed circulation improvements assumed in the March 1995 Lower Peters Canyon Traffic Study which have not been constructed.

Short Range

Phase 1: Prior to First Building Permit

Arterial/Intersection

Limits/Improvements

Jamboree Road

I-5 to Bryan - Improve N/B to 4 lanes

El Camino Real

Jamboree to ETC - Construct 4 lanes

Bryan Avenue

Jamboree to ETC - Improve 4 lanes

Jamboree/Bryan

(b)

Jamboree/El Camino Real

(b)

Jamboree/I-5 Ramps

(b)

Phase 2: Prior to 25,001 ADT

Arterial/Intersection

Limits/Improvements

Bryan Avenue

ETC to Culver - Widen to 4 lanes (a)

Jamboree Road

Bryan to Irvine - Widen to 6 lanes

Irvine Boulevard

Jamboree to ETC - Widen to 6 lanes

Culver/Bryan

(b)

Long Range

Phase 3: Prior to 50,001 ADT

Arterial/Intersection

Limits/Improvements

Culver Drive

Irvine to I-5 - Widen to 6 lanes

Irvine Boulevard

ETC to Culver - Widen to 6 lanes

Jamboree/Irvine

(b)

Culver/Irvine

Culver to Jamboree - Widen to 4 lanes (a)

Portola Parkway

Phase 4: Prior to 80,001 ADT

Arterial/Intersection

Limits/Improvements

Culver Drive

Portola to Irvine - Widen to 6 lanes

Portola Parkway

Jamboree to Culver - Widen to 6 lanes

Myford/Irvine

Jamboree Road

Irvine to northerly LPC limits - Widen to 6 lanes

Jamboree/Tustin Ranch

Jamboree/Portola

Culver/Portola

Phase 5: Prior to 110,001 ADT

Arterial/Intersection

Limits/Improvements

El Camino Real Culver Drive	ETC to Bryan - 4 lanes
Bryan to I-5 Redhill/El Camino	Add southbound auxiliary lane
Culver/I-5 NB Ramp Bryan Avenue	Redhill to Browning - 4 lanes

Notes

- (a) Widening to be coordinated with TCA and City of Irvine to minimize throw-away costs in vicinity of ETC for all affected arterial improvements.
- (b) Intersection improvements to be consistent with configurations assumed in Refined Specific Plan Traffic Analysis as prepared by Austin-Foust Associates, March 1995.

The subject agreement shall also address the impact of the construction of circulation improvements which have not been assumed in the March 1995 Lower Peters Canyon Traffic Study. If a subsequent traffic phasing plan demonstrates that improvements should be included in a different phase (accelerated or delayed), or an improvement can be substituted, the mitigation phasing program may be amended, subject to the approval of the City of Irvine, in consultation with the affected jurisdictions, provided that the same level of traffic mitigation and traffic capacity is obtained (Mitigation Measure T-2, Special Development Requirement). *Note: the following language shall replace this Mitigation Measure if Mitigation Measure No. 37 is satisfied prior to the City's Annexation of Lower Peters Canyon, as follows: Lower Peters Canyon EIR 557 Mitigation Measures T-2 (Mitigation Measure No. 37) and T-3 (Mitigation Measure No. 38) have been superseded by the Lower Peters Canyon Intersection Improvement Agreement dated June 1997.*

38. Prior to the issuance of building permits, except within Sector 4, the developer shall enter into an agreement with the City of Irvine to establish a fair share funding mechanism to fund improvements at locations as listed below. The fair share agreement shall establish a total funding participation cap for both short-term and long-term time periods, and shall provide a mechanism to verify that the fair share improvements identified are still necessary in a subsequent phase, based on an updated traffic study. The total funding participation can be modified to reflect additional improvements needed to mitigate traffic impacts or deletion of improvements which are no longer necessary, provided that the total funding participation cap is not increased. If improvements are found to be infeasible, alternative mitigation measures shall be determined.

Short Range

Phases 1 and 2 - (Fair Share Improvements to be Funded Prior to 50,001 ADT)

<u>Arterial/Intersection</u>	<u>Limits/Improvements</u>
Irvine Boulevard Harvard/Edinger Bryan Avenue El Camino Real Jamboree/Edinger Irvine Boulevard	Old Irvine to Browning - Widen to 6 lanes Without ETC only Redhill to Main - Widen to 4 lanes Browning to Redhill - Widen to 4 lanes Without ETC only Browning to Tustin Ranch - Widen to 6 lanes without ETC only
Barranca Parkway	Jeffrey to Sand Canyon - Construct 4 lane roadway (a)
Barranca Parkway Walnut Avenue	SR 55 to Jamboree - Improve to 8 lanes (b) Myford to Jamboree - Widen to 6 lanes, without ETC only (a)
El Camino Real/Main Holt/Irvine Redhill/Bryan Tustin Ranch/Irvine Jamboree/Edinger Sand Canyon/Portola Sand Canyon/Irvine Irvine Boulevard Jamboree/Barranca Old Irvine/Irvine Redhill/Irvine Browning/Irvine	Without ETC only Without ETC only Grade Separation (b) Without ETC only SR 55 to Tustin Ranch Special Study Grade Separation (b)

Long Range

Phases 3, 4, and 5 - (Fair Share Improvements to be Funded by Development

Between 50,001 ADT and Buildout)

<u>Arterial/Intersection</u>	<u>Limits/Improvements</u>
Irvine Boulevard Irvine Boulevard SR 55 SB Ramp SR 55 NB Ramp Culver Drive Culver Drive Culver/Warner	Old Irvine to Prospect - Widen to 6 lanes East of Yale to Jeffrey - Widen to 6 lanes 4th - Irvine 4th - Irvine Walnut to I-5, Add 4th NB auxiliary lane Irvine Center Dr to Warner

Culver/Barranca	Redhill to Browning
El Camino Real	Edinger to north of Bryan - Widen to 6 lanes
Redhill Avenue	I-5 Overcrossing
Myford Avenue	
Myford/El Camino	
Tustin Ranch/Irvine	
Tustin Ranch/El Camino Real	
Browning/El Camino Real	El Camino to Nisson - Construct 4 lane roadway
Browning Avenue	
Browning/Irvine	Newport to Main - Widen to 4 lanes
Bryan Avenue	
Irvine/Redhill	
Irvine/Old Irvine	
Edinger	SR 55 to Harvard - Widen to 6 lanes (b)
Jeffrey/Irvine	
Irvine Boulevard	Jeffrey to e/o Sand Canyon - Widen to 6 lanes
Holt/ Irvine	
Jeffrey Road	Barranca to Walnut (a) - Improve to 6 lanes
Main Street	Williams to El Camino Real - Improve to 4 lanes
Sand Canyon Avenue	Irvine to Irvine Center Dr. - Widen to 6 lanes (a)
Walnut Avenue	Myford to Jamboree - Widen to 6 lanes (c)
Redhill/Nisson	
Jamboree/Michelle (a)	
Edinger/Redhill	
Newport/I-5 NB Ramp	
Newport/I-5 SB Ramp	At Nisson
Main/Bryan	
Redhill/Bryan	
Redhill/I-5 NB Ramps	
Redhill/I-5 SB Ramps	
Browning/Nisson	
Browning/Walnut	
Tustin Ranch/La Colina	
Tustin Ranch/Edinger	
Myford/Walnut	
Jamboree NB/Warner	
Harvard/Warner	
Jeffrey/Trabuco	
ETC NB/Portola (c)	
ETC EB/Culver (c)	
ETC WB/Jeffrey (c)	
ETC EB/Jeffrey (c)	

## Notes

- (a) Improvement listed is already required by another development project. Fair share contribution is not required if the other development proceeds to implement the required improvements consistent with assumptions in the March 19, 1995 Lower Peters Canyon Traffic Study.
- (b) The project shall provide a fair share contribution for these improvements. Consideration may be given to a credit against the Irvine Business Complex (IBC) Fee Program and the Foothill/Eastern Transportation Corridor Fee Program obligations, subject to the approval of the Director of Public Works in consultation with the City of Tustin.
- (c) Fair share contribution is not required if improvement is to be funded by the Foothill/Eastern Transportation Corridor Agency.
- (d) Development of Phases 3, 4 and 5 can proceed only after award of the construction contract for the ETC.
- (e) Fair share contribution shall be no greater than that required for capacity improvements consistent with that assumed in the March 19, 1995 Lower Peters Canyon Traffic Study, as determined by the Director of Public Works.

The City shall deliver all monies or financial security received from the project proponent for said fair share intersection improvement obligation to the affected city jurisdiction which assumes the obligation to implement said intersection improvement.

In order to properly coordinate the funding of the applicant's fair share obligation of improvements in the City of Tustin, the City of Irvine shall hold a coordination meeting. The purpose of said coordination meeting shall be to identify the concerns of both the City of Irvine and the City of Tustin prior to the initiation of the fair share study. The purpose of the study shall be to fully identify within each jurisdiction the scope and costs of feasible improvements (as determined by the respective cities). Said improvements shall be acceptable to each city toward fulfilling the timing and cost of the transportation improvement obligations of the project, as required to mitigate transportation impacts in each city as listed above. The funding for the improvements to be incorporated into the agreement must be utilized by the respective agency to improve the capacity of the impacted intersections/links or be used for substituted improvements, as determined by the City of Irvine.

Prior to the execution of the agreement, each city shall be allowed 10 working days to review the technical report prior to being provided with a copy of the proposed agreement. Each city shall then have 10 working days to review and comment as to its concurrence with the improvement program contained within

the agreement. All comments shall be considered by the City of Irvine to ensure that the applicant's responsibility for fair share funding of the improvements in each city, as stated above is fully addressed (Mitigation Measure T-3, Special Development Requirement). *Note: the following language shall replace this Mitigation Measure if Mitigation Measure No. 37 is satisfied prior to the City's Annexation of Lower Peters Canyon, as follows: Lower Peters Canyon EIR 557 Mitigation Measures T-2 (Mitigation Measure No. 37) and T-3 (Mitigation Measure No. 38) have been superseded by the Lower Peters Canyon Intersection Improvement Agreement dated June 1997.*

S 39. As a Condition of Approval for any tentative subdivision map (except for financing and conveyance maps) and in accordance with the TCA's Major Thoroughfare and Bridge Fee Program, dedication of the half width right-of-way and half width grading for the Eastern Transportation Corridor (ETC) shall be required for the full length of the Corridor within the Sector in which the subdivision map is within. Any required ETC grading can be phased by posting some form of acceptable financial security mutually agreeable with the City of Irvine and TCA and will not be performed without the concurrence of the TCA. The right-of-way obligation for the ETC will be eliminated if the Transportation Corridor Agencies have previously executed an agreement with the landowner to purchase the ETC right-of-way, providing said agreement satisfies the County's obligation to satisfy right-of-way dedication and grading pursuant to the Foothill and ETC/Joint Powers Authority and the Foothill and ETC/Major Thoroughfare and Bridge Fee Program.

A. The ETC grading obligation will be eliminated except as provided for in said Transportation Corridor Agencies/landowner agreement if the Transportation Corridor Agencies has awarded a construction contract for the ETC and have given the contractor a Notice to Proceed for applicable grading (Mitigation Measure T-4, Special Development Requirement).

S 40. Prior to the issuance of the first building permit for each Sector, a Transportation Management Plan (TMP) shall be submitted and approved by the Director of Public Works. The TMP shall address such features as vanpooling, fleetpooling, ridesharing, public transit, alternate work hours, bikeways or any other measures related to the mitigation of traffic. The TMP shall require annual reporting of the implementation and status of the plan through the Annual Monitoring Report, in a manner meeting the approval of the Director of Community Development (Mitigation Measure T-5).

S 41. Prior to recordation of the first Master Vesting Tentative Tract Map, the applicant shall enter into an agreement with the City of Irvine to assist the City in the implementation of its park and ride facility program. This measure will only be implemented if the City implements a City-wide park and ride facility program that would require a park and ride facility in the immediate vicinity of the Lower Peters Canyon Site.

If such a plan has not been adopted prior to recordation of the first Master Vesting Tentative Tract Map, the applicant shall identify and reserve a site, in accordance with the criteria listed below, for a period not to exceed five years from the approval date of the zone change. Upon expiration of this time period, if a site has not been selected as part of an adopted City-wide program, the applicant shall have no further obligations:

- A. The park and ride facility shall accommodate up to 35 vehicles.
- B. The park and ride lot shall be made available to the City of Irvine and be used for a period of no more than 10 years.
- C. The park and ride facility shall be in the general vicinity of Planning Area 5 (Northwood Point) and within one mile of Portola Parkway in a location mutually acceptable to the landowner, the County of Orange and the City of Irvine. The landowner reserves the right to relocate the facility after providing the City with 180-days advance notice to relocate the facility to another mutually acceptable location
- D. The park-and-ride facility shall be provided in the form of a temporary lease agreement on a mutually acceptable site of no more than 14,000 square feet. The site shall be leased to the City of Irvine at a cost of \$1.00 (one dollar and zero cents) per year and the availability of the site will be at the time of opening of Portola Parkway to traffic from Jeffrey Road to Jamboree Road.
- E. The landowner shall provide funding for the cost of these improvements which shall include, but not be limited to, paving, striping, lighting and fencing.
- F. Should the City of Irvine elect to implement the facility on City-owned property, upon recordation of the applicable final tract/ parcel map and opening of Portola Parkway to traffic, the landowner shall participate in funding the cost of the needed improvements in an amount not to exceed \$25,000.00 (Mitigation Measure T-6).

S 42. As part of each application for the first subdivision map in each Sector, a pedestrian circulation plan shall be submitted and approved to the satisfaction of the Directors of Public Works and Community Development. The plan shall show pedestrian access to regional hiking trails, parks, schools, shopping areas, bus stops and/or other public facilities (Mitigation Measure T-7, Special Development Requirement).

#### Recreation

N/A 43. *Note: This Mitigation Measure (Number 43) is no longer applicable to the Planning Area and has been superseded by language in the Development and Annexation Agreement.* Prior to the approval of the first subdivision map for residential Sectors (Sectors 1, 2, 3, 5, 7, and 11), the Director of Community Development shall review and approve the adequacy of local park facilities within the given Sector consistent with the Local Park Code and/or an approved Local Park Implementation Plan. The maintenance of public facilities shall be accomplished in the following manner (Mitigation Measure R-1):

- A. Prior to the approval of the first subdivision map for residential Sectors, the applicant shall file a petition for the establishment of a public maintenance district for the project area. A copy of the petition shall be provided to the Director of Community Development. The district shall include public neighborhood parks, landscape and trails improvements, the medians in arterial roadways and the Eucalyptus Windrows designated for preservation or other eligible items mutually agreed to by the petitioner and the City of Irvine.
- B. Prior to the issuance of the first building permit, evidence shall be provided to the Director of Community Development that the public maintenance district has been established. In the event that the maintenance district is not established, maintenance of the items mentioned above will be the responsibility of the Master Community Association pursuant to applicable Conditions, Covenants and Restrictions (CC & Rs).

S 44. Prior to approval of the first subdivision map or master plan for Sectors 5, 7 and 8, the developer shall ensure that the Peters Canyon and Hicks Canyon Regional Riding and Hiking Trails are incorporated into the site design, including grade separated undercrossings at Jamboree Road, Culver Drive and the Santa Ana Freeway (I-5), using the existing undercrossing (Mitigation Measure R-2, Special Development Requirement).

- A. These trails shall be designed consistent with specifications in the County of Orange Master Plan of Regional Riding and Hiking Trails and the County's Regional Riding and Hiking Trails Design Manual.
- B. Subject trails may be included as a joint use within flood control right-of-way.
- C. Prior to approval of subdivision maps by the City of Irvine Subdivision Committee, proposed trail designs shall be submitted to the City subject to review and approval of the Director of Community Development.

N/A 45. Prior to the recordation of any applicable map containing trail alignments, the applicant shall irrevocably offer to the City of Irvine or its designation public agency, the recreational trail for riding and hiking trail purposes and Class I (Off-road) Bikeway within the tract boundary in accordance with the following:

- A. Prior to the recordation of an applicable final tract map, the subdivider shall irrevocably offer to the County of Orange a 16-foot wide recreation easement including the trail surfaces and wood fence maintenance easement for Peters Canyon Regional Riding and Hiking Trail purposes and 16-foot wide recreation easement including trail surfaces and wood fence maintenance easement for the Class I (Off-road) Bikeway in a location and in a manner meeting the approval of the Director of Community Development. The subdivider shall not grant any easements over the property subject to the recreation easement unless such easements are first reviewed and approved by the County of Orange. Until such time as the easement is accepted by the

County, maintenance and upkeep of the easement area shall be the responsibility of the subdivider or its successors.

- B. Prior to the recordation of an applicable subdivision map adjacent to the Riding and Hiking Trail/Class I Bikeway, the subdivider shall design the proposed Riding and Hiking Trail and Class I Bikeway and prior to the issuance of building permits adjacent to the Riding and Hiking Trail and Class I Bikeway, the applicant shall enter into an agreement and post financial security for a period of 10 years, guaranteeing one-hundred fifty percent (150%) of the cost of the designing, engineering, and construction of the Riding and Hiking and Class I Bikeway. Said improvements shall be in accordance with the County approved Area Plan for PA-2 (Area Plan 96-2) of the Lower Peters Canyon Specific Plan, the Master Plan of Riding and Hiking Trails and the County's Bikeway Master Plan.
- C. Prior to the issuance of a grading permit, the grading plans shall be reviewed by the Director of Community Development to assure that the proposed grading provides for, will not interfere with, or preclude the installation of the recreational riding and hiking trail and bikeway in a location and in a manner meeting the Director of Community Development.
- D. Prior to the issuance of the 150th final Certificate of Use and Occupancy within Sector 2-B, or any final Certificate of Use and Occupancy in Sectors 2-C or 2-E (Exhibit 9), and prior to the release of final security guaranteeing the riding and hiking trail improvements and Class I Bikeway improvements within each applicable Sector, the riding and hiking trails improvements shall be installed, including the grade separated crossing of Jamboree Road at Peters Canyon Wash at-grade crossings of Trevino Drive and Robinson Drive and related improvement (i.e., signals with buttons installed at appropriate heights for pedestrians, bicyclists and equestrians), in a manner meeting the approval of the Director of Community Development.
- E. Prior to the issuance of the 150th final Certificate of Use and Occupancy within Sector 2-B, or any final certificate of use and occupancy in Sectors 2-C or 2-E (Exhibit 9), the applicant shall furnish to the Chief Building Official, a written copy of the Director of Community Development approval of the improvements installed (Same Intent as Mitigation Measure R-3).

- S 46. Prior to the issuance of the first grading permits in each Sector, proposed Regional Riding and Hiking Trail designs shall be submitted to the Director of Community Development, who may consult with the City Engineer, for review and approval to ensure that, where riding and hiking trails are aligned along natural watercourses or flood control channels, the trails shall be located such that they are operational in a 25-year flood event. Where trails use a flood channel undercrossing, the trails shall be above the 25-year floodplain where feasible. When not feasible, the trails shall be, at a minimum, two feet above the gradeline of the drainage facility unless otherwise acceptable to the City Engineer (Mitigation Measure R-4).

S 47. Prior to the recordation of the first final map in each Sector containing Regional Riding and Hiking Trails and Regional Bikeway Trail improvements, the subdivider shall enter into an agreement and provide financial security to insure the installation of all required Regional Riding and Hiking Trail and Regional Bikeway trail improvements, including necessary grading, erosion control, signage and fencing, shall be installed in accordance with a plan approved by the Director of Community Development (Mitigation Measure R-5).

S 48. Prior to approval of the first subdivision map in a Sector, the developer shall address jurisdictional regulations for off-site open space dedication areas, as shown in Exhibit 4 (of Section V.E-804 of the Zoning Ordinance), and on-site Regional Riding and Hiking Trails, to the satisfaction of the Director of Community Development.

A. Sectors 3, 4, 7 and 8

1. An Offer of Dedication has been recorded which provides for the County of Orange to accept Management Unit III of Limestone Canyon Regional Park no sooner than ninety (90) days following the issuance of building permits for 3,559 dwelling units and 54,510 commercial square feet in Lower Peters Canyon Sectors 3, 4, 7 and 8. (Limestone Canyon Irrevocable Offer of Dedication);

B. Sectors 2, 5 and 6

1. The landowner shall record an Offer of Dedication in favor of the County of Orange for Irvine Open Space Implementation District "C", as shown on Figure 4 of Section V.E-804 of the Zoning Ordinance, prior to the recordation of the first final Tract Map within Sectors 2, 5 or 6. The offer shall provide that it may be accepted no sooner than ninety (90) days following issuance of building permits for 75 percent (75%) of the total development in Sectors 2, 5 and 6 or completion of development therein, whichever occurs first;

C. Sector 1

1. The landowner shall record an Offer of Dedication in favor of the County of Orange for 26 acres of Irvine Open Space Implementation District "A", as shown on Figure 4 of Section V.E-804 of the Zoning Ordinance, prior to or concurrent with the recordation of the first Tract Map within Sector 1. The offer shall provide that it may be accepted no sooner than ninety (90) days following Issuance of Building Permits for 75 percent (75%) of the development in Sector 1 or completion of development therein, whichever occurs first.

D. Offers of Dedication

1. Each offer in "B" and "C" above shall be subject to non-monetary encumbrances, easements, liens, restrictions and title exceptions of record or apparent which do not prevent use of the conveyance areas consistent with the uses set forth below:
  - a. The offer shall provide for conveyance of title by grant deed subject to land use restrictions and/or open space easements. This will ensure that the conveyed land, including corresponding means of enforcement, will be used in perpetuity consistent with the intent of the dedication and the purposes to be served by Conservation Areas. Land reserved for road, transportation, transit, drainage, flood control, water, sewer and utility purposes by public agencies may be excluded from the offer at the landowner's discretion.
  - b. Mineral and water rights (excluding the right of surface entry) on conveyed lands shall be reserved by the landowner. The landowner will make full written disclosure of toxic and hazardous substances which, to his/her knowledge, were stored on or deposited in the land to be dedicated. Road, transportation, transit, flood control, drainage, water, sewer and utility easements necessary to accomplish development in adjoining areas, and/or to accomplish planned facilities by public agencies and utilities on conveyed lands will be reserved by the landowner. Easements will be reserved on conveyed lands if necessary to preserve or facilitate agricultural uses on adjoining Open Space Implementation Districts not yet conveyed.
  - c. The enhancement of habitat areas by the landowner, particularly riparian habitat, shall be allowed in conveyed Open Space Implementation Districts, consistent with applicable standards and procedures for purposes of environmental impact mitigation.
  - d. The County or other appropriate public agency will accept the offer within two (2) years after all other conditions of acceptance have been satisfied. However, acceptance may be delayed beyond two (2) years by mutual agreement of the County and landowner.
  - e. Prior to being transferred to public ownership, agricultural uses defined below shall be allowed in the Open Space Implementation District. Landform, vegetation and drainage modifications pursuant to all allowable uses shall be permitted, except in riparian vegetation areas. Riparian vegetation shall not be significantly modified, except as necessary to provide fire protection, access roads, flood control, drainage, water, sewer and utility facilities, or where habitat is to be enhanced as part of a mitigation program approved by the California Department of Fish and Game. The landowner may convey land or easements within an Open Space Implementation District to public agencies and utilities for road, transportation, transit, drainage, flood control, water, sewer and utility purposes.

1. Permitted agricultural uses shall include the following:
  - a. Agriculture.
  - b. Community care facilities serving six (6) or fewer persons and large day care homes.
  - c. Parks, playgrounds, and athletic fields (noncommercial).
  - d. Single-family dwelling or mobile home (one per building site).
  - e. Animal hospitals and clinics.
  - f. Apiaries.
  - g. Communication transmitting, reception or relay facilities.
  - h. Employee quarters related to agricultural uses.
  - i. Grading and excavation over 5,000 cubic yards.
  - j. Landfill gas recovery operations.
  - k. Libraries and museums.
  - l. Public/private utility buildings and structures.
  - m. Wholesale nurseries.
  
2. Conditional agricultural uses subject to a Conditional Use Permit shall include the following:
  - a. Airports and heliports.
  - b. Cemeteries, mortuaries, mausoleums and crematories.
  - c. Churches, temples and other places of worship.
  - d. Commercial dairies.
  - e. Commercial outdoor recreation.
  - f. Commercial processing of agricultural minerals.
  - g. Commercial stables.
  - h. Community care facilities serving seven (7) to twelve (12) persons.
  - i. Country clubs, golf courses, riding clubs, swimming clubs, tennis clubs and yacht clubs.
  - j. Educational institution.
  - k. Kennels.
  - l. Livestock feeding ranches in compliance with applicable health and safety regulations.
  - m. Mini-storage facilities.
  - n. Packing plants for agricultural products.
  - o. Research and development testing facilities and activities.
  - p. Sanitary landfills.
  - q. Permanent facilities for sale of agricultural products grown in the site.
  - r. Storage of recreation vehicles (Mitigation Measure R-6, Special Development Requirement).

S 49. Prior to the recordation of a Final Map adjacent to Jamboree Road at Peters Canyon Wash, a grade-separated crossing of Jamboree Road at Peters

Canyon Wash and related improvements for the Peters Canyon Regional Riding and Hiking Trail, shall be provided to the City of Irvine in accordance with the following:

- A. See Mitigation Measure No. 45.A for requirements.
- B. See Mitigation Measure No. 45.D for requirements.
- C. See Mitigation Measure No. 45.D and 45.E for requirements. (same intent as Mitigation Measure R-7).

### Public Health and Safety

- A 50. In the event that unknown wastes or underground storage tanks are discovered during grading and/or construction which the contractor believes may involve hazardous materials, he/she shall (Mitigation Measure PH-1, Special Development Requirement):
  - A. Immediately stop all grading and/or construction work in the vicinity of the suspected contamination.
  - B. Notify the project proponent and the Orange County Fire Authority.
  - C. Secure the area to restrict all vehicular and pedestrian access to and in the vicinity of the suspected contamination.
  - D. Coordinate with the Orange County Fire Authority on needed testing of the substance and development of recommendations on removal and disposition of the substance.
  
- A 51. Prior to the abandonment, removal or installation of any underground storage tank, approval shall be obtained from the Orange County Fire Authority and the South Coast Air Quality Management District (SCAQMD). Further, an approved Facility Modification Application shall be submitted to and approved by the Director of Community Development (Mitigation Measure PH-2, Special Development Requirement).
  
- A 52. Prior to the issuance of building permits, improvement plans for sewer lines, connections and structures shall be of the type installed in the location as specified in the "Guidelines Requiring Separation Between Water Mains and Sanitary Sewers, Orange County Health Department, 1980", in a manner meeting the approval of the Director of Community Development (Mitigation Measure PH-3).
  
- A 53. Prior to the issuance of grading permits, the Director of Community Development shall be requested to initiate the survey process of the site to determine if vector control measures are necessary. If warranted, such measures shall be conducted by the applicant in a manner meeting the approval of the Director of Community Development (Mitigation Measure PH-4).

N/A 54. Prior to the issuance of grading permits, or street improvement plans, plans showing the location of all proposed reclaimed water lines in that subdivision used to irrigate open spaces, parks, and other landscaped areas, if required by the Irvine Ranch Water District, shall be submitted to the Director of Community Development for review and approval (Mitigation Measure PH-5).

N/A 55. Prior to the issuance of building permits, as required by state law, a site plan delineating the capacity, number and location of all proposed solid waste collection areas shall be submitted to the Chief Building Official for review and shall be approved by the Chief Building Official prior to the issuance of any certificates of use and occupancy (Mitigation Measure PH-6).

N/A 56. Prior to the issuance of grading permits, the project proponent shall prepare a Phase II assessment of the Lower Peters Canyon site related to Underground Storage Tanks (USTs), underground sumps, the pesticide/fertilizer tank farm, other chemical storage areas and PCB containing electrical equipment. The Phase II assessment shall be conducted consistent with the "Conclusions and Recommendations" of the *Phase I Environmental Site Assessment, Irvine Ranch Headquarters, Old Myford Road* (pages 3 to 6, Environmental Management Consulting, August 1994). The Phase II assessment shall be provided to the Director of Community Development, the Orange County Health Care Agency and the Orange County Fire Authority (Mitigation Measure PH-7).

#### Noise

N/A 57. All residential lots and dwellings shall be sound attenuated against present and projected noise which shall be the sum of all noise impacting the project so as not to exceed an exterior standard of 65 dB CNEL in outdoor living areas, and an interior standard of 45 dB CNEL in all habitable rooms. Evidence prepared by a certified acoustical consultant, that these standards will be satisfied in a manner consistent with applicable zoning regulations shall be submitted as follows (Mitigation Measure N-1, Special Development Requirement):

- A. Prior to the recordation of a Final Tract/ Parcel Map (except for finance and conveyance purposes) or prior to the issuance of grading permits, a preliminary acoustical analysis report shall be submitted to the Director of Community Development, for approval. The preliminary report shall describe in detail the exterior noise environment and preliminary mitigation measures. Acoustical design features to achieve interior noise standards may be included in the report, in which case, it may also satisfy "B" below.
- B. Prior to the issuance of any building permits for residential construction, a final acoustical analysis report describing the acoustical design features of the structures required to satisfy the exterior and interior noise standards shall be submitted to the Director of Community Development, for approval along with satisfactory evidence which indicates that sound attenuation measures

specified in the approved acoustical report have been incorporated in the design of the project.

- C. Prior to the issuance of any building permits, all freestanding acoustical barriers shall be shown on the project's plot plan illustrating height, location and construction in a manner meeting the approval of the Director of Community Development.
- D. Prior to the issuance of any certificates of use and occupancy, field testing in accordance with Title 19 regulations may be required by the Chief Building Official, to verify compliance with Sound Transmission Class (STC) and/or Impact Insulation Class (IIC) design standards.

A 58. Prior to the issuance of building permits for non-residential structures, evidence prepared by a certified acoustical engineer that the standards specified in the Irvine General Plan and Zoning Ordinance will be satisfied in a manner consistent with applicable Zoning Ordinance regulations shall be submitted to the Director of Community Development. This evidence shall be in the form of an acoustical analysis report describing in detail the exterior noise environment and the acoustical design features required to achieve the interior noise standards and which indicate that the sound attenuation measures specified have been incorporated into the design of the project (Mitigation Measure N-2).

S 59. Prior to the sale, lease or rental of any structure or portion thereof within the Lower Peters Canyon Site, the applicant/owner shall provide to each prospective purchaser, lessee or tenant, a notice and statement of acknowledgment that the property is subject to overflight, sight and sound of aircraft operating from the Marine Corps Air Stations Tustin and El Toro. The form and method of distribution of said notice and statement of acknowledgment shall be as approved by the Director of Community Development (Mitigation Measure N-3, Special Development Requirement).

#### Light and Glare

A 60. Prior to the issuance of building permits, the developer shall submit to, and the Director of Community Development shall approve, plans which verify that all outdoor lighting is designed so that all direct rays are confined to the site and that adjacent residential properties are protected from glare (Mitigation Measure L-1).

#### Public Services and Utilities

A 61. Prior to the issuance of grading permits (except where this condition has been met through a previously approved grading permit), the applicant shall provide documents disclosing all recorded easements on the subject property to the Director of Community Development and these easements shall be referenced on applicable grading plans. The applicant shall produce evidence that all utility providers with recorded easements on the subject property, have

been informed of the imminent construction activities in a format meeting the approval of the Director of Community Development and shall be shown on the subject grading plans (Mitigation Measure PS-1).

A 62. Prior to the issuance of grading permits, the applicant shall provide evidence that the cable television provider has been informed of construction activities and the potential exists for the interruption of services during construction. This notice shall be provided in a format acceptable to the Director of Community Development (Mitigation Measure PS-2).

S 63. Prior any Final Map Recordation (except for financing and conveyance purposes only), the project proponent shall enter into an agreement to participate on a pro rata basis, in a manner identified by the Public Safety Department and approved by the Department of Community Development, for funding capital improvements necessary to establish adequate police substation facilities to serve the project. Such improvements shall include land acquisition, station construction and equipment purchase and/or construction of existing substation servicing area (Mitigation Measure PS-3, Special Development Requirement).

S 64. Prior to the recordation of a Final Map (except for financing and conveyance purposes only), the applicant shall enter into a security agreement with the Orange County Fire Authority to mitigate the impacts of the project on the Authority. Such an agreement may include participation, on a pro rata basis, in funding capital improvements necessary to establish adequate fire protection facilities and equipment to serve the project; and provision for a mitigation program to eliminate any negative fiscal impact the project may have on the Fire Fund, if a project-induced Fire Fund shortfall is projected to exist at the time a permanent or temporary fire station is operational, or additional resources are required to serve the project (Mitigation Measure PS-4).

A 65. Prior to the issuance of building permits, the applicant shall provide evidence to the Orange County Fire Authority that the proposed infrastructure for fire protection services will be adequate to serve the proposed development (Mitigation Measure PS-5).

A 66. Prior to the storage of combustible building materials on-site, fire hydrants or equivalent devices capable of flow in amounts approved by the Orange County Fire Authority shall be in place and operational to meet fire flow requirements (Mitigation Measure PS-6).

A 67. Prior to the issuance of building permits, the applicant shall submit a construction phasing plan for that subdivision to the Orange County Fire Authority, the Irvine Police Department, and the Director of Community Development. This plan shall demonstrate that emergency vehicle access is adequate (Mitigation Measure PS-7).

- A 68. Prior to the issuance of building permits, the applicant shall submit to the Director of Community Development proof of payment of applicable school fees levied by the Tustin Unified School District (Mitigation Measure PS-8).
- S 69. Prior to the recordation of the Master Final Map for residential units (except for financing and conveyance purposes only), the applicant shall enter into a secured agreement to participate on a pro rata basis, in funding capital expenditures necessary to provide adequate library facilities to serve the project. The landowner has agreed to provide future dedication to the County of Orange of one acre of improved land within Lower Peters Canyon project area, as part of the above mentioned secured agreement, in compliance with Condition of Approval No. 51 (Board of Supervisors Resolution 93-581 adopting Zone Change 92-8, Northwood Point Planned Community), which requires future dedication to the County of Orange of approximately one acre of improved land in the northwest Irvine area for a library site (Mitigation Measure PS-9).
- N/A 70. Prior to the issuance of grading permits, or the approval of street improvement plans, the applicant shall incorporate bus pads, turnouts and passenger shelters into the design as requested by the Orange County Transportation Authority (OCTA). These bus stop improvements shall be designed consistent with the OCTA Design Guidelines for Bus Facilities (Mitigation Measure PS-10).
- N/A 71. In conjunction with the submittal of a Master Plan for development on each parcel, as shown on the Master Vesting Tract Map, the applicant shall provide a pedestrian circulation plan which would facilitate and provide access to adjacent bus stops (Mitigation Measure PS-11).
- N/A 72. Prior to the issuance of grading permits, the City shall receive verification that preconstruction meetings will be held with the OCTA Detour Coordinator, the City and the applicant for each phase of development, to review the proposed construction schedule for each development phase, and any planned lane and street closures (Mitigation Measure PS-12).
- N/A 73. Prior to the issuance grading permits within each Sector, the applicant shall submit evidence that a plan has been approved by the OCTA, identifying temporary detour routes and temporary bus stop locations for affected bus lines for each phase of the construction, as necessary (Mitigation Measure PS-13).

#### Potable Water

- A 74. Prior to the issuance of building permits, the applicant shall submit for review and approval by the Director of Community Development, water conservation measures that are consistent with those described in the "Memorandum of Understanding Regarding Urban Water Conservation in

California", as adopted by the Municipal Water District of Orange County (Mitigation Measure U-1).

A 75. Prior to the issuance of building permits, to help alleviate the potential for future water supply shortfalls resulting from changes in land use, the applicant shall implement the following measures to the satisfaction of the Director of Community Development (Mitigation Measure U-2):

- A. Water conservation irrigation systems which include, but are not limited to, drip irrigation, rain sensors and the use of reclaimed water for landscape irrigation of common areas;
- B. Drought tolerant landscaping;
- C. Use of low-flush toilets and urinals and low-flow showers and faucets;
- D. Insulation of hot-water lines and hot water heaters in water re-circulating systems;
- E. Public lavatory facilities and drinking fountains be equipped with self-closing valves.

A 76. Prior to the issuance of permits for any public improvements, the applicant shall submit to the Director of Community Development, an approved Irvine Ranch District (IRWD) Subarea Master Plan which outlines facilities required to provide adequate water service to the development. At such time that the IRWD determines a Sub-Area Master Plan is not necessary, the applicant shall submit a letter to the Director of Community Development from IRWD identifying this fact (Mitigation Measure U-3).

#### Solid Waste Management

N/A 77. If a Waste Management Ordinance pursuant to Assembly Bill (AB) 939 has not yet been adopted at the time of submittal of applications for building permits, the applicant shall not be denied the issuance of building permits. However, any development within the Lower Peters Canyon Site shall be required to conform to the Waste Management Ordinance within 60 days of notification of the adoption of the ordinance (Mitigation Measure U-4, Special Development Requirement).

A 78. Prior to the issuance of grading permits, the applicant shall submit a Waste Management and Reduction Plan consistent with the requirements of AB 939, to minimize the generation of waste during grading and construction. The plan shall identify how solid and hazardous waste will be minimized during construction. This plan shall also specifically address opportunities for recycling solid and hazardous waste, including waste generated during construction, source reduction and other methods for reducing the overall amount of waste generated during construction (Mitigation Measure U-5).