



May 11, 2026

Mr. Adam Antoniadēs
Antoniades Family Trust
38 Seton
Irvine, CA 92612

Sent Via Email

Subject: Residential Setback Deviation for 38 Seton in Planning Area 20 (University Park); File No. 00982548-PSD

Dear Mr. Antoniadēs:

Community Development Department staff reviewed your request for a deviation from the required side-yard setback for a proposed residential addition at 38 Seton in Planning Area 20 (University Park) (Enclosure 1). The property is zoned 2.2B Low Density Residential and is subject to the general development standards contained in Section 3-37-13 of the Irvine Zoning Ordinance (Enclosure 2).

In August 2024, building plans were submitted to permit the conversion of an approximately 115-square-foot atrium to habitable space along an existing zero-foot side-yard setback (Enclosure 3). These plans also include a 680-square-foot first floor interior remodel area that complies with all applicable planning development standards and does not require any deviations. The remodel includes permitting for two emergency egress windows along the zero-foot side-yard setback which requires recordation of a 3-foot-wide “no build” easement on the adjacent property for the purposes of emergency egress (Enclosure 7). Pursuant to the Irvine Zoning Ordinance, a minimum 5-foot setback from the side property line is required unless a deviation is granted pursuant to Section 3-27-13.

The subject property (Lot 122 of Tract 5788) is developed with a one-story home that fronts a private drive to the west and is surrounded by residential units to the north, south, east, and west. The existing residence was approved by the City in 1976, as evidenced by the approved original building permit (Enclosure 4). The existing home was legally built with a zero-foot setback along the eastern and western property lines in compliance with Irvine Zoning Ordinance standards in place at that time.

Section 3-27-13 of the Zoning Ordinance allows residential additions to use the building setback requirement in effect at the time that the unit was originally constructed, subject to the discretion of the Director of Community Development, if the findings for a setback deviation request can be made:

- A. A representative number of units in the tract, which were subject to the same original setback requirement, have existing structures legally built to the setbacks similar to those being requested.

The proposed addition will continue to use the legal non-conforming side-yard setback standard in place at the time the residence was constructed. There are several units in the tract that were subject to the same original setback requirement that have legally built additions similar to the proposed request. Staff identified the following six approved residences within Tract 5788 with first- and/or second-story additions built at the reduced side-yard setback (Enclosure 5):

- 23 Iron Bark Way, approved in 1980 (Permit No. 00041117) and approved in 1992 (File No. 00123038-RBPR)
- 27 Rockrose Way, approved in 1998 (File No. 00165391-RBPR)
- 18 Queens Wreath Way, approved in 2001 (File No. 00302652-RBPR)
- 77 Seton Road, approved in 2004 (Permit No. 00358984)
- 102 Seton Road, approved in 2008 (File No. 00464186-RBPR)
- 21 Rockrose Way, approved in 2023 (File No. 00920908-RBPR)

These approvals demonstrate similar structures and additions with reduced setbacks have been approved in the vicinity of the project site.

- B. The construction of the building addition to the original setback requirement will be in harmony with the character of the neighborhood.

Construction of the addition with a zero-foot side-yard setback will be in harmony with the character of the neighborhood. Other residential units within Tract 5788 were also developed with a reduced side-yard setback. The placement, scale, massing, and height of the proposed addition is consistent with the character of the neighborhood which includes a mix of one- and two-story residences in a range of architectural styles. The applicant will be required to obtain approval of the necessary building permit(s) to ensure the addition is consistent with the current Building Code and relevant Zoning Ordinance requirements, with the allowed exception of the reduced side-yard setback. Therefore, construction of the building addition will be in harmony with the scale and aesthetic character of surrounding neighborhood.

- C. The design materials and amenities utilized in the building addition will be consistent with the character of the neighborhood.

The proposed addition to the existing residence will be consistent with the existing materials, color, and design of subject residence as well as the other residences in the neighborhood. The applicant has submitted a hold harmless letter as they are moving forward without obtaining the required homeowners association design approval for the proposed addition but has obtained an adjacent property owner acknowledgement form for the proposed work, which expresses no objections to the planned addition (Enclosures 6 and 7). Furthermore, the proposed addition would be consistent in scale with other approved properties, as mentioned above, and the proposed setback will not further encroach into the setback area of the existing building footprint. Therefore, the overall design of the building addition will be consistent with the scale and general character of the neighborhood.

Based on an analysis of this request, it has been determined that the proposed addition meets the required findings to grant a setback deviation. Therefore, the request for a zero-foot side-yard setback for the proposed remodel, as depicted in Enclosure 3, is approved. **Please include a copy of this approval letter on the plans for your next building permit application submittal.**

The approval is subject to the following conditions of approval:

PRIOR TO THE ISSUANCE OF BUILDING PERMITS

Condition 3.30

RECORDATION OF NO BUILD EASEMENT

Prior to the issuance of building permits for the proposed structure modification, the applicant shall provide the Director of Community Development a copy of the recorded instrument as depicted in the "Grant of Easement" document attached hereto as Attachment 7.

MISCELLANEOUS

Standard Condition 4.13

HOMEOWNER ASSOCIATION APPROVAL

Prior to final building inspection, the applicant shall provide evidence of required approvals from the University Community Association Homeowners Association (HOA) shall to the Director of Community Development or designee. Compliance with Homeowners Association requirements shall not relieve the applicant from compliance with all City regulations, conditions of approval or applicable codes.

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Standard Condition 6.1

DISCRETIONARY CASE CHARGES

The applicant is responsible for paying all charges related to the processing of this discretionary case application within 30 days of the issuance of the final invoice or prior to the issuance of building permits for this project, whichever occurs first. Failure to pay all charges shall result in delays in the issuance of required permits or may result in the revocation of the approval of this application.

Standard Condition 6.2

LEGAL ACTION - HOLD HARMLESS

In accordance with the provisions of Section 5-5-114 of the Irvine Municipal Code and Government Code Section 66474.9, the applicant shall defend, indemnify, and hold harmless the City of Irvine and its agents, officers, and employees from and against any claim, action, or proceeding against the City agency or its agents, officers, or employees to attack, set aside, void, or annul an approval by the City, including, without limitation, an action by an advisory agency, appeal board, or legislative body concerning this discretionary approval. This defense and indemnification shall include the payment of all legal costs incurred on behalf of the City in connection with the application, and the defense of any claim, action or proceeding challenging the approval. The City will promptly notify the applicant of any claim, action, or proceeding and will cooperate fully in the defense.

In the event a legal challenge to the discretionary approval is successful, and an award of attorney fees is made to the challenger, the applicant shall be responsible to pay the full amount of such an award.

Unless an appeal is filed prior to the expiration of the five-day appeal period ending at 5 p.m. Monday, May 18, 2026, the approval granted by this letter shall become effective Tuesday, May 19, 2026.

If you have any questions or concerns on this matter, please do not hesitate to contact Assistant Planner Siobhan Gumapac-McGuire at 949-724-6351 or via email at sgumapac-mcguire@cityofirvine.org.

Sincerely,



Stephanie Frady, AICP
Director of Community Development

Mr. Adam Antoniadis

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Enclosures:

1. Letter of Request
2. Section 3-37-13, 2.2 *Low Density Residential Standards*, of the Irvine Zoning Ordinance
3. Preliminary Building Plans (File No. 00938489-RRA)
4. Original 1976 Building Permit for 38 Seton
5. Examples of Approved Building Site Plans
6. Homeowner Association Exception and Indemnification Letter
7. No-Build Easement and Adjacent Property Owner Approval

ec: Alyssa Matheus, Planning Manager
Nick Melloni, Principal Planner
File: 00982548-PSD

Adam and Lisa Antoniadis
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Irvine, CA. 92612
1-858-699-6423
adamantiades@gmail.com
04/15/26

Krysta Christensen | Assistant Planner
Community Development
949-724-6457 | 1 Civic Center Plaza, Irvine, CA 92606
krystensen@cityofirvine.org | cityofirvine.org

Subject: Variance Request for Setback Requirement at [Your Property Address]

Dear Ms. Christensen:

I am writing to formally request a variance from the standard side setback requirements for my property located at 38 Seton Road, Irvine, CA, 92652 as defined in Section 3-27-13 of the Zoning Ordinance.

The current zoning regulation requires a five foot set back, but I am requesting a variance to allow for zero setback. This deviation is necessary to allow for the conversion of an internal Atrium (within the footprint of the existing property) to be converted from an internal space with no roof to an extension of the kitchen within the property

Justification for Variance

Granting this variance is requested due to unique circumstances related to my property:

- **Unique Property Constraints:** There is in fact no 5” setback from the external property of the home, because the home was built in 1968 the external wall of the home is directly in line with the property line. This fact means that we are not requesting any change living space as the modifications we seek to make are already within the existing property walls.
- **No Adverse Impact:** The requested variance will not impact the light, air, or privacy of neighboring properties, nor will it be detrimental to the general welfare of the neighborhood because it is in fact still within the footprint of the existing home and surrounded by the existing external walls of the property. Therefore it does not increase the footprint or the square footage of the existing property
- **Consistency:** The proposed improvement will maintain the character of the neighborhood and is consistent with the surrounding properties.

ENCLOSURE 1

Attached to this letter are the following items;

1. No build easement declaration agreement from adjacent property owners agreeing to the declaration
2. Letter from other neighbors not objecting to the modifications
3. Site plans, elevations, and photographs (before and after) illustrating the proposed construction and the site limitations.

Thank you for considering this request. I am available for any questions, and I look forward to discussing this at the upcoming hearing.

Sincerely,

A handwritten signature in black ink, appearing to read "Adam Antoniadis", with a long horizontal flourish extending to the right.

Adam Antoniadis







Sec. 3-37-13. - 2.2 Low Density Residential.

- A. *Intent.* This category allows zero to 6.5 dwelling units per net acre, which is approximately equivalent to the General Plan Low Density category of zero to five dwelling units per gross acre. Attached and conventional housing, as well as other appropriate uses such as churches and child care centers, are allowed.

(2.2A and 2.2B) University Park (Planning Area 20).

(2.2C) Westpark (Planning Area 14).

(2.2D) Orchard Hills (Planning Area 1).

- B. *Intensity standard.*

0—6.5 dwelling units per net acre.

2.2C: 0—6.9 dwelling units per net acre (Westpark).

2.2D: 0—31.0 dwelling units per net acre (Planning Area 1). Individual project densities in 2.2D may exceed 6.5 dwelling units/net acre. However, no individual project may exceed 31.0 dwelling units/net acre and the overall density within all of 2.2D cannot exceed 6.5 dwelling units/net acre. For individual residential projects within 2.2D, the development standards to be applied shall depend on the actual net density of the individual residential product as follows:

1. For projects from 0 to 6.5 dwelling units per net acre, Section 3-37-13 development standards shall apply.
2. For projects from 6.6 to 12.5 dwelling units per net acre, Section 2-37-14 development standards shall apply.
3. For projects from 12.6 to 31.0 dwelling units per net acre, Section 3-37-15 development standards shall apply.

- C. *Permitted uses.* ^{1, 6}

1. Accessory use.
2. Agriculture (interim use).
3. Cottage food operations.
4. Home care.
5. Home occupation permit.
6. Information center.
7. Manufactured structure (up to two years).
8. Model home sales complex.
9. Park.

10. Public park facility (only in public parks).
11. Residential beekeeping as an accessory use. (Only in single-family detached homes and single-family attached homes with single property ownership of the lot.)
12. Residential shelter.
13. Residential, accessory dwelling unit.
14. Residential, attached.
15. Residential, single-family detached.
16. School, public.
17. Supportive housing — Small.
18. Transitional housing — Small.
19. Wireless communication facility (may require a wireless communication facility permit, a minor conditional use permit, a major conditional use permit or may be prohibited, depending on the type of installation and the location of the installation site, pursuant to the review procedures matrix in [Section 2-37.5-3](#)).

D. *Conditional uses.*^{2, 6}

1. Boarding house.
2. Child care center.
3. Church.³
4. Community facility.
5. Convalescent home.
6. Manufactured structure (over two years).
7. Recreational vehicle storage, private.
8. Residential care facility.
9. School, private.⁴
10. Senior housing.
11. Supportive housing — Large.
12. Transitional housing — Large.
13. Utility building and facility.

E.	<i>Minimum site size</i>	4,000 square feet
		2.2D: 3,000 square feet
F.	<i>Maximum site coverage</i>	50%

G.	<i>Maximum building height</i>	35 feet
H.	<i>Minimum site landscaping</i>	Not applicable to Low Density Residential
I.	<i>Building setbacks⁵from:</i>	
	Freeways, transportation corridors	50 feet
	Major highways	50 feet
	Primary highways	42 feet
	Secondary highways:	
	In nonresidential areas	35 feet
	In residential areas	25 feet
	Commuter highways and local streets	15 feet 2.2A: 20 feet 2.3C: 15-foot average, 10-foot minimum (Westpark)
	North-south San Diego Creek ROW	2.2C: 50-foot minimum parking setback with 65-foot average setback; 65-foot building setback with 75-foot average setback (Westpark)
	East-west San Diego Creek ROW	2.2C: 30 feet (Westpark)
	Private drives	10 feet
	Interior boundary if adjacent to residential uses:	

		Side	5 feet
		Rear	10 feet
		Interior boundary if adjacent to nonresidential uses:	
		Side	10 feet
		Rear	10 feet
		Building to building	6 feet

¹ Some permitted uses may have to conform to or fulfill conditions of approval imposed in conjunction with previous discretionary approvals. Additionally, a Master Plan application may need to be processed (see [Chapter 2-17](#)).

² A Master Plan application may be required in addition to a conditional use permit (see [Chapter 2-17](#)).

³ A church that proposes to locate in an existing permanent building and meets all the general development standards will not require a conditional use permit (CUP).

⁴ A private school for adults (18 years and older) that proposes to locate in an existing permanent building and meets all the general development standards will not require a conditional use permit.

⁵ Exceptions to these building setback requirements appear on the setback exceptions matrix in [Section 3-27-2](#).

(Code 1976, § V.E-325.2.2; Ord. No. 92-3, 4-14-92; Ord. No. 92-21, § 6, 11-24-92; Ord. No. 93-7, 6-22-93; Ord. No. 93-14, § 3, 10-12-93; Ord. No. 94-2, § 3, 2-8-94; Ord. No. 94-7, § 3, 6-14-94; Ord. No. 94-15, § 3, 12-13-94; Ord. No. 94-16, 12-13-94; Ord. No. 95-3, § 3B, 4-25-95; Ord. No. 95-4, § 1, 5-9-95; Ord. No. 95-7, § 4, 7-11-95; Ord. No. 95-8, § 3, 7-11-95; Ord. No. 95-12, § 3, 9-12-95; Ord. No. 95-16, § 2, 10-10-95; Ord. No. 96-2, § 2, 1-23-96; Ord. No. 96-18, § 4, 12-10-96; Ord. No. 05-12, § 6, 6-28-05; Ord. No. 05-13, § 4, 7-12-05; Ord. No. 05-16, § 2, 7-12-05; Ord. No. 09-02, § 3, 3-24-09; [Ord. No. 12-04, § 5\(Exh. A\), 3-13-12](#); Ord. No. [12-12, § 5\(Exh. A\), 9-25-12](#); Res. No. 15-86, § 3(Exh. A), 8-11-15; Ord. No. [18-05, Exh. A, 4-24-18](#); [Ord. No. 22-07, § 3\(Exh. A\), 5-10-22](#); [Ord. No. 22-12, § 4\(Exh. A\), 8-9-22](#))

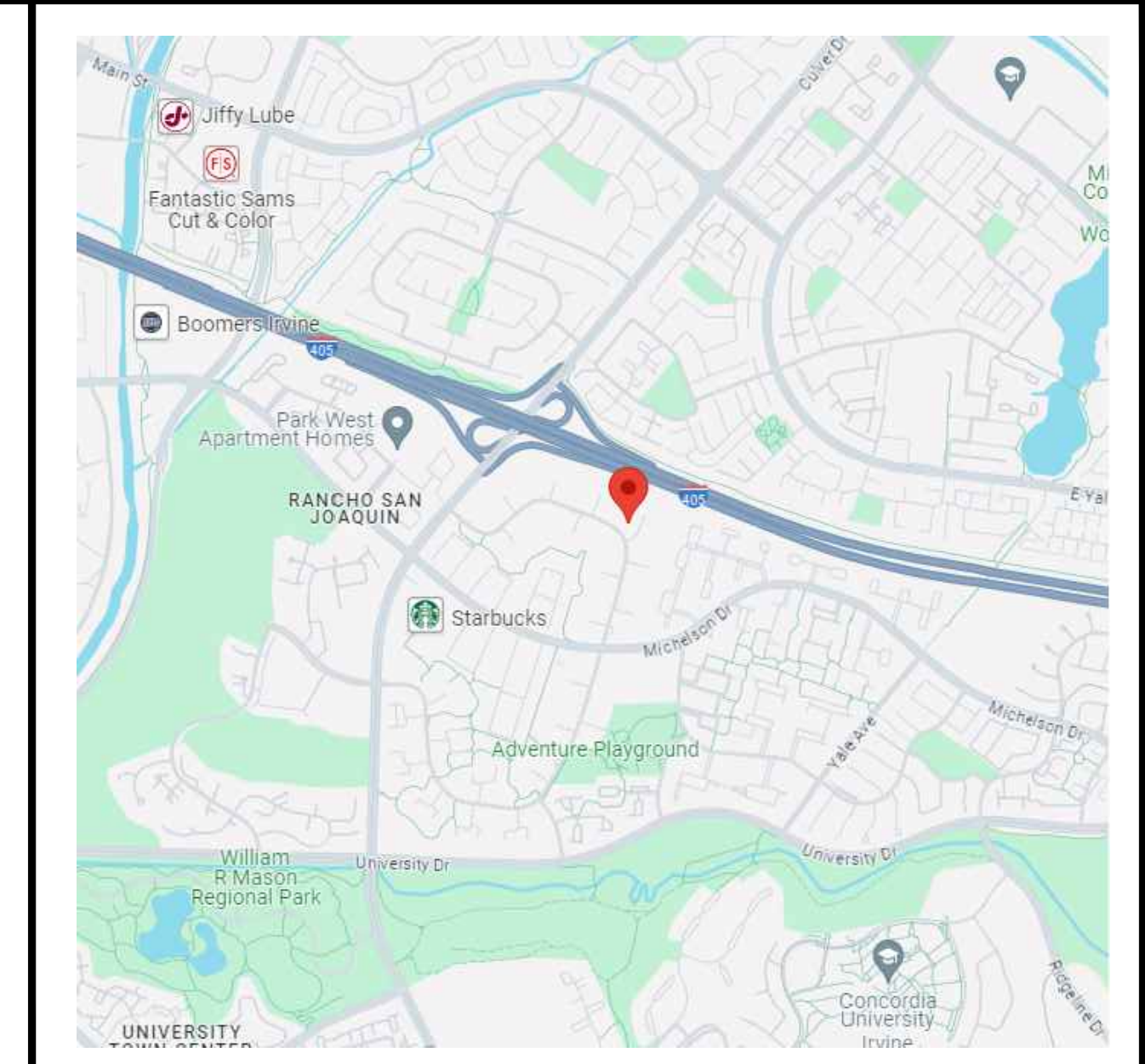
THE CITY OF IRVINE



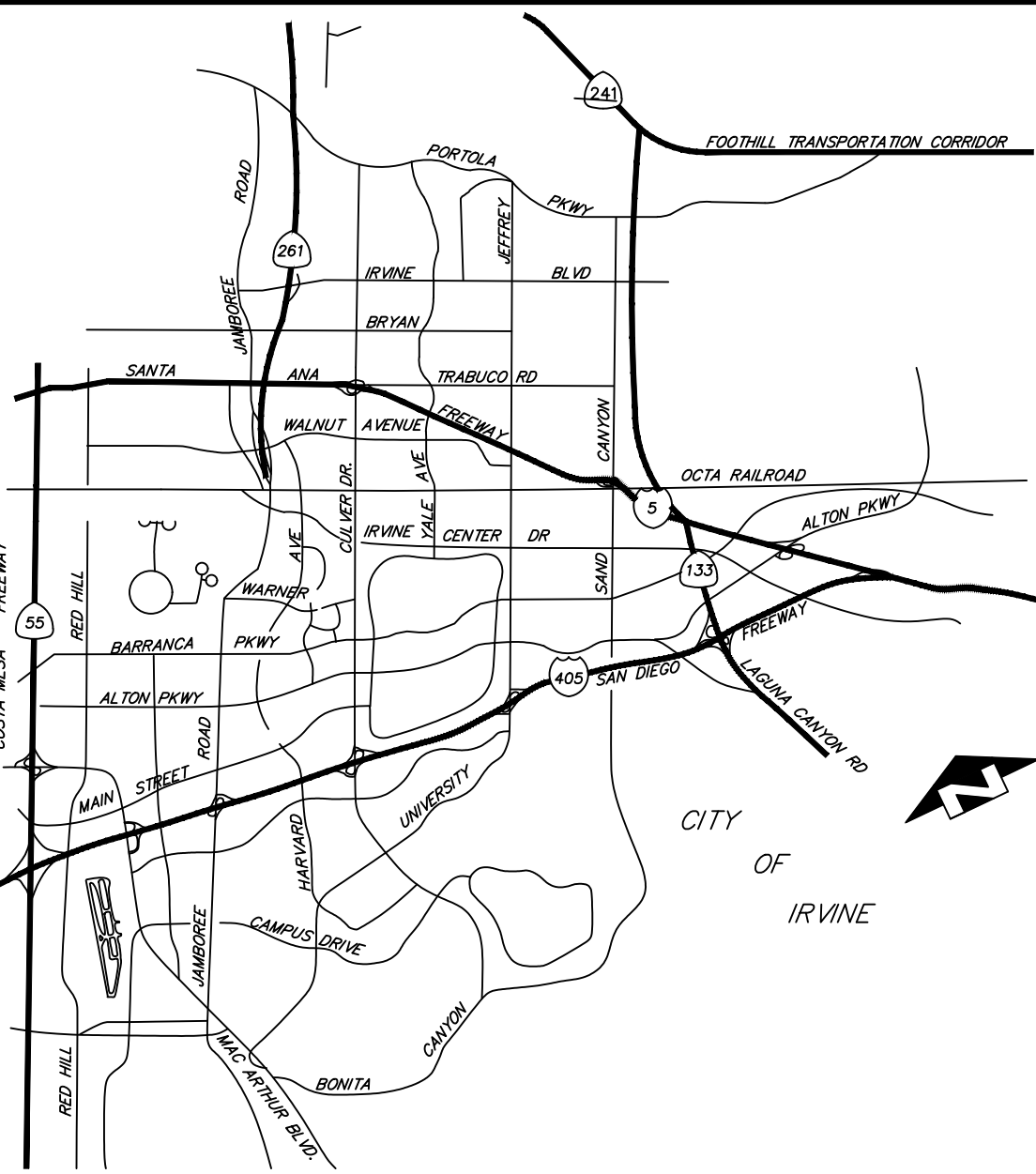
RESIDENTIAL ADDITIONAL/ALTERATION PLANS

NOTE: DESIGNER TO PROVIDE PROJECT SPECIFIC INPUT WHERE INDICATED BY INSTRUCTIONS IN BOLD AND BRACKETED BY THE FOLLOWING SYMBOL <>

(VERSION 2022.2 EFFECTIVE MARCH 2023)



LOCATION MAP



VICINITY MAP

PROJECT INFORMATION REQUIREMENTS

PROJECT LOCATION: <38 Seton Rd, Irvine, CA 92612>

PROJECT DESCRIPTION: <EXISTING ATRIUM REMOVAL, NEW KITCHEN LAYOUT, (2) NEW WINDOWS IN BEDROOMS, (N) WALK-IN SHOWER IN (2) BATHROOM, (N) UTILITY SINK, (N) LOCATION OF WASHER/DRYER, TOTAL REMODEL OF 680 SF.>

SPRINKLERS: <YES 'NO'> WHERE THE EXISTING BUILDING IS EQUIPPED WITH AUTOMATIC FIRE SPRINKLERS, ANY NEWLY CREATED LIVING, SLEEPING, EATING, COOKING, OR SANITATION AREA SHALL BE EQUIPPED WITH AUTOMATIC FIRE SPRINKLERS, INCLUDING, BUT NOT LIMITED TO, CONVERTED ATTICS, CARPORTS WITH NEW HABITABLE SPACE ABOVE, AND ENCLOSED PATIO COVERS/CALIFORNIA ROOMS.

ANY ADDITION OR MODIFICATION TO AN EXISTING FIRE SPRINKLER SYSTEM IS SUBJECT TO A SEPARATE APPROVAL AND PERMIT FROM THE ORANGE COUNTY FIRE AUTHORITY (OCFA).

CITY OF IRVINE MUNICIPAL CODE (IMC) AND INFO. BULLETINS (IB)

(NOTE: COMPLETE IMC TEXT IS AVAILABLE ON THE INTERNET AT WWW.MUNICODIODE.COM)

THE DESIGN AND CONSTRUCTION OF THIS PROJECT SHALL COMPLY WITH ALL APPLICABLE IRVINE MUNICIPAL CODE PROVISIONS AND/OR PUBLISHED INFORMATION BULLETINS INCLUDING BUT NOT LIMITED TO:

LIMITS OF PROJECT DURATION [IB 222]

ABSOLUTE MAXIMUM DURATIONS FOR CONSTRUCTION PROJECTS RELATING TO EXISTING RESIDENCES:

- 18 MONTHS - ROOM ADDITIONS OR MAJOR RECONSTRUCTIONS
- 12 MONTHS - POOLS AND SPAS
- 6 MONTHS - INTERIOR REMODELING, MINOR RECONSTRUCTION, PATIO COVERS, FIREPLACES, SKYLIGHTS, PHOTOVOLTAIC SYSTEMS, WATER HEATERS, HVAC.

THESE DURATIONS COMMENCE ON THE DAY A PERMIT IS ISSUED. PROJECTS FAILING TO FINISH ON TIME ARE SUBJECT TO LEGAL ACTION INCLUDING THE ASSESSMENT OF FINES.

LOT DRAINAGE AND EXTERIOR WALL REQUIREMENTS [IB 273]

LOTS SHALL SHEET FLOW AWAY FROM RESIDENCE A MINIMUM OF 5 FEET AT 2 PERCENT SLOPE. EXTERIOR WALL COVERING OF PLASTER OR STUCCO SHALL BE PROVIDED WITH A WEEP SCREED LOCATED AT OR BELOW THE FOUNDATION PLATE LINE, AND 4 INCHES ABOVE EARTH OR 2 INCHES ABOVE PAVEMENT.

SURVEY REQUIREMENTS TO ESTABLISH PROPERTY LINE SETBACKS [IB 302]

THE PROPOSED RESIDENTIAL ADDITION <IS NOT> LOCATED IN AN EXISTING SIDE YARD OR WILL EXTEND TO WITHIN ONE FOOT OF A REQUIRED FRONT OR REAR YARD SETBACK.

SEE SHEET <N/A> FOR SITE SURVEY, PREPARED BY A CALIFORNIA-LICENSED LAND SURVEYOR OR CIVIL ENGINEER.

WATER CONSERVING PLUMBING FIXTURES [IB 321]

RESIDENTIAL BUILDINGS FOR WHICH AN INITIAL FINAL INSPECTION WAS RECEIVED ON OR BEFORE JANUARY 1, 1994 SHALL HAVE ALL NONCOMPLIANT PLUMBING FIXTURES REPLACED WITH WATER-CONSERVING PLUMBING FIXTURES IN ACCORDANCE WITH IB 321 OR SHALL BE SELF-CERTIFIED USING THE CITY WATER CONSERVING PLUMBING FIXTURE CERTIFICATION FORM.

ATTIC AND UNDERFLOOR VENT COVERS [IMC 5.9-401 E. & 5.9-402 L.]

ALL NEW ROOF AND UNDER-FLOOR VENT OPENINGS SHALL BE COVERED WITH NON-COMBUSTIBLE, CORROSION RESISTANT, METAL WIRE MESH OR OTHER MATERIALS HAVING OPENINGS OF 1/16 INCH MINIMUM TO 1/8 INCH MAXIMUM. (CBC 706A.2) SEE DETAIL <N/A>

ROOFING [IMC 5.9-401 F. & 5.9-402 M.]

ALL NEW ROOF COVERING MATERIAL SHALL BE CLASS A AS TESTED IN ACCORDANCE WITH UL 790 OR ASTM E108.

CONSTRUCTION WASTE [IMC SECT. 6-7]

RECYCLING OF MATERIALS SHALL CONFORM TO THE CONSTRUCTION AND DEMOLITION MATERIALS RECYCLING REQUIREMENTS OF THE CITY OF IRVINE MUNICIPAL CODE (IMC) SECTIONS 6-7-1001 THROUGH 6-7-1012.

CONSTRUCTION WORK HOURS [IMC SECT. 6.8-208]

MON-FRI 7 AM TO 7 PM
SAT 9 AM TO 6 PM
NO WORK ON SUNDAYS OR FEDERAL HOLIDAYS

SPECIAL INSPECTION

THIS PROJECT IS SUBJECT TO THE FOLLOWING SPECIAL INSPECTIONS PER CALIFORNIA BUILDING CODE (CBC) CHAPTER 17 AND SHALL FOLLOW THE REQUIREMENTS AS DEFINED IN CITY OF IRVINE INFORMATION BULLETIN NO. 278. IB 181 INCLUDES CITY OF IRVINE SPECIAL INSPECTION REQUIREMENTS FOR CONCRETE PLACEMENT IN FOUNDATIONS AND SLAB ON GRADE FOR RESIDENTIAL PROJECTS.

<N/A>

VERY HIGH FIRE HAZARD SEVERITY (VHFHS) AREA (CRC SECTION R337)

<SELECT ONE OF THE FOLLOWING OPTIONS. THE FOLLOWING REQUIREMENTS APPLY IN THEIR ENTIRETY; THE FOLLOWING REQUIREMENTS ARE NOT APPLICABLE AS THE PROJECT IS NOT WITHIN A VERY HIGH FIRE HAZARD SEVERITY ZONE; THE FOLLOWING REQUIREMENTS APPLY AS INDICATED BY THE APPROVED FIRE PROTECTIONS PLAN>

FOR APPROVED FIRE PROTECTION PLAN, SEE <INSERT PLAN SHEET WHERE APPROVED FIRE PROTECTION PLAN IS PROVIDED>

FOR ADDITIONAL INFORMATION, CALL 949-724-6522 OR 949-724-6524.

NATURAL GAS SYSTEM GENERAL NOTES

- ACCEPTABLE PIPE MATERIALS:
 - BLACK STEEL SCHEDULE 40 - ASME B36.10, ASTM A53, OR ASTM A106
 - ALUMINUM ALLOY - ASTM B241, MUST BE COATED TO PROTECT AGAINST EXTERNAL CORROSION; NOT ALLOWED IN EXTERIOR LOCATIONS OR UNDERGROUND.
 - CORRUGATED STAINLESS STEEL - CSA LC-1
 - POLYETHYLENE (PE) PLASTIC - ASTM D2513, ALLOWED FOR INSTALLATION OUTDOORS, UNDERGROUND ONLY; INSTALL TRACER WIRE (THICKNESS AVG 1/4") TO FACILITATE LOCATING.
- METALLIC PIPE JOINTS AND FITTINGS SHALL BE THREADED, FLANGED, BRAZED, WELDED, OR PRESS-CONNECT FITTINGS. (CPC 1208.6.10.1)
- PLASTIC PIPE JOINTS AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. (CPC 1208.6.11)
- UNDERGROUND PIPING INSTALLATION:
 - METALLIC PIPING IS PROHIBITED FOR UNDERGROUND INSTALLATION IN THE CITY OF IRVINE.
 - MINIMUM 18 INCHES BELOW GROUND. (CPC 1210.1.1)
 - WHERE INSTALLED THROUGH THE OUTER FOUNDATION OR BASEMENT WALL, ENCASE IN A PROTECTIVE SLEEVE. THE SPACE BETWEEN THE PIPE AND THE SLEEVE AND THE SLEEVE AND THE WALL MUST BE SEALED. (CPC 1210.1.5)
 - WHERE INSTALLED UNDERGROUND BENEATH BUILDINGS, ENCASE IN A CONDUIT DESIGNED TO WITHSTAND THE IMPOSED LOADS. (CPC 1210.1.6)
- APPLIANCES CONNECTED TO THE GAS PIPING SYSTEM SHALL HAVE AN ACCESSIBLE MANUAL SHUT-OFF VALVE EACH SERVING A SINGLE APPLIANCE AND INSTALLED WITHIN 6 FEET OF THE APPLIANCE IT SERVES. (CPC 1212.6)

CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS

PROVISIONS OF THE CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARD APPLY TO THIS PROJECT. SEE SHEET <N/A> FOR COMPLETE COMPLIANCE DOCUMENTATION.

CALIFORNIA GREEN BUILDING STANDARDS CODE

PROVISIONS OF THE CALIFORNIA GREEN BUILDING STANDARDS CODE APPLY TO ALL RESIDENTIAL ALTERATIONS THAT INCREASE THE BUILDING'S CONDITIONED AREA, VOLUME, OR SIZE. SEE SHEET <7-24-1 THRU 7-24-3> FOR APPLICABLE GREEN BUILDING STANDARDS NOTES AND REQUIREMENTS.

PRE-CONSTRUCTION MEETING REQUIREMENT

ALL CONSTRUCTION PROJECTS INVOLVING ADDITIONS TO RESIDENTIAL STRUCTURES OVER 500 SQ.FT. SHALL NOT COMMENCE UNTIL A PRE-CONSTRUCTION MEETING HAS BEEN HELD. THESE MEETINGS, WHILE NOT REQUIRED BY CITY CODE FOR RESIDENTIAL IMPROVEMENTS, ARE BENEFICIAL FOR THIS TYPE OF RESIDENTIAL ADDITIONS. TO SCHEDULE A PRE-CONSTRUCTION MEETING CONTACT RICK OLSON, RESIDENTIAL INSPECTIONS SUPERVISOR AT (949)724-6530.

KITCHEN REMODEL GENERAL NOTES

- THE MAXIMUM FLOW RATE STANDARD FOR NEW SINK FAUCETS SHALL BE 1.8 GPM AT 60 PSI. IN COMPLIANCE WITH THE CALIFORNIA PLUMBING CODE.

KITCHEN RANGE HOOD AIRFLOW RATES

- CALIFORNIA ENERGY CODE (CEC) TABLE 150.0-G: KITCHEN RANGE HOOD AIRFLOW RATES (CFM) AND ASTM E3087 CAPTURE EFFICIENCY (CE) RATINGS ACCORDING TO DWELLING UNIT FLOOR AREA AND KITCHEN RANGE FUEL TYPE.

DWELLING UNIT FLOOR AREA (ft ²)	HOOD OVER ELECTRIC RANGE	HOOD OVER NATURAL GAS RANGE
> 1500	50% CE or 110 cfm	70% CE or 180 cfm
> 1000 - 1500	50% CE or 110 cfm	80% CE or 250 cfm
750 - 1000	55% CE or 130 cfm	85% CE or 280 cfm
< 750	65% CE or 160 cfm	85% CE or 280 cfm

KITCHEN LIGHTING

- ALL NEW OR ALTERED LIGHTING SHALL COMPLY WITH CURRENT MANDATORY FEATURES PER CALIFORNIA ENERGY CODE (CEC) SECTION 150.0-K.
- ALL NEW AND ALTERED LUMINAIRES SHALL BE HIGH EFFICACY IN ACCORDANCE WITH CEC TABLE 150.0-A.
- RECESSED DOWNLIGHT LUMINAIRES INSTALLED IN INSULATED CEILING SHALL BE PROVIDED WITH ZERO RECESS INSULATION CONTACT (IC) LISTED BY UNDERWRITERS LABORATORY (UL) OR EQUIVALENT AND AIR TIGHT (AC) LABEL FIXTURES.
- LED LUMINAIRES SHALL BE INSTALLED IN LED FIXTURES RATED FOR THE SPECIFIC WATTAGE.
- LIGHTING FROM ADJACENT KITCHEN AREA SUCH AS DINING AND NOOK AREAS SHALL HAVE SEPARATE CONTROLS IF NOT PART OF THE AREA OF REMODEL.

KITCHEN ELECTRICAL OUTLETS

- ALL ELECTRICAL 125V THROUGH 250V OUTLETS INSTALLED TO SERVE THE COUNTERTOP SURFACE IN A KITCHEN OR WITHIN 6 FT FROM THE TOP INSIDE EDGE OF THE SINK BOWL SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION (GFCI) PER CEC 210.8 (A)(5)(7).
- ALL 120-VOLT, SINGLE-PHASE, 15- AND 20-AMP BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES IN KITCHENS SHALL BE PROTECTED BY A LISTED COMBINATION-TYPE ARC-FAULT CIRCUIT INTERRUPTER, INSTALLED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT, OR BY OTHER METHOD IN ACCORDANCE WITH CEC 210.12(A), (C) & 210.12(A)(1).
- RECEPTACLE OUTLETS SHALL BE INSTALLED ON OR WITHIN 20 INCHES ABOVE COUNTERTOPS AND WORK SURFACES SUCH THAT:
 - NO POINT ALONG THE WALL LINE ADJACENT TO COUNTERTOPS AND WORK SURFACES AT LEAST 12 INCHES IN WIDTH IS MORE THAN 24 HORIZONTAL INCHES FROM A RECEPTACLE OUTLET. COUNTERTOP BEHIND A RANGE OR SINK IS EXEMPT UNLESS SUCH COUNTERTOP IS AT LEAST 12 INCHES WIDE OR 18 INCHES WIDE FOR A CORNER INSTALLATION.
 - AT LEAST ONE RECEPTACLE SHALL BE INSTALLED AT EACH PENINSULAR COUNTERTOP SPACE WITH A LONG DIMENSION OF AT LEAST 24 INCHES AND A SHORT DIMENSION OF AT LEAST 12 INCHES. (CEC 210.52(C))
 - AT LEAST ONE GFCI PROTECTED RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH ISLAND COUNTERTOP WITH A LONG DIMENSION OF 2 FEET OR GREATER AND A SHORT DIMENSION OF 12 INCHES OR GREATER PER CEC SECTION 210.52(C)(2).
 - AT LEAST ONE GFCI PROTECTED RECEPTACLE OUTLET IS TO BE INSTALLED AT EACH PENINSULAR COUNTERTOP WITH A LONG DIMENSION OF 3 FEET OR GREATER AND A SHORT DIMENSION OF 12 INCHES OR GREATER PER CEC 210.52(C)(3).
- RECEPTACLE OUTLETS SHALL BE LOCATED ON OR ABOVE, BUT NO MORE THAN 20 INCHES ABOVE THE COUNTER TOP PER CEC 210.52(C)(3)(1).
- PROVIDE A MINIMUM OF TWO 20 AMPS SMALL APPLIANCE BRANCH CIRCUITS FOR RECEPTACLES IN THE KITCHEN PER CEC 210.11(C)(1).

BATHROOM REMODEL GENERAL NOTES

- THE MAXIMUM FLOW RATE STANDARDS FOR NEW PLUMBING FIXTURES SET BY THE CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBC 4.303) ARE AS FOLLOWS:
 - WATER CLOSETS: 1.28 GALLONS PER FLUSH (SEE NOTE 2)
 - SHOWER HEADS: 1.8 GPM @ 80 PSI (SEE NOTE 1)
 - LAVATORY FAUCETS: 1.2 GPM @ 80 PSI

NOTES:

- WHEN SHOWER IS SERVED BY MORE THAN ONE SHOWER HEAD, THE COMBINED FLOW RATE OF ALL SHOWER HEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT ONE TIME.
 - THE EFFECTIVE FLUSH VOLUME OF DUAL FLUSH TOILETS IS DEFINED AS THE COMPOSITE, AVERAGE FLUSH VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH.
- BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT OF 72 INCHES ABOVE THE FLOOR. (CRC R307)
- ALL GLAZING LESS THAN 60 INCHES ABOVE A SHOWER OR TUB FLOOR SHALL BE SAFETY GLAZING TYPE. (CRC R308 4.5)
- ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMP BATHROOM RECEPTACLES SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER (GFCI) PROTECTION.
- BATHROOM BRANCH CIRCUITS: AT LEAST ONE 120-VOLT, 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLETS, OTHER EQUIPMENT, SUCH AS LIGHTING, EXHAUST FANS WITHIN THE SAME BATHROOM MAY BE SUPPLIED BY THE SAME BRANCH CIRCUIT WHERE THE BRANCH CIRCUIT SUPPLIES A SINGLE BATHROOM ONLY. (CEC 210.11(C)(3))
- BATHROOM ELECTRICAL OUTLETS: AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN BATHROOMS WITHIN 3 FEET OF THE OUTSIDE EDGE OF EACH BASIN. THE RECEPTACLE OUTLET SHALL BE LOCATED ON A WALL OR PARTITION THAT IS ADJACENT TO THE BASIN OR BASIN COUNTERTOP, OR INSTALLED ON THE SIDE OR FACE OF THE BASIN CABINET. IN NO CASE SHALL THE RECEPTACLE BE LOCATED MORE THAN 12 INCHES BELOW THE TOP OF THE BASIN. (CEC 210.52(D))
- RECEPTACLES AT BATHTUBS AND SHOWER SPACES SHALL NOT BE INSTALLED WITHIN 3 FEET HORIZONTAL AND 8 FEET VERTICAL FROM THE TOP OF THE BATHTUB RIM OR THE SHOWER THRESHOLD. (CEC 408.9(C))
- PRIVATE BATHROOMS WITH A BATHTUB OR SHOWER SHALL BE PROVIDED WITH ENERGY STAR COMPLIANT EXHAUST FANS CONTROLLED BY A HUMIDITY CONTROL, AND HAVING A MINIMUM CAPACITY OF 20 CFM CONTINUOUS OR 50 CFM INTERMITTENT. (CMC TABLE 403.7, CGBC 4.506.1)
- WATER CLOSETS AND BIDETS SHALL BE INSTALLED A MINIMUM OF 15 INCHES FROM ANY WALL OR OBSTRUCTION MEASURED TO THE CENTERLINE OF THE FIXTURE, AND 30 INCHES TO A SIMILAR FIXTURE MEASURED CENTERLINE TO CENTERLINE. THE CLEAR FLOOR SPACE IN FRONT OF A WATER CLOSET, LAVATORY, OR BIDET SHALL BE NOT LESS THAN 24 INCHES. (CPC 402.5)
- FIXTURES HAVING CONCEALED SLIP JOINT CONNECTIONS SHALL BE PROVIDED WITH AN ACCESS PANEL OR UTILITY SPACE NOT LESS THAN 12 INCHES IN ITS LEAST DIMENSION. (CPC 402.10)
- SHOWERS SHALL HAVE A WASTE OUTLET AND FIXTURE TAILPIECE (P-TRAP) NOT LESS THAN 2 INCHES IN DIAMETER. (CPC 408.4)
- SHOWER THRESHOLD (WHERE PROVIDED) SHALL BE OF SUFFICIENT WIDTH TO ACCOMMODATE A MINIMUM 22 INCHES DOOR. SHOWER DOOR SHALL OPEN SO AS TO MAINTAIN NOT LESS THAN 22 INCHES UNOBSTRUCTED OPENING FOR EGRESS. (CPC 408.5)
- SHOWER COMPARTMENTS, REGARDLESS OF THE SHAPE, SHALL HAVE A MINIMUM FINISHED INTERIOR OF 1024 SQUARE INCHES AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30 INCH CIRCLE. (CPC 408.6)
- CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENTS OR OTHERWISE

- ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE OF THE COMPARTMENT. (CPC 408.9)
- WHERE TWO SEPARATE HANDLES CONTROL THE HOT AND COLD WATER, THE LEFT-HANDED HANDLE SHALL CONTROL HOT WATER. (CPC 417.5)
- THE NUMBER OF WATER CLOSETS SERVED BY A 3/4 INCH DRAIN SHALL NOT EXCEED FIVE. (CPC TABLE 703.2)
- NEWLY INSTALLED LUMINAIRES IN A BATHROOM:
 - SHALL BE HIGH EFFICACY AND MEET THE APPLICABLE REQUIREMENTS OF CEC TABLE 150.0-A. (CEC 150.0(K)(1,A))
 - WHEN RECESSED, SHALL BE LISTED FOR ZERO CLEARANCE, LABELED TO CERTIFY AIR LEAKAGE LESS THAN 2 CFM, SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE CEILING, AND SHALL NOT CONTAIN SCREW BASE SOCKETS. (CEC 150.0(K)(1,C))
 - SHALL BE CONTROLLED SEPARATELY FROM EXHAUST FANS. (CEC 150.0(K)(2,G))
 - SHALL HAVE READILY ACCESSIBLE WALL-MOUNTED CONTROLS ALLOWING THE LIGHTS TO BE MANUALLY TURNED ON AND OFF. (CEC 150.0(K)(2,A))
 - SHALL NOT HAVE CONTROLS THAT BYPASS A DIMMER, OCCUPANT SENSOR, OR VACANCY SENSOR. (CEC 150.0(K)(2,B))
 - SHALL HAVE AT LEAST ONE LUMINAIRE CONTROLLED BY AN OCCUPANT OR VACANCY SENSOR PROVIDING AUTOMATIC OFF FUNCTIONALITY. (CEC 150.0(K)(2,E))
 - THAT ARE OR CONTAIN LIGHT SOURCES THAT MEET REFERENCE JOINT APPENDIX JAB REQUIREMENTS FOR DIMMING, AND THAT ARE NOT CONTROLLED BY AN OCCUPANT OR VACANCY SENSOR, SHALL HAVE DIMMING CONTROLS. (CEC 150.0(K)(2,D))

OUTDOOR COOKING APPLIANCE

REFER TO CALIFORNIA MECHANICAL CODE SECTION 923.0 FOR OUTDOOR COOKING APPLIANCES.
923.1 LISTED UNITS: LISTED OUTDOOR COOKING APPLIANCES SHALL BE INSTALLED IN ACCORDANCE WITH THEIR LISTING AND THE MANUFACTURER'S INSTALLATION INSTRUCTION.
923.2 UNLISTED UNITS: UNLISTED OUTDOOR COOKING APPLIANCES SHALL BE INSTALLED OUTDOORS WITH CLEARANCES TO COMBUSTIBLE MATERIALS OF NOT LESS THAN 36 INCHES AT THE SIDES AND BACK AND NOT LESS THAN 48 INCHES AT THE FRONT. IN NO CASE SHALL THE APPLIANCE BE LOCATED UNDER OVERHEAD COMBUSTIBLE CONSTRUCTION.

OUTDOOR DECORATIVE APPLIANCES

REFER TO CALIFORNIA MECHANICAL CODE SECTION 932.0 FOR OUTDOOR OPEN FLAME DECORATIVE APPLIANCES.
932.1.1 LISTED UNITS: LISTED OUTDOOR OPEN FLAME DECORATIVE APPLIANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTION (NFPA 54-10.32.1)
932.1.2 UNLISTED UNITS: UNLISTED OUTDOOR OPEN FLAME DECORATIVE APPLIANCES SHALL BE INSTALLED OUTDOORS IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION AND CLEARANCES TO COMBUSTIBLE MATERIALS OR NOT LESS THAN 36 INCHES FROM THE SIDES. IN NO CASE SHALL THE APPLIANCE BE LOCATED UNDER OVERHEAD COMBUSTIBLE CONSTRUCTION. (NFPA 54-10.32.2)

DOOR /WINDOW REPLACEMENT

REPLACEMENTS OF DOORS AND WINDOWS HAVING THE SAME DIMENSIONS OF THOSE BEING REPLACED SHALL MEET REQUIREMENTS FOR WEATHER PROOFING, SIGHTGLASS ENERGY EFFICIENCY
REPLACEMENT OF EXTERIOR DOORS AND WINDOWS SHALL BE IN COMPLIANCE WITH SECURITY REQUIREMENTS DESCRIBED IN CITY OF IRVINE MUNICIPAL CODE SECTIONS 5-9-511 THRU 5-9-516.
CALIFORNIA ENERGY CODE (CEC) SECTION 150.2(B)1.B. REQUIRES DOORS/WINDOWS TO MEET U-FACTOR AND SOLAR HEAT GAIN COEFFICIENT (SHGC) IN PRESCRIPTIVE STANDARDS. PER TABLE 150.1A CLIMATE ZONE 8 REQUIREMENTS ARE AS FOLLOWS:

- MAXIMUM U-FACTOR = 0.30
- MAXIMUM SHGC = 0.23
- MAXIMUM TOTAL AREA = 20%
- MAXIMUM WEST FACING AREA = 5%

SPACE CONDITIONING SYSTEM CHANGE OUT

FOR REQUIREMENTS FOR ALTERATIONS MADE TO RESIDENTIAL SPLIT SYSTEM AIR CONDITIONER CONDENSING UNIT, HEATING OR COOLING COIL OR FURNACE HEAT EXCHANGER REPLACEMENT, REFER TO IB 310.
ENTIRELY NEW OR COMPLETE REPLACEMENT OF SPACE-CONDITIONING SYSTEM SHALL BE PROVIDED WITH THE FOLLOWING:

- ALL NEW EQUIPMENT SHALL BE CERTIFIED WITH THE CALIFORNIA ENERGY COMMISSION.
- A/C EFFICIENCY-CENTRAL, SINGLE PHASE AIR CONDITIONERS AND AIR SOURCE HEAT PUMPS SHALL HAVE A MINIMUM SEASONAL ENERGY EFFICIENCY RATIO (SEER) OF 14.
- GAS-FIRED FURNACE EFFICIENCY SHALL BE AN ANNUAL FUEL UTILIZATION (AFUE) OF 80% FOR UNITS HAVING CAPACITY LESS THAN 225,000 BTU/H AND AN 81% FOR UNITS HAVING CAPACITY EQUAL OR GREATER THAN 225,000 BTU/H.
- SETBACK CAPABILITY-THERMOSTAT THAT ALLOWS THE BUILDING OCCUPANT TO PROGRAM THE TEMPERATURE SET-POINTS FOR AT LEAST FOUR PERIODS WITHIN 24 HOURS.
- ALL DUCTS LOCATED IN UNCONDITIONED SPACE SHALL BE PROVIDED WITH DUCT INSULATION R-8.
- HOSE INSULATION: FOR SPLIT SYSTEM AIR CONDITIONERS THE SUCTION LINE ONLY REQUIRES INSULATION HAVING A THICKNESS OF 0.75 INCHES FOR LINES HAVING A DIAMETER LESS THAN 1.5 INCHES AND A THICKNESS OF 1 INCH FOR LINES HAVING A DIAMETER OF 1.50 INCHES OR MORE. INSULATION MUST BE SUITABLE FOR OUTDOOR USE AND BE PROTECTED AGAINST DAMAGE FROM SUNLIGHT, MOISTURE, EQUIPMENT MAINTENANCE AND WIND.
- SEALING OF ALL DUCTS PART OF THE AIR DISTRIBUTION AND LEAKING TESTING. NOTE THAT IN RESIDENTIAL DUCT SYSTEM LEAKAGE TO OUTSIDE SHALL NOT EXCEED 5% OF THE NOMINAL SYSTEM AIRFLOW.

REFER TO IB 310 FOR TESTING AND INSPECTION REQUIREMENTS.

MECHANICAL VENTS AND EXHAUST TERMINATIONS AT ZERO LOT LINES AND YARD EASEMENTS

REFER TO CITY OF IRVINE INFORMATIONAL BULLETIN NO. 325 THAT PROHIBITS MECHANICAL APPLIANCES AND THEIR VENTS AND EXHAUSTS TERMINATIONS AT SUCH EASEMENTS.

SMOKE ALARM AND CARBON MONOXIDE ALARM REQUIREMENTS

WHERE ALTERATIONS, REPAIRS, OR ADDITIONS REQUIRING BUILDING PERMIT OCCUR, OR WHERE ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN EXISTING DWELLINGS, THE INDIVIDUAL DWELLING UNIT SHALL BE EQUIPPED WITH SMOKE ALARMS LOCATED AS REQUIRED FOR NEW DWELLINGS. (CRC R314)

FOR EXISTING BUILDINGS AND NEW CONSTRUCTION, CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN DWELLING UNITS CONTAINING A FUEL-FIRE APPLIANCE OR FIREPLACE, OR THAT HAS AN ATTACHED GARAGE WITH AN OPENING THAT COMMUNICATES WITH THE DWELLING UNIT. (CRC R315)

POOL AND SPA NOTES

FOR GENERAL NOTES FOR SWIMMING POOLS AND SPAS, REFER TO <https://irvineca.seamlessdocs.com/f/ICO20091000179475252>.

STORMWATER POLLUTION PREVENTION NOTES

STORMWATER POLLUTION PREVENTION DEVICES AND PRACTICES SHALL BE INSTALLED AND/OR INSTITUTED AS NECESSARY TO ENSURE COMPLIANCE TO THE CITY OF IRVINE WATER QUALITY STANDARDS CONTAINED IN CHAPTER 3, WATER, OF DIVISION 8 OF TITLE 6 OF THE IRVINE MUNICIPAL CODE, AND AN EROSION CONTROL PLAN ASSOCIATED WITH THIS PROJECT. ALL SUCH DEVICES AND PRACTICES SHALL BE MAINTAINED, INSPECTED AND/OR MONITORED TO ENSURE ADEQUACY AND PROPER FUNCTION THROUGHOUT THE DURATION OF THE CONSTRUCTION PROJECT.

COMPLIANCE TO THE WATER QUALITY STANDARDS AND ANY EROSION AND SEDIMENT CONTROL PLAN ASSOCIATED WITH THIS PROJECT INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING REQUIREMENTS:

- AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROL MEASURES (BMPs) SHALL BE IMPLEMENTED TO PROTECT THE EXPOSED PORTIONS OF THE SITE FROM EROSION AND TO PREVENT SEDIMENT DISCHARGES.
- SEDIMENTS AND OTHER POLLUTANTS SHALL BE RETAINED ON SITE UNTIL PROPERLY DISPOSED OF, AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
- STOCKPILES OF SOIL AND OTHER CONSTRUCTION-RELATED MATERIALS SHALL BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND AND WATER FLOW.
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS SHALL BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM, NOR BE ALLOWED TO SETTLE OR INFILTRATE INTO SOIL.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTES.

- TRASH AND CONSTRUCTION SOLID WASTES SHALL BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICULAR TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITS SHALL BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- STORMWATER POLLUTION PREVENTION DEVICES AND/OR PRACTICES SHALL BE MODIFIED AS NEEDED AS THE PROJECT PROGRESSES TO ENSURE EFFECTIVENESS.

APPLICABLE STATE CODES (WITH CITY OF IRVINE AMENDMENTS)

CALIFORNIA BUILDING CODE	2022
CALIFORNIA RESIDENTIAL CODE	2022
CALIFORNIA GREEN BUILDING STANDARDS CODE	2022
CALIFORNIA MECHANICAL CODE	2022
CALIFORNIA ELECTRICAL CODE	2022
CALIFORNIA PLUMBING CODE	2022
CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS	2022

DEFERRED SUBMITTALS

THIS PROJECT HAS BEEN PERMITTED WITHOUT REVIEW AND/OR APPROVAL OF THE FOLLOWING DEFERRED SUBMITTALS. PLANS APPROVED BY THE CITY SHALL BE OBTAINED FOR EACH DEFERRED ITEM LISTED BELOW PRIOR TO COMMENCING ANY WORK WITHIN THE SCOPE OF SUCH DEFERRAL. DEFERRALS MUST BE REVIEWED AND ACCEPTED BY THE ARCHITECT OR ENGINEER OF RECORD PRIOR TO SUBMITTING FOR REVIEW WITH THE CITY.
<INSERT COMPREHENSIVE LIST OF DEFERRED SUBMITTALS USING SEPARATE LINE PER ITEM>

FOR EXAMPLE:

- HAND RAILS/GUARD RAILS
- WOOD TRUSSES
- POOL/SPA

SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT

BE ADVISED, SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) RULE 1403 GOVERNS WORK PRACTICE REQUIREMENTS FOR ASBESTOS IN ALL RENOVATION AND DEMOLITION ACTIVITIES. PLEASE REFER TO RULE 1403 (<http://www.scaqmd.gov/docs/default-source/rule-book/req-r1403.pdf>) FOR ALL CURRENT REQUIREMENTS.

CALIFORNIA HEALTH AND SAFETY CODE 19827.5 REQUIRES THAT A DEMOLITION NOTIFICATION BE SUBMITTED TO SOUTH COAST AQMD PRIOR TO THE BEGINNING OF ANY DEMOLITION WORK. THE PROPOSED SCOPE OF WORK IN THIS SET OF PLANS INCLUDES DEMOLITION THAT MAY INCLUDE THE REMOVAL OF ASBESTOS CONTAINING MATERIALS AND/OR STRUCTURAL ELEMENTS. PER SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) RULE 1403, NOTIFICATION TO SCAQMD WILL BE REQUIRED. <INSERT OWNER'S NAME>. THE OWNER OF THE PROPERTY AT <INSERT STREET ADDRESS> SHALL HAVE MY SELECTED CALIFORNIA LICENSED CONTRACTOR PERFORMING THE DEMOLITION WORK, OR MYSELF ACTING AS THE OWNER-BUILDER, FORMALLY NOTIFY SCAQMD PRIOR TO THE START OF ANY DEMOLITION WORK. THE SCAQMD RULE 1403 NOTIFICATION CONFIRMATION SHALL BE MADE AVAILABLE ON THE JOBSITE.

Lisa Antoniadis

OWNER SIGNATURE

08-16-2024

DATE

EPA RENOVATION, REPAIR, AND PAINTING (RRP) RULE

EPA REGULATIONS REQUIRE THAT ANY CONTRACTOR OR MAINTENANCE STAFF WHO DISTURBS LEAD-BASED PAINT IN A PRE-1978 RESIDENCE OR CHILD-CARE FACILITY MUST BE LEAD-SAFE CERTIFIED AND TRAINED IN LEAD-SAFE WORK PRACTICES.

NOTE: PLAN REVIEW IS LIMITED TO ARCHITECTURAL, STRUCTURAL AND ELECTRICAL REQUIREMENTS. IT IS RESPONSIBILITY OF THE DESIGNER AND/OR CONTRACTOR TO ENSURE ALL PLUMBING, MECHANICAL AND ELECTRICAL FIXTURES AND APPLIANCES ARE INSTALLED PER CODE AND APPLICABLE LISTINGS.

PROPERTY EASEMENTS

IF THE PROPERTY CONTAINS ONE OR MORE EASEMENTS OF RECORD, CLEARLY IDENTIFY AND LABEL EACH EASEMENT (E.G. EASEMENT TO NEIGHBOR, WATER DISTRICT EASEMENT, ETC.), AND IDENTIFY THE EASEMENT WIDTH ON THE SITE PLAN, WHERE THE SUBJECT PROPERTY CONTAINS NO EASEMENTS, PLEASE COMPLETE THE FOLLOWING STATEMENT:

I, < Lisa Antoniadis > > PROPERTY OWNER/AUTHORIZED AGENT CONFIRM THE SUBJECT PROPERTY CONTAINS NO EASEMENT(S) RESTRICTING THE PROPOSED CONSTRUCTION AS SHOWN ON THESE PLANS.

Lisa Antoniadis

SIGNATURE (OWNER OR AUTHORIZED AGENT)

08-16-2024

DATE

SHEET INDEX

PROJECT TABULATION:

Zoning: 2.2B
 Lot Area: 4192 sf
 Existing Building Area: 1,823 sf
 Existing Garage Area: 483 sf
 New Addition Area (Convert Artium to condition space): 130 sf
 New Building Area: 1,953 sf
 Interior remodel Area: 680 sf
 Lot Coverage: 1823+483+130 = 58.1%
 (Existing Artium enclosed, include in the lot coverage)



8 Corporate Park # 100
 Irvine, CA 92606
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PROFESSIONAL SEAL:

Haoyang Li

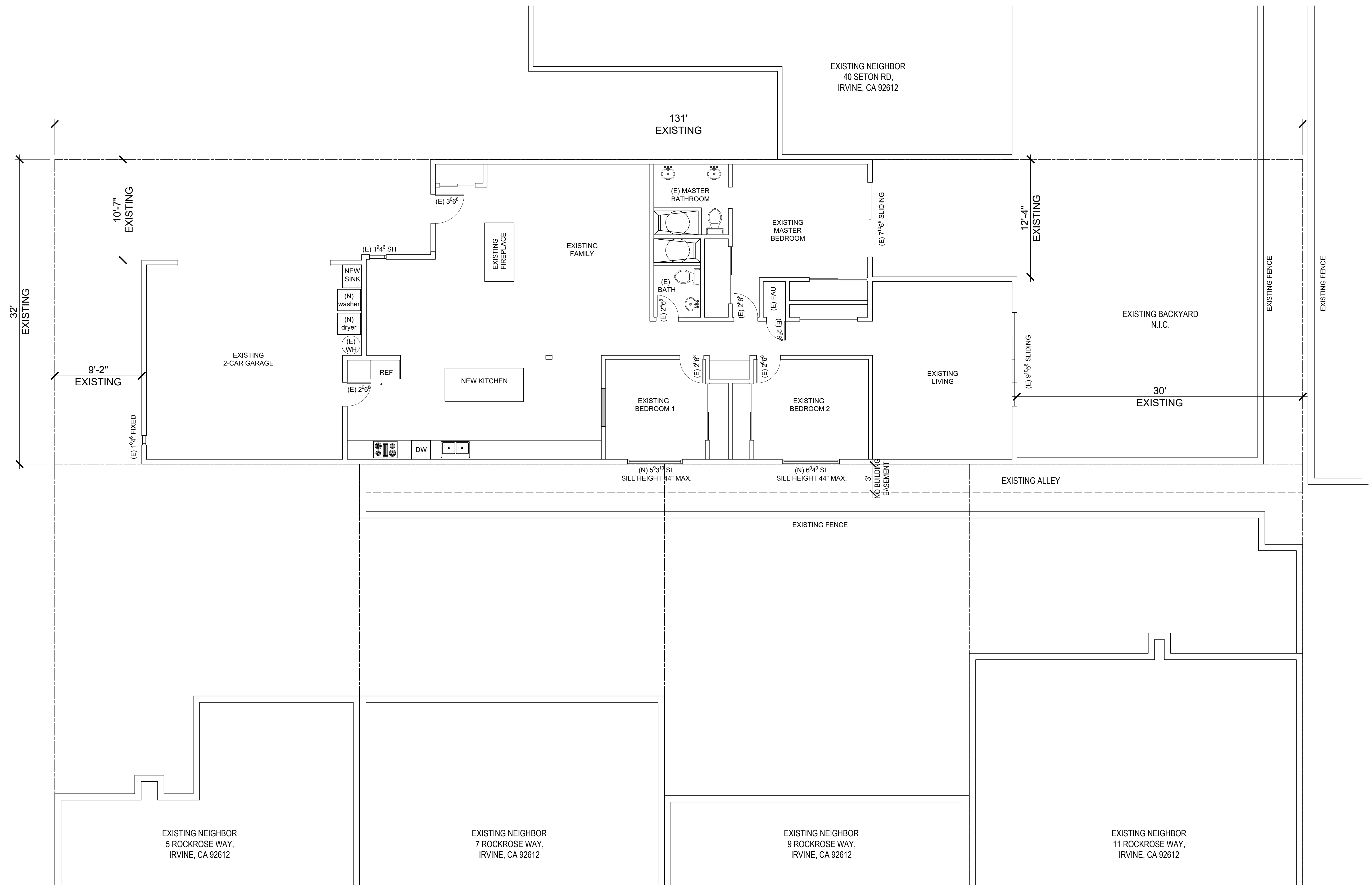
NO.	DATE	DESCRIPTION

PROJECT TITLE
**38 SETON RD
 IRVINE, CA 92612**

SHEET NAME
EXISTING SITE PLAN

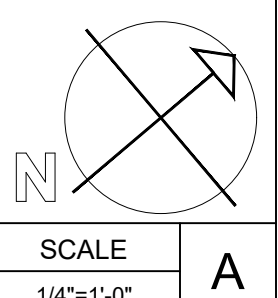
JOB NO: 24012
 DATE ISSUED: 04-05-24
 DRAWN BY: HL
 CHECK BY: HL

SHEET NO:
A-1.1

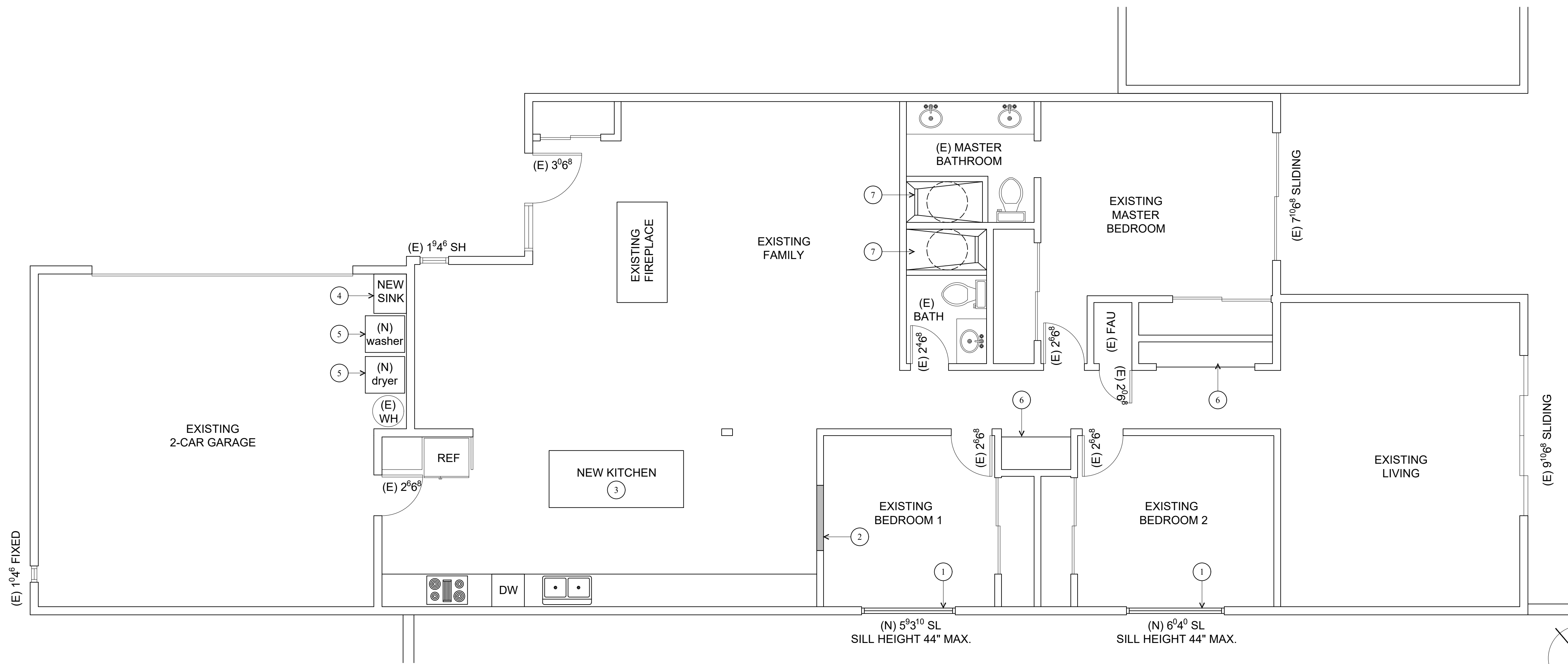


00008

EXISTING SITE PLAN



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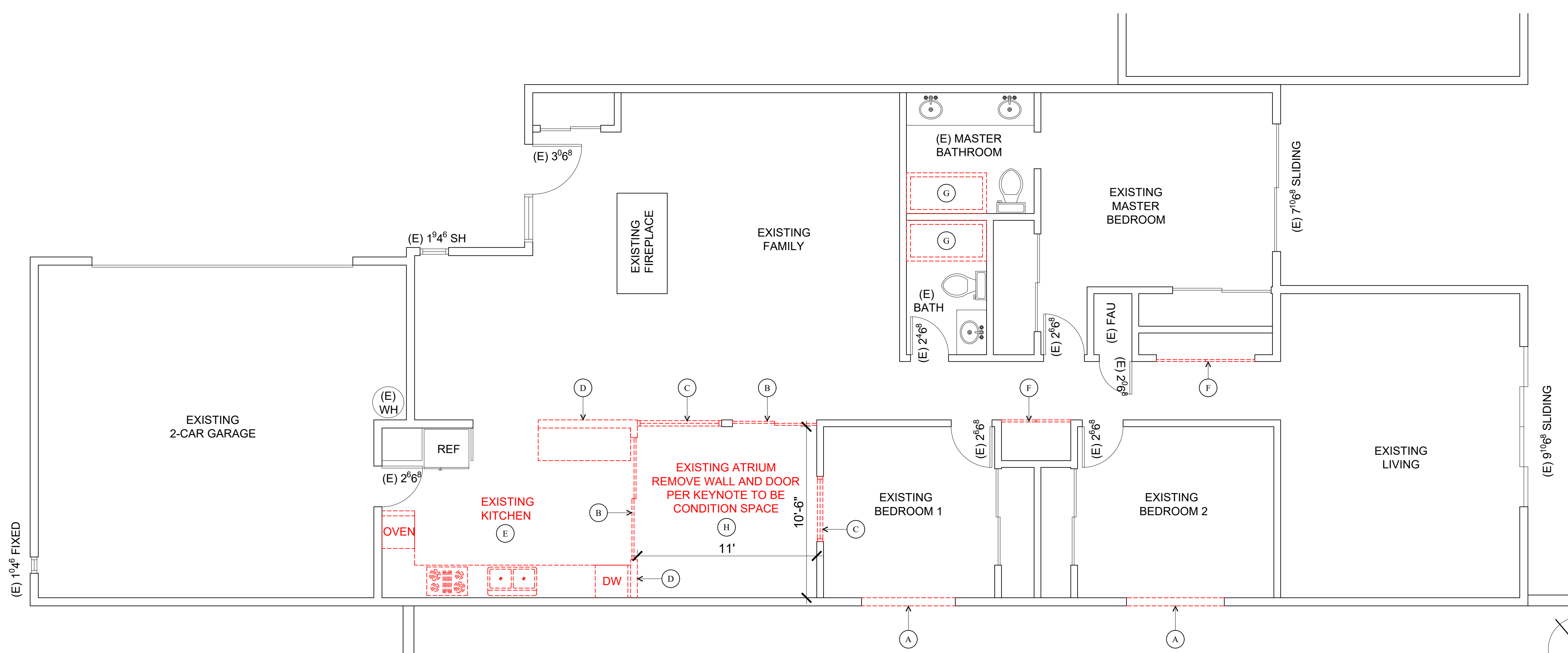
1ST FLOOR PLAN - PROPOSED

SCALE
1/4"=1'-0"

B

NEW CONSTRUCTION KEYNOTES:

- ① (N) EGRESS WINDOWS, MATERIAL, COLOR AND STYLE TO MATCH EXISTING
- ② (N) INTERIOR WALL INFILL
- ③ (N) KITCHEN COUNTER / CABINET AND APPLIANCE
- ④ (N) UTILITY SINK
- ⑤ (N) WASHER / DRYER
- ⑥ (N) COUNTER
- ⑦ (N) WALK-IN SHOWER



1ST FLOOR PLAN - EXISTING

SCALE
1/4"=1'-0"

A

DEMOLITION PLAN KEYNOTES:

- Ⓐ CUT EXISTING WALL TO HAVE NEW WINDOWS
- Ⓑ (E) SLIDING DOOR TO BE REMOVED
- Ⓒ (E) WINDOW TO BE REMOVED
- Ⓓ (E) INTERIOR WALL TO BE REMOVED
- Ⓔ (E) KITCHEN APPLIANCE / CABINET TO BE MOVED, REUSE EXISTING GAS IF POSSIBLE.
- Ⓕ (E) STORAGE CABINET / DOOR TO BE REMOVED
- Ⓖ (E) BATHTUB TO BE REMOVED.
- Ⓗ (E) ENCLOSED ATRIUM, EXTERIOR WALL AND ROOF TO REMAIN, ADDED R-30 INSULATION UNDER THE ROOF AND FIELD VERIFY R-13 INSULATION IN EXISTING EXTERIOR WALL.



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PROFESSIONAL SEAL:
Haoyang Li

NO.	DATE	DESCRIPTION

PROJECT TITLE
**38 SETON RD
IRVINE, CA 92612**

SHEET NAME
FLOOR PLANS

JOB NO: 24012
DATE ISSUED: 04-05-24
DRAWN BY: HL
CHECK BY: HL

SHEET NO:
A-2.1

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Haoyang Li

NO.	DATE	DESCRIPTION

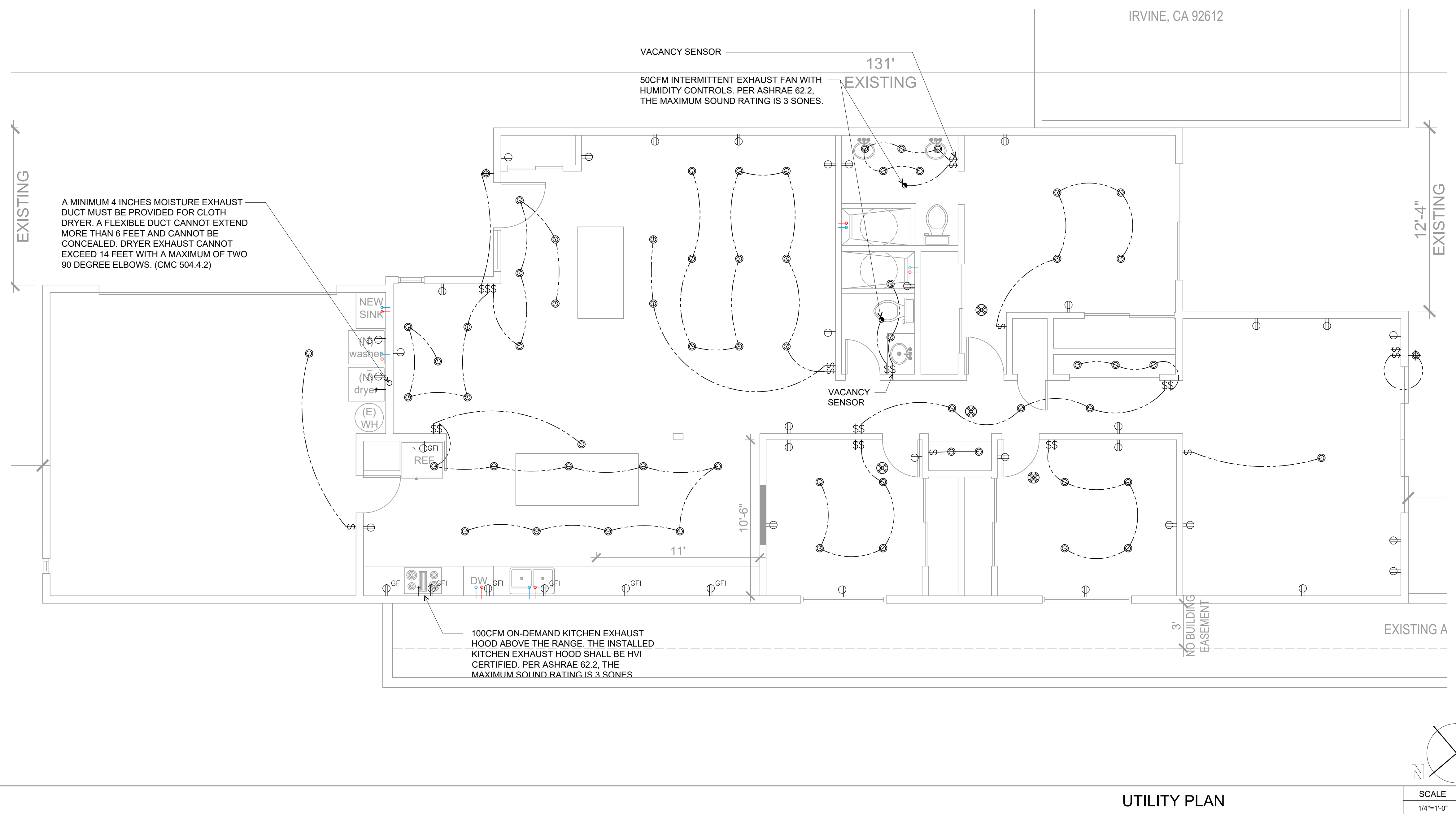
PROJECT TITLE
**38 SETON RD
IRVINE, CA 92612**

SHEET NAME
UTILITY PLAN

JOB NO: 24012
DATE ISSUED: 04-05-24
DRAWN BY: HL
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SHEET NO:
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UTILITY PLAN

SCALE
1/4"=1'-0"

A

- UTILITY PLAN NOTES:
- ALL LIGHT FIXTURES REQUIRED TO BE HIGH EFFICACY - JA8-2019 AND CA ENERGY CODE 150(K) COMPLIANT
 - ALL OUTDOOR LIGHTING MUST BE HIGH EFFICACY. FOR SINGLE FAMILY HOMES LIGHTING MOUNTED TO ANY BUILDING ON THE LOT SHALL BE CONTROLLED BY ONE OF THE FOLLOWING COMBINATIONS:
 - PHOTOCELL AND MOTION SENSOR
 - PHOTOCELL AND TIME SWITCH
 - ASTRONOMICAL TIME CLOCK
 - EMCS WITH FEATURES OF ASTRONOMICAL TIME CLOCK
 - SMOKE ALARMS / CARBON MONOXIDE ALARMS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 217.
 - SMOKE ALARMS / CARBON MONOXIDE DETECTORS SHALL BE "HARD WIRED" AND EQUIPPED WITH BATTERY BACKUP.
 - SMOKE ALARMS / CARBON MONOXIDE SHALL BE INTERCONNECTED SO THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS WITHIN THE DWELLING UNIT.
 - BATHTUB AND SHOWER FLOORS, AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT OF AT LEAST 6 FEET ABOVE THE FLOOR
 - ALL INSTALLED LUMINAIRES SHALL MEET THE REQUIREMENTS OF TABLE 150.0-A PER CEC SECTION 150.0(K)(1)(A)
 - ALL RECESSED DOWNLIGHTS IN CEILINGS SHALL MEET THE FOLLOWING REQUIREMENTS:
 - SHALL BE LISTED AS ZERO CLEARANCE INSULATION CONTACT (IC) BY UNDERWRITERS LABORATORIES OR OTHER NATIONALLY TESTING/RATING LABORATORY.
 - HAVE A LABEL THAT CERTIFIES THE LUMINAIRE IS AIRTIGHT WITH AIR LEAKAGE LESS THAN 2.0 CFM AT 75 PASCALS WHEN TESTED IN ACCORDANCE WITH ASTM E283.
 - BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING, AND SHALL HAVE ALL AIR LEAK PATHS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SEALED WITH A GASKET OR CAULK.
 - ALLOW BALLAST OR DRIVER MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW THE CEILING WITHOUT REQUIRING THE CUTTING OF HOLES IN THE CEILING.
 - SHALL NOT CONTAIN SCREW-BASED SOCKETS.
 - A MINIMUM OF FOUR BRANCH CIRCUITS SHALL BE IDENTIFIED AND HAVE THEIR SOURCE OF SUPPLY COLLOCATED AT A SINGLE PANELBOARD SUITABLE TO BE SUPPLIED BY THE ESS. AT LEAST ONE CIRCUIT SHALL SUPPLY THE REFRIGERATOR, ONE LIGHTING CIRCUIT SHALL BE LOCATED NEAR THE PRIMARY EGRESS AND AT LEAST ONE CIRCUIT SHALL SUPPLY A SLEEPING ROOM RECEPTACLE OUTLET.
 - A DEDICATED 240 VOLT BRANCH CIRCUIT WIRING SHALL BE INSTALLED WITHIN 3 FEET FROM THE COOKTOP AND ACCESSIBLE TO THE COOKTOP WITH NO OBSTRUCTIONS. THE BRANCH CIRCUIT CONDUCTORS SHALL BE RATED AT 50 AMPS MINIMUM. THE BLANK COVER SHALL BE IDENTIFIED AS "240V READY." ALL ELECTRICAL COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR THE INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE ELECTRIC COOKTOP INSTALLATION. THE RESERVED SPACE SHALL BE PERMANENTLY MARKED AS "FOR FUTURE 240V USE."
 - A DEDICATED 240 VOLT BRANCH CIRCUIT WIRING SHALL BE INSTALLED WITHIN 3 FEET FROM THE CLOTHES DRYER LOCATION AND ACCESSIBLE TO THE CLOTHES DRYER LOCATION WITH NO OBSTRUCTIONS. THE BRANCH CIRCUIT CONDUCTORS SHALL BE RATED AT 30 AMPS MINIMUM. THE BLANK COVER SHALL BE IDENTIFIED AS "240V READY." ALL ELECTRICAL COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR THE INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE ELECTRIC CLOTHES DRYER INSTALLATION. THE RESERVED SPACE SHALL BE PERMANENTLY MARKED AS "FOR FUTURE 240V USE."
 - A MINIMUM OF 50% OF THE LUMINAIRES IN A KITCHEN MUST BE FLUORESCENT OR HIGH EFFICACY.
 - BATHROOMS, GARAGES, LAUNDRY OR UTILITY ROOMS, AND CLOSET MUST HAVE FLUORESCENT OR HIGH EFFICACY LIGHTING, AND AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES MUST BE CONTROLLED BY A VACANCY SENSOR.
 - BEDROOMS, LIVING ROOMS, FAMILY ROOMS, KITCHEN AND OTHER ROOMS USED FOR LIVING AND SLEEPING MUST HAVE FLUORESCENT OR HIGH EFFICACY LIGHTING, OR AN OCCUPANT SENSOR, AND DIMMERS MUST BE INSTALLED.
 - EXTERIOR LIGHTING MUST BE FLUORESCENT OR HIGH EFFICACY, OR AN OCCUPANT SENSOR WITH AN INTEGRAL PHOTO CONTROL MAY BE INSTALLED.

BUILDING ENERGY ANALYSIS REPORT

PROJECT:

HOUSE ADDITION
38 SETON RD.,
IRVINE, CA 92612

Project Designer:

RCD PARTNERS
8 CORPORATE PARK #100
Irvine, ca 92606
310-634-9065

Report Prepared by:

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Job Number:

240759

Date:

8/14/2024

The EnergyPro computer program has been used to perform the calculations summarized in this compliance report. This program has approval and is authorized by the California Energy Commission for use with both the Residential and Nonresidential 2022 Building Energy Efficiency Standards. This program developed by EnergySoft, LLC - www.energysoft.com.

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RESIDENTIAL MEASURES SUMMARY

Table with columns: Building Name, Project Address, Construction Type, Cavity, Area, Special Features, Status. Includes details for HOUSE ADDITION at 38 SETON RD., IRVINE.

FENESTRATION table with columns: Orientation, Area, U-Fac, SHGC, Overhang, Sidelights, Exterior Shades, Status. Includes values for Left (NW), Rear (NE), Right (SE), Front (SW).

HVAC SYSTEMS table with columns: Qty, Heating, Cooling, Duct Location, R-Value, Thermostat, Status. Includes Gas Central Furnace.

HVAC DISTRIBUTION table with columns: Location, Heating, Cooling, Duct Location, R-Value, Status. Includes FAU & A/C.

WATER HEATING table with columns: Qty, Type, Gallons, Min. Eff, Distribution, Status.

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2022 Single-Family Residential Mandatory Requirements Summary

NOTE: Single-family residential buildings subject to the Energy Codes must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information.

- § 110.6(a): Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 CFM per square foot or less when tested per NFRC-400, ASTM E283, or AAMA WDMA/CA 1011.5.2/A440-2011.
§ 110.6(a)(5): Labeling. Fenestration products and exterior doors must have a label meeting the requirements of § 110.11(a).
§ 110.6(b): Field-fabricated exterior doors and fenestration products must use U-factors and solar heat gain coefficient (SHGC) values from Tables 110.6-A, 110.6-B, or J44.5 for exterior doors. They must be caulked and/or weather-stripped.
§ 110.7: Air Leakage. All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be caulked, gasketed, or weather-stripped.
§ 110.8(a): Insulation Certification by Manufacturers. Insulation must be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (BHGS).
§ 110.8(b): Insulation Requirements for Heated Slab Floors. Heated slab floors must be insulated per the requirements of § 110.8(g).
§ 110.8(c): Roofing Products Solar Reflectance and Thermal Emittance. The thermal emittance and aged solar reflectance values of the roofing material must meet the requirements of § 110.8(i) and be labeled per §10-113 when the installation of a cool roof is specified on the CFIR.
§ 110.8(d): Radiant Barrier. When required, radiant barriers must have an emittance of 0.05 or less and be certified to the Department of Consumer Affairs.
§ 150.0(a): Roof Deck, Ceiling and Rafters. Roof decks in newly constructed attics in climate zones 4 and 16 are area-weighted average U-factor not exceeding U-0.184. Ceiling and other roofs minimum R-22 insulation in wood-frame ceiling, or area-weighted average U-factor must not exceed 0.043. Rafters roof alterations minimum R-19 or area-weighted average U-factor of 0.054 or less. Attic access doors must have permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in direct contact with a roof or ceiling which is sealed to limit infiltration and exfiltration, as specified in § 110.7, including but not limited to placing insulation either above or below the roof deck or on top of a drywall ceiling.
§ 150.0(b): Loose-fill Insulation. Loose fill insulation must meet the manufacturer's required density for the labeled R-value.
§ 150.0(c): Wall Insulation. Minimum R-13 insulation in 2x4 inch wood framing walls that have a U-factor of 0.102 or less, or R-20 in 2x6 inch wood framing or have a U-factor of 0.071 or less. Cavity non-faced assemblies must have an overall assembly U-factor not exceeding 0.102. Masonry walls must meet Tables 150.1-A or B.
§ 150.0(d): Raised-floor Insulation. Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor.
§ 150.0(e): Slab Edge Insulation. Slab edge insulation must meet all of the following: have a water absorption rate, for the insulation material alone without facings, no greater than 0.3 percent; have a water vapor permeance no greater than 2.0 perm per inch; be protected from physical damage and UV light deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.8(g).
§ 150.0(f): Vapor Retarder. In climate zones 1 through 16, the earth floor of unvented crawl space must be covered with a Class I or Class II vapor retarder. This requirement also applies to controlled ventilation crawl space for buildings complying with the exception to § 150.0(d).
§ 150.0(g): Vapor Retarder. In climate zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of all insulation in all exterior walls, vertical attics, and unvented attics with air-permeable insulation.
§ 150.0(h): Fenestration Products. Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must have a maximum U-factor of 0.45; or area-weighted average U-factor of all fenestration must not exceed 0.45.
Fireplaces, Decorative Gas Appliances, and Gas Log:
§ 110.5(e): Pilot Light. Continuously burning pilot lights are not allowed for indoor and outdoor fireplaces.
§ 150.0(e): Closable Doors. Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the firebox.
§ 150.0(e): Combustion Intake. Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches in area and is equipped with a readily accessible, operable, and light-fitting damper or combustion-air control device.
§ 150.0(e): Flue Damper. Masonry or factory-built fireplaces must have a flue damper with a readily accessible control.
Space Conditioning, Water Heating, and Plumbing System:
§ 110.0-110.3: Certification. Heating, ventilation, and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other regulated appliances must be certified by the California Energy Commission.
§ 110.2(a): HVAC Efficiency. Equipment must meet the applicable efficiency requirements in Table 110.2-A through Table 110.2-N.
§ 110.2(b): Controls for Heat Pumps with Supplementary Electric Resistance Heaters. Heat pumps with supplementary electric resistance heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; and in which the cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating; and the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating.
§ 110.2(c): Thermostats. All heating or cooling systems not controlled by a central energy management control system (EMCS) must have a setback thermostat.
§ 110.3(a): Insulation. Unfired service water heater storage tanks and solar water-heating backup tanks must have adequate insulation, or tank surface heat loss rating.
§ 110.3(b): Isolation Valves. Instantaneous water heaters with an input rating greater than 6.8 kBtu per hour (2 kW) must have isolation valves with hose bibbs or other fittings on both cold and hot water lines to allow for flushing the water heater when the valves are closed.
§ 110.3(c):

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- § 110.5: Pilot Lights. Continuously burning pilot lights are prohibited for natural gas, fan-type central furnaces, household cooking appliances (except appliances without an electrical supply voltage connection with pilot lights that consume less than 150 Btu per hour), and pool and spa heaters.
§ 150.0(a): Building Cooling and Heating Loads. Heating and/or cooling loads are calculated in accordance with the ASHRAE Handbook, Equipment Volume, Applications Volume, and Fundamentals Volume, and the SMACNA Residential Comfort System Installation Standards Manual or the ACCA Manual J using design conditions specified in § 150.0(h).
§ 150.0(a)(3A): Clearances. Air conditioner and heat pump outdoor condensing units must have a clearance of at least five feet from the outlet of any dryer.
§ 150.0(a)(3B): Liquid Line Drier. Air conditioners and heat pump systems must be equipped with liquid line filter driers if required, as specified by the manufacturer's instructions.
§ 150.0(a): Water Piping, Solar Water-heating System Piping, and Space Conditioning System Line Insulation. All domestic hot water piping must be insulated as specified in § 609.11 of the California Plumbing Code.
§ 150.0(a): Insulation Protection. Piping insulation must be protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind as required by § 120.3(b). Insulation exposed to weather must be water resistant and protected from UV light (no adhesive tapes). Insulation covering chilled water piping and refrigerant suction piping located outside the conditioned space must include, or be protected by, a Class I or Class II vapor retarder. Pipe insulation buried below grade must be installed in a waterproof and non-crackable casing or sleeve.
§ 150.0(a): Gas or Propane Water Heating Systems. Systems using gas or propane water heaters to serve individual dwelling units must designate a space at least 2'5" x 2'5" x 7' suitable for the future installation of a heat pump water heater, and meet electrical and plumbing requirements, based on the distance between this designated space and the water heater location, and a condensate drain no more than 2' higher than the base of the water heater.
§ 150.0(a): Solar Water-heating Systems. Solar water-heating systems and collectors must be certified and rated by the Solar Rating and Certification Corporation (SRCC), the International Association of Plumbing and Mechanical Officials, Research and Testing (IAPMO R&T), or a listing agency that is approved by the executive director.

Ducts and Fans:

- § 110.0(a)(3): Ducts. Insulation installed on an existing space-conditioning duct must comply with § 604.0 of the California Mechanical Code (CMC). If a contractor installs the insulation, the contractor must certify to the customer, in writing, that the insulation meets this requirement.
CMC Compliance. All air-distribution system ducts and plenums must meet CMC §§ 601.0-605.0 and ANSI/SMACNA-006-2006 HVAC Duct Construction Standards Metal and Flexible 3rd Edition. Portions of supply-air and return-air ducts and plenums must be insulated to R-6 or higher; ducts located entirely in conditioned space as confirmed through field verification and diagnostic testing (RA.3.1.4.3.8) do not require insulation. Connections of metal ducts and inner cores of flexible ducts must be mechanically fastened. Openings must be sealed with mastic, tape, or other duct-closure system that meets the applicable UL requirements, or aerosol sealant that meets UL 723. The combination of mastic and either mesh or tape must be used to seal openings greater than 1/2". If mastic or tape is used. Building cavities, air handler support platforms, and plenums designed or constructed with materials other than sealed sheet metal, duct board or flexible duct must not be used to convey conditioned air. Building cavities and support platforms may contain ducts, ducts installed in these spaces must not be compressed.
§ 150.0(a)(2): Factory-Fabricated Duct Systems. Factory-fabricated duct systems must comply with applicable requirements for duct construction, connections, and closures; joints and seams of duct systems and their components must not be sealed with comb-back rubber adhesive duct tapes unless such tapes are used in combination with mastic and drain bands.
§ 150.0(a)(3): Field-Fabricated Duct Systems. Field-fabricated duct systems must comply with applicable requirements for: pressure-sensitive tapes, mastic, sealants, and other requirements specified for duct construction.
§ 150.0(a)(7): Backdraft Damper. Fan systems that exchange air between the conditioned space and outdoors must have backdraft or automatic dampers.
§ 150.0(a)(8): Gravity Ventilation Dampers. Gravity ventilating systems serving conditioned space must have either automatic or readily accessible, manually operated dampers in all openings to the outside, except combustion inlet and outlet air openings and elevator shaft vents.
§ 150.0(a)(9): Protection of Insulation. Insulation must be protected from damage due to sunlight, moisture, equipment maintenance, and wind. Insulation exposed to weather must be suitable for outdoor service (e.g., protected by aluminum, steel metal, painted canvas, or plastic cover). Cellular foam insulation must be protected as above or painted with a water resistant and solar radiation-resistant coating.
§ 150.0(a)(10): Porous Inner Core Flex Duct. Porous inner cores of flex ducts must have a non-porous layer of air barrier between the inner core and outer vapor barrier.
§ 150.0(a)(11): Duct System Sealing and Leakage Test. When space conditioning systems use forced air duct systems to supply conditioned air to an occupiable space, the ducts must be sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in accordance with Reference Residential Appendix RA.3.1.
Air Filtration. Space conditioning systems with ducts exceeding 10 feet and the supply side of ventilation systems must have MERV 13 or equivalent filters. Filters for space conditioning systems must have a two inch depth or can be one inch if sized per Equation 150.0-A. Clean-filter pressure drop and labeling must meet the requirements in §150.0(m)12. Filters must be accessible for regular service. Filter racks or gaskets must use gaskets, sealing, or other means to close gaps around the inserted filters to prevent air from bypassing the filter.

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- § 150.0(m)13: Space Conditioning System Airflow Rate and Fan Efficacy. Space conditioning systems that use ducts to supply cooling must have a hole for the placement of a static pressure probe, or a permanently installed static pressure probe in the supply plenum. Airflow must be ≥ 300 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≥ 0.45 watts per CFM for gas furnace air handlers and ≤ 0.58 watts per CFM for all others. Small duct high velocity systems must provide an airflow ≥ 250 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≥ 0.62 watts per CFM. Field verification testing is required in accordance with Reference Residential Appendix RA.3.3.

Ventilation and Indoor Air Quality:

- § 150.0(a)(1): Requirements for Ventilation and Indoor Air Quality. All dwelling units must meet the requirements of ASHRAE Standard 62.2, Ventilation and Acceptable Indoor Air Quality in Residential Buildings subject to the amendments specified in § 150.0(a).
§ 150.0(a)(1B): Central Fan Integrated (CFI) Ventilation Systems. Continuous operation of CFI air handlers is not allowed to provide the whole-dwelling unit ventilation airflow required per §150.0(a)(1C). A motorized damper(s) must be installed on the ventilation duct(s) that prevents all airflow through the space conditioning duct system when the damper(s) is closed and controlled per §150.0(a)(1)(B)(i). CFI ventilation systems must have controls that track outdoor air ventilation run time, and either open or close the motorized damper(s) for compliance with §150.0(a)(1C).
§ 150.0(a)(1C): Whole-Dwelling Unit Mechanical Ventilation for Single-Family Detached and Townhouses. Single-family detached dwelling units, and attached dwelling units not sharing ceilings or floors with other dwelling units, occupiable spaces, public garages, or commercial spaces must have mechanical ventilation airflow specified in § 150.0(a)(1C)(ii).
§ 150.0(a)(1G): Local Mechanical Exhaust. Kitchens and bathrooms must have local mechanical exhaust; nonenclosed kitchens must have demand-controlled exhaust system meeting requirements of §150.0(a)(1)(G)(i) and enclosed kitchens and bedrooms can use demand-controlled or continuous exhaust meeting §150.0(a)(1)(G)(ii)-(v). Airflow must be measured by the installer per §150.0(a)(1)(G), and rated for sound per §150.0(a)(1)(G)(v).
§ 150.0(a)(1)(H): Airflow Measurement and Sound Ratings of Whole-Dwelling Unit Ventilation Systems. The airflow required per § 150.0(a)(1)(C) must be measured by using a flow hood, flow grid, or other airflow measuring device at the fan's inlet or outlet terminals/grilles per Reference Residential Appendix RA.3.7. Whole-Dwelling unit ventilation systems must be rated for sound per ASHRAE 62.2 §7.2 at no less than the minimum airflow rate required per §150.0(a)(1)(C).
§ 150.0(a)(2): Field Verification and Diagnostic Testing. Whole-Dwelling Unit Ventilation airflow, vented range hood airflow and sound rating, and HRV and ERV fan efficacy must be verified in accordance with Reference Residential Appendix RA.3.7. Vented range hoods must be verified per Reference Residential Appendix RA.3.7.4.3 to confirm if it is rated by HVI or AHAM to comply with the airflow rates and sound requirements per §150.0(a)(1)(G).

Pool and Spa Systems and Equipment:

- § 110.4(a): Certification by Manufacturers. Any pool or spa heating system or equipment must be certified to have all of the following: compliance with the Appliance Efficiency Regulations and listing in MAEDS; an on-off switch mounted outside of the heater that allows shutting off the heater without adjusting the thermostat setting; a permanent weatherproof plate or card with operating instructions; and must use electric resistance heating.
§ 110.4(b)(1): Piping. Any pool or spa heating system or equipment must be installed with at least 36 inches of pipe between the filter and the heater, or dedicated suction and return lines, or bulk-in or bulk-up connectors to allow for future solar heating.
§ 110.4(b)(2): Covers. Outdoor pools or spas that have a heat pump or gas heater must have a cover.
§ 110.4(b)(3): Directional Inlets and Time Switches for Pools. Pools must have directional inlets that adequately mix the pool water, and a time switch that will allow all pumps to be set or programmed to run only during off-peak electric demand periods.
§ 110.5: Pilot Light. Natural gas pool and spa heaters must not have a continuously burning pilot light.
§ 150.0(p): Pool Systems and Equipment Installation. Residential pool systems or equipment must meet the specified requirements for pump sizing, flow rate, piping, filters, and valves.

Lighting:

- § 110.9: Lighting Controls and Components. All lighting control devices and systems, ballasts, and luminaires must meet the applicable requirements of § 110.9.
§ 150.0(a)(1A): Luminaire Efficacy. All installed luminaires must meet the requirements in Table 150.0-A, except lighting integral to exhaust fans, kitchen range hoods, bath vanity mirrors, and garage door openers; navigation lighting less than 5 watts; and lighting integral to drawers, cabinets, and linen closets with an efficacy of at least 45 lumens per watt.
§ 150.0(a)(1B): Screw-based Luminaires. Screw-based luminaires must contain lamps that comply with Reference Joint Appendix JA8.
§ 150.0(a)(1C): Recessed Downlight Luminaires in Ceilings. Luminaires recessed into ceilings must not contain screw-based sockets, must be airtight, and must be sealed with a gasket or caulk. California Electrical Code § 410.116 must also be met.
§ 150.0(a)(1D): Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.
§ 150.0(a)(1E): Blank Electrical Boxes. The number of electrical boxes that are more than five feet above the finished floor and do not contain a luminaire or other device shall be no more than the number of bedrooms. These boxes must be served by a dimmer, vacancy sensor control, low voltage wiring, or fan speed control.
§ 150.0(a)(1F): Lighting Integral to Exhaust Fans. Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust hoods) must meet the applicable requirements of § 150.0(a).

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- § 150.0(a)(1G): Screw-based luminaires. Screw-based luminaires must contain lamps that comply with Reference Joint Appendix JA8.
§ 150.0(a)(1H): Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.
§ 150.0(a)(1I): Light Sources in Drawers, Cabinets, and Linen Closets. Light sources internal to drawers, cabinetry or linen closets are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided that they are rated to consume no more than 5 watts of power, emit no more than 150 lumens, and are equipped with controls that automatically turn the lighting off when the drawer, cabinet or linen closet is closed.
§ 150.0(a)(2A): Interior Switches and Controls. All forward phase dimmers used with LED light sources must comply with NEMA SSL 7A.
§ 150.0(a)(2B): Interior Switches and Controls. Exhaust fans must be controlled separately from lighting systems.
§ 150.0(a)(2C): Accessible Controls. Lighting must have readily accessible wall-mounted controls that allow the lighting to be manually turned on and off.
§ 150.0(a)(2D): Multiple Controls. Controls must not bypass a dimmer, occupant sensor, or vacancy sensor function if the dimmer or sensor is installed to comply with § 150.0(a).
§ 150.0(a)(2E): Mandatory Requirements. Lighting controls must comply with the applicable requirements of § 110.9.
§ 150.0(a)(2F): Energy Management Control Systems. An energy management control system (EMCS) may be used to comply with dimming, occupancy, and control requirements if it provides the functionality of the specified control per § 110.9 and the physical controls specified in § 150.0(a)(2A).
§ 150.0(a)(2G): Automatic Shut-off Controls. In bathrooms, garages, laundry rooms, utility rooms and walk-in closets, at least one installed luminaire must be controlled by an occupancy or vacancy sensor providing automatic off functionality. Lighting inside drawers and cabinets with opaque fronts or doors must have controls that turn the light off when the drawer or door is closed.
§ 150.0(a)(2F): Dimmers. Lighting in habitable spaces (e.g., living rooms, dining rooms, kitchens, and bedrooms) must have readily accessible wall-mounted dimming controls that allow the lighting to be manually adjusted up and down. Forward phase cut dimmers controlling LED light sources in these spaces must comply with NEMA SSL 7A.
§ 150.0(a)(2C): Independent controls. Integrated lighting of exhaust fans shall be controlled independently from the fans. Lighting under cabinets or shelves, lighting in display cabinets, and switched outlets must be controlled separately from ceiling-installed lighting.
§ 150.0(a)(3A): Residential Outdoor Lighting. For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other buildings on the same lot, must have a manual on/off switch and either a photocell and motion sensor or automatic time switch control or an astronomical time clock. An energy management control system that provides the specified control functionality and meets all applicable requirements may be used to meet these requirements.
§ 150.0(a)(4): Internally Illuminated Address Signs. Internally illuminated address signs must either comply with § 140.8 or consume no more than 5 watts of power.
§ 150.0(a)(5): Residential Garages for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for residential garages in §§ 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0.

Solar Readiness:

- § 110.0(a)(1): Single-family Residences. Single-family residences located in subdivisions with 10 or more single-family residences and where the application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovoltaic system installed, must comply with the requirements of § 110.10(b)(a).
Minimum Solar Zone Area. The solar zone must have a minimum total area as described below. The solar zone must comply with access, pathway, smoke ventilation, and spacing requirements as specified in Table 24, Part 6 or other parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimension less than 5 feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas greater than 10,000 square feet. For single-family residences, the solar zone must be located on the roof or overhang of the building and have a total area no less than 260 square feet.
§ 110.10(b)(1A): Azimuth. All sections of the solar zone located on steep-sloped roofs must have an azimuth between 90-300° of true north.
§ 110.10(b)(2): Shading. The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and roof-mounted equipment.
§ 110.10(b)(3A): Shading. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the horizontal distance of the height difference between the highest point of the obstruction and the horizontal projection of the nearest point of the solar zone, measured in the vertical plane.
§ 110.10(b)(3B): Structural Design Loads on Construction Documents. For areas of the roof designated as a solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents.
§ 110.10(c): Interconnection Pathways. The construction documents must indicate a location reserved for inverters and metering equipment and a pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service; and for single-family residences and central water-heating systems, a pathway reserved for routing plumbing from the solar zone to the water-heating system.
Documentation. A copy of the construction documents of a comparable document indicating the information from § 110.10(b)-(c) must be provided to the occupant.
§ 110.10(d): Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps.
§ 110.10(e): Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit breaker for a future solar electric installation. The reserved space must be permanently marked as "For Future Solar Electric."
Electric and Energy Storage Ready:

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- § 150.0(a): Energy Storage System (ESS) Ready. All single-family residences must meet all of the following: Either ESS-ready interconnection equipment with backed up capacity of 60 amps or more and four or more ESS supplied branch circuits, or a dedicated raceway from the main service to a subpanel that supplies the branch circuits in § 150.0(a); at least four branch circuits must be identified and have their source collocated at a single panelboard suitable to be supplied by the ESS, with one circuit supplying the refrigerator, one lighting circuit near the primary exit, and one circuit supplying a sleeping room receptacle outlet; main panelboard must have a minimum busbar rating of 225 amps; sufficient space must be reserved to allow future installation of a system isolation equipment/transferring switch within 3' of the main panelboard, with receptacles installed between the panelboard and the switch location to allow the connection of backup power source.
§ 150.0(b): Heat Pump Space Heater Ready. Systems using gas or propane furnaces to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the furnace with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready"; and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use."
§ 150.0(c): Electric Cooktop Ready. Systems using gas or propane cooktop to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the cooktop with circuit conductors rated at least 50 amps with the blank cover identified as "240V ready"; and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use."
§ 150.0(d): Electric Clothes Dryer Ready. Clothes dryer locations with gas or propane plumbing to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the dryer location with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready"; and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use."

*Exceptions may apply.

5/6/22

REVISIONS

Table with 2 columns: Description, Date. Empty rows.

JS ENGINEERING, INC.
RESIDENTIAL, COMMERCIAL & INDUSTRIAL
HVAC, PLUMBING, ELECTRICAL
E-mail: josephzhang@jseng.com
410 S. SAN GABRIEL BLVD. #8
SAN GABRIEL, CA 91776
Tel: (626) 497-0558

HOUSE REMODEL
Project:
Address:

38 SETON RD., IRVINE, CA. 92612

STAMP



Date: 08/14/2024
JOB# 240759

T-24-1

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: HOUSE REMODEL Calculation Date/Time: 2024-08-14T17:34:36-07:00 (Page 1 of 9)
 Calculation Description: Title 24 Analysis Input File Name: t-24.rbd22x

01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16	17	18	19	20	21	22	23
Project Name	HOUSE REMODEL																					
Run Title	Title 24 Analysis																					
Project Location	38 SETON RD., IRVINE																					
City	IRVINE																					
Zip code	92612																					
Standards Version	2022																					
Software Version	EnergyPro 9.3																					
Climate Zone	8																					
Front Orientation (deg/ Cardinal)	225																					
Building Type	Single family																					
Number of Dwelling Units	1																					
Project Scope	Addition and/or Alteration																					
Number of Bedrooms	3																					
Number of Stories	1																					
Addition Cond. Floor Area (ft²)	0																					
Existing Cond. Floor Area (ft²)	1953																					
Fenestration Average U-factor	0.3																					
Total Cond. Floor Area (ft²)	1953																					
Glazing Percentage (%)	8.88%																					
ADU Bedroom Count	n/a																					
ADU Conditioned Floor Area	n/a																					
Fuel Type	Natural gas																					
No Dwelling Unit	No																					

01	02	03
Building Complies with Computer Performance	Yes	
Building does not require field testing or HERS verification	Yes	
This building incorporates one or more Special Features shown below	None	

Registration Number: CA Building Energy Efficiency Standards - 2022 Residential Compliance
 Registration Date/Time: Report Version: 2022.0.000 Schema Version: rev 20220901
 HERS Provider: Report Generated: 2024-08-14 17:34:51

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: HOUSE REMODEL Calculation Date/Time: 2024-08-14T17:34:36-07:00 (Page 4 of 9)
 Calculation Description: Title 24 Analysis Input File Name: t-24.rbd22x

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft²)	Window and Door Area (ft²)	TIR (deg)	Wall Exceptions	Status	Verified Existing Condition			
NORTHWEST REMAIN	EXISTING	Default Wall 1992 to Pres	315	Left	709	7.9	90	none	Existing	No			
NORTHEAST REMAIN	EXISTING	Default Wall 1992 to Pres	45	Back	321	112.3	90	none	Existing	No			
SOUTHEAST REMAIN	EXISTING	Default Wall 1992 to Pres	135	Right	709	43.2	90	none	Existing	No			
SOUTHWEST REMAIN	EXISTING	Default Wall 1992 to Pres	225	Front	321	46.7	90	none	Existing	No			

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Zone	Construction	Azimuth	Orientation	Area (ft²)	Skylight Area (ft²)	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Cool Roof	Status	Verified Existing Condition	Existing Construction
Roof Remain	EXISTING	R-30 Roof Cathedral	0	n/a	1953	0	0.1	0.1	0.85	No	Existing	No	

01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Condition		
Window-EX	Window	NORTHWEST REMAIN	Left	315			1	7.9	1.19	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
SLD DR-EX	Window	NORTHEAST REMAIN	Back	45			1	112.3	1.19	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Window-ALT	Window	SOUTHWEST REMAIN	Right	135			1	43.2	0.3	NFRC	0.22	NFRC	Bug Screen	Altered	No

Registration Number: CA Building Energy Efficiency Standards - 2022 Residential Compliance
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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: HOUSE REMODEL Calculation Date/Time: 2024-08-14T17:34:36-07:00 (Page 7 of 9)
 Calculation Description: Title 24 Analysis Input File Name: t-24.rbd22x

01	02	03	04	05	06	07
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Showers Drain Water Heat Recovery
DHW Sys 1 - 1/2	Not Required	Not Required	Not Required	None	Not Required	Not Required

01	02	03	04	05	06	07	08	09	10	11	12
Name	System Type	Heating Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Distribution Name	Required Thermostat Type	Status	Verified Existing Condition	Existing HVAC System
FAU & A/C1	Heating and cooling system other	Heating Component 1	1	Cooling Component 1	1	HVAC Fan 1	Air Distribution System 1	n/a	Existing	No	

01	02	03	04	05
Name	System Type	Number of Units	Heating Efficiency	Heating Unit Brand
Heating Component 1	Central gas furnace	1	AFUE - 80	n/a

01	02	03	04	05	06	07	08	09
Name	System Type	Number of Units	Efficiency Metric	Efficiency EER/SEER/CEER	Efficiency SEER/SEER2	Zonally Controlled	Multi-speed Compressor	HERS Verification
Cooling Component 1	Central split AC	1	EER/SEER	10	13	Not Zonal	Single Speed	Cooling Component 1-hers-cool

Registration Number: CA Building Energy Efficiency Standards - 2022 Residential Compliance
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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: HOUSE REMODEL Calculation Date/Time: 2024-08-14T17:34:36-07:00 (Page 2 of 9)
 Calculation Description: Title 24 Analysis Input File Name: t-24.rbd22x

Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft²-yr)	Standard Design TDV Energy (EDR2) (kTOD/ft²-yr)	Proposed Design Source Energy (EDR1) (kBtu/ft²-yr)	Proposed Design TDV Energy (EDR2) (kTOD/ft²-yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
Space Heating	0	8.87	0	9.26	0	-0.39
Space Cooling	0	41.67	0	41.05	0	0.62
IAQ Ventilation	0	0	0	0	0	0
Water Heating	0	28.54	0	28.54	0	0
Self Utilization/Flexibility Credit	0					
Efficiency Compliance Total	0	79.08	0	78.85	0	0.23
Photovoltaics	0					
Battery	0					
Flexibility	0					
Indoor Lighting	0	6.64	0	6.64		
Appl. & Cooking	0	18.59	0	18.58		
Plug Loads	0	28.55	0	28.55		
Outdoor Lighting	0	1.64	0	1.64		
TOTAL COMPLIANCE	0	134.5	0	134.26		

Registration Number: CA Building Energy Efficiency Standards - 2022 Residential Compliance
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 HERS Provider: Report Generated: 2024-08-14 17:34:51

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: HOUSE REMODEL Calculation Date/Time: 2024-08-14T17:34:36-07:00 (Page 5 of 9)
 Calculation Description: Title 24 Analysis Input File Name: t-24.rbd22x

01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Condition		
Window-EX 2	Window	SOUTHWEST REMAIN	Front	225			1	10	1.19	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No

01	02	03	04	05	06
Name	Side of Building	Area (ft²)	U-factor	Status	Verified Existing Condition
Door-EX	SOUTHWEST REMAIN	36.7	0.5	Existing	No

01	02	03	04	05	06	07	08	09	10
Name	Zone	Area (ft²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated	Status	Verified Existing Condition
Slab-on-Grade Remain	EXISTING	1953	0.1	none	0	80%	No	Existing	No

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
Default Wall 1992 to Pres	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-13	None / None	0.101	Inside Finish: Gypsum Board Cavity / Frame: R-13 / 2x4 Exterior Finish: 3 Coat Stucco

Registration Number: CA Building Energy Efficiency Standards - 2022 Residential Compliance
 Registration Date/Time: Report Version: 2022.0.000 Schema Version: rev 20220901
 HERS Provider: Report Generated: 2024-08-14 17:34:51

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: HOUSE REMODEL Calculation Date/Time: 2024-08-14T17:34:36-07:00 (Page 8 of 9)
 Calculation Description: Title 24 Analysis Input File Name: t-24.rbd22x

01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Type	Design Type	Duct Ins. R-value	Return R-value	Duct Location	Surface Area	Bypass Duct	Duct Leakage	HERS Verification	Status	Verified Existing Condition	Existing Distribution system	New Ducts >= 25 ft		
Air Distribution System 1	Conditioned space-entirely	Non-Verified	R-6	R-6	Conditioned zone	n/a	n/a	No Bypass Duct	Existing (not specified)	Existing	No		n/a		

01	02	03	04
Name	Type	Fan Power (Watts/CFM)	Name
HVAC Fan 1	HVAC Fan	0.58	HVAC Fan 1-hers-fan

01	02	03
Name	Verified Fan Watt Draw	Required Fan Efficiency (Watts/CFM)
HVAC Fan 1-hers-fan	Not Required	0

HERS RATER VERIFICATION OF EXISTING CONDITIONS

Registration Number: CA Building Energy Efficiency Standards - 2022 Residential Compliance
 Registration Date/Time: Report Version: 2022.0.000 Schema Version: rev 20220901
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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: HOUSE REMODEL Calculation Date/Time: 2024-08-14T17:34:36-07:00 (Page 3 of 9)
 Calculation Description: Title 24 Analysis Input File Name: t-24.rbd22x

Energy Use Intensity	Standard Design (kBtu/ft²-yr)	Proposed Design (kBtu/ft²-yr)	Compliance Margin (kBtu/ft²-yr)	Margin Percentage
Gross EUI¹	21.24	21.26	-0.02	-0.09
Net EUI²	21.24	21.26	-0.02	-0.09

Notes:
 1. Gross EUI is Energy Use Total (not including PV) / Total Building Area.
 2. Net EUI is Energy Use Total (including PV) / Total Building Area.

REQUIRED SPECIAL FEATURES
 The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.
 * Non-standard duct location (any location other than attic)

01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
HOUSE REMODEL	1953	1	3	1	0	1

01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft²)	Avg. Ceiling Height	Water Heating System 1	Status
EXISTING	Conditioned	FAU & A/C1	1953	8	DHW Sys 1	Existing Unchanged

Registration Number: CA Building Energy Efficiency Standards - 2022 Residential Compliance
 Registration Date/Time: Report Version: 2022.0.000 Schema Version: rev 20220901
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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: HOUSE REMODEL Calculation Date/Time: 2024-08-14T17:34:36-07:00 (Page 6 of 9)
 Calculation Description: Title 24 Analysis Input File Name: t-24.rbd22x

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-30 Roof Cathedral	Cathedral Ceilings	Wood Framed Ceiling	2x12 @ 16 in. O. C.	R-30	None / None	0.036	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/Sheathing/Decking Cavity / Frame: R-30 / 2x12 Inside Finish: Gypsum Board

01	02	03	04	05
Quality Insulation Installation (QII)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50	CFM50
Not Required	Not Required	N/A	n/a	n/a

01	02	03	04	05	06	07	08	09	10	11	12
Name	System Type	Distribution Type	Water Heater Name	Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (#)	Status	Verified Existing Condition	Existing Water Heating System
DHW Sys 1	Domestic Hot Water (DHW)	Standard	DHW Heater 1	1	n/a	None	n/a	DHW Heater 1 (1)	Existing	No	

01	02	03	04	05	06	07	08	09	10	11	12	13	14	15
Name	Heating Element Type	Tank Type	# of Units	Tank Vol. (gal)	Heating Efficiency Type	Efficiency	Rated Input Type	Input Rating or Pilot	Tank Insulation R-value (Int/Ext)	Standby Loss or Recovery Eff	1st Hr. Rating or Flow Rate	Tank Location	Status	Verified Existing Condition
DHW Heater 1	Gas	Small Storage	1	50	EF	0.58	Btu/Hr	75000	0	78	n/a	Existing	No	

Registration Number: CA Building Energy Efficiency Standards - 2022 Residential Compliance
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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: HOUSE REMODEL Calculation Date/Time: 2024-08-14T17:34:36-07:00 (Page 9 of 9)
 Calculation Description: Title 24 Analysis Input File Name: t-24.rbd22x

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT	
I, certify that this Certificate of Compliance documentation is accurate and complete.	
Documentation Author Name: JOSEPH ZHANG	Documentation Author Signature: [Signature]
Signature Date: 8/14/2024	CEA/HERS Certification Identification (if applicable): M34617
Address: 410 S. SAN GABRIEL BLVD. #8	Phone: 626-497-0558
City/State/Zip: SAN GABRIEL, CA 91776	

PROFESSIONAL SEAL:

Haoyang Li

NO.	DATE	DESCRIPTION

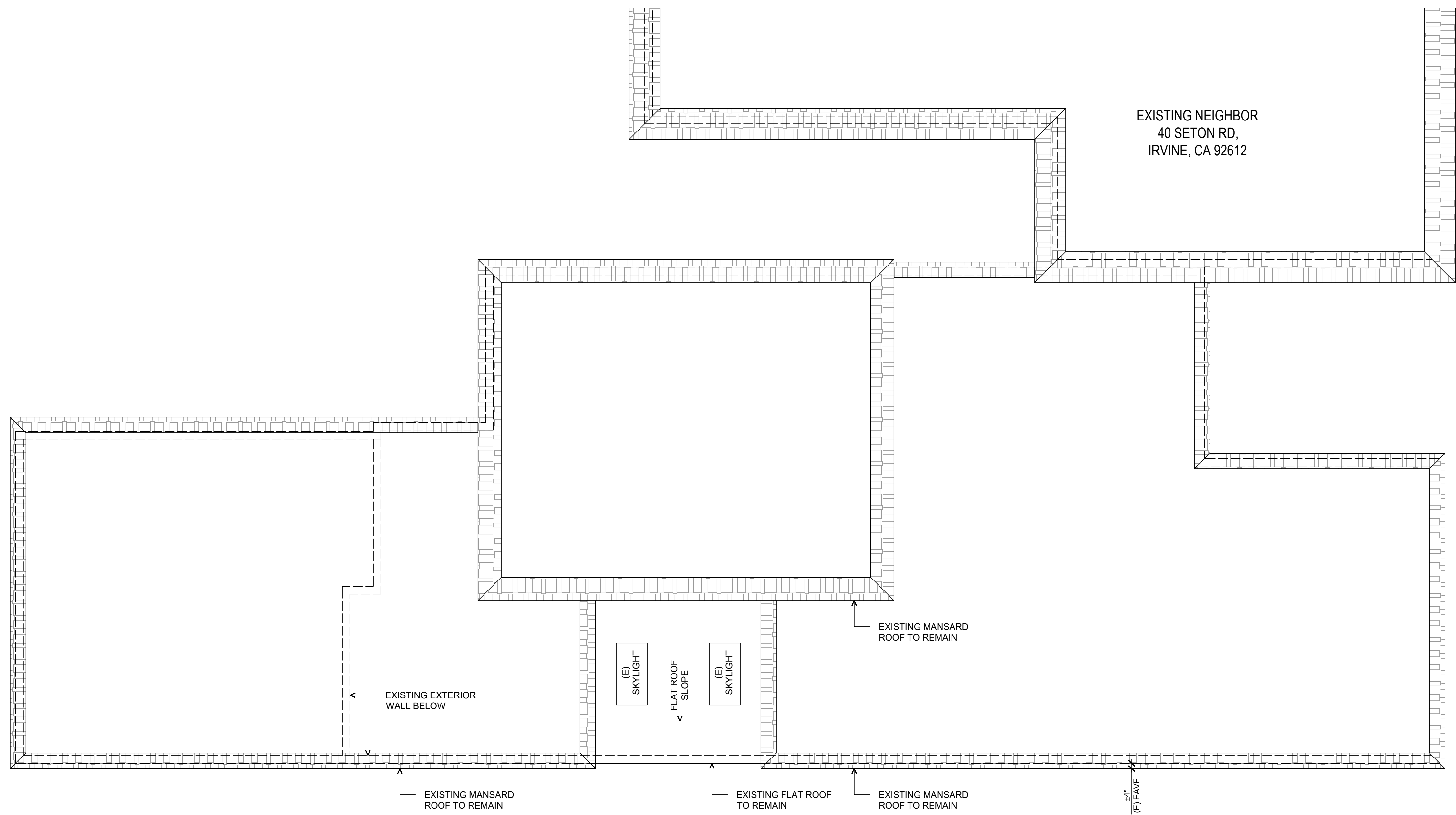
PROJECT TITLE
**38 SETON RD
IRVINE, CA 92612**

SHEET NAME
**EXISTING ROOF
PLAN**

JOB NO: 24012
DATE ISSUED: 04-05-24
DRAWN BY: HL
CHECK BY: HL

SHEET NO:
A-2.3

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EXISTING NEIGHBOR
40 SETON RD,
IRVINE, CA 92612

EXISTING ROOF PLAN

SCALE
1/4"=1'-0"

N

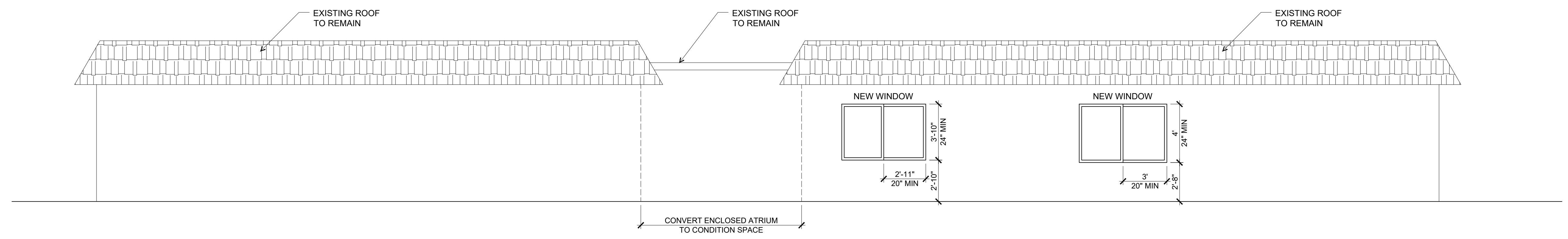
A

1. OTHER ELEVATIONS KEEP THE SAME.
2. NEW WINDOWS FRAME, MATERIAL, COLOR AND STYLE TO MATCH EXISTING.



8 Corporate Park # 100
Irvine, CA 92606
T 310.634.9065

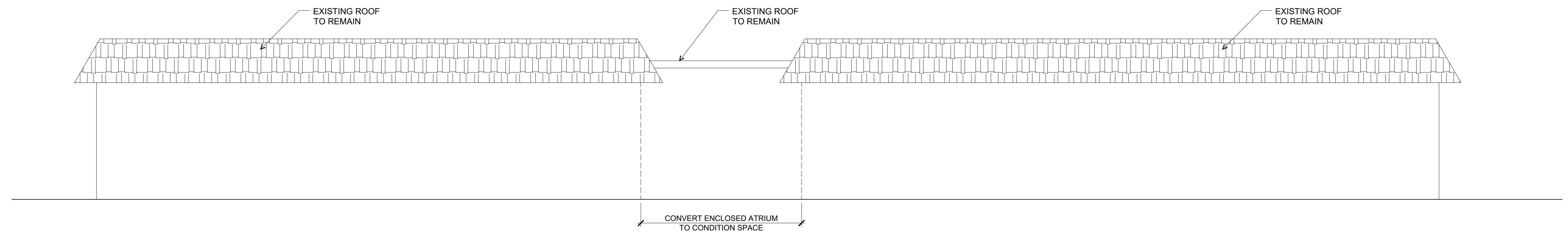
PROFESSIONAL SEAL:
Haoyang Li



NEW PROPOSED ELEVATION

SCALE
1/4"=1'-0"

A



EXISTING ELEVATION

SCALE
1/4"=1'-0"

A

NO.	DATE	DESCRIPTION

PROJECT TITLE
**38 SETON RD
IRVINE, CA 92612**

SHEET NAME
**EXTERIOR
ELEVATION**

JOB NO: 24012
DATE ISSUED: 04-05-24
DRAWN BY: HL
CHECK BY: HL

SHEET NO:
A-3.1

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REGIONAL OFFICE

26052 GETTY DRIVE
LAGUNA NIGUEL, CALIF. 92677
714-261-2610

APPLICATION FOR PLUMBING PERMIT

COUNTY OF ORANGE BUILDING AND SAFETY

MAILING ADDRESS

P.O. BOX 418

SANTA ANA, CALIFORNIA 92702

MAIN OFFICE

400 CIVIC CENTER DRIVE WEST
SANTA ANA, CALIFORNIA 92701
714-834-2626

1

*2585's
City of Irvine*

BUILDING ADDRESS **4285 Seton**

TOWN OR AREA **Irvine City**

NEAREST CROSS STREET

OWNER **R. Gogolin**

PROPOSED USE **Res** PRESENT USE

TRACT **5788** LOT NO **122**

CONTRACTOR **Pacific Installers**

ADDRESS **7541 Anthony ave**

CITY **Garden Grove** TEL. NO. **839-4770**

State Compensation Ins. Policy No. Exp. Date

PERMIT FEES		
NO.	TYPE OF FIXTURE OR ITEM	FEE
	WATER CLOSET (TOILET)	
	BATH TUB	
	SHOWERSTALL	
	LAVATORY (WASH BASIN)	
	KITCHEN SINK <input type="checkbox"/> GARBAGE DISPOSAL <input type="checkbox"/>	
	LAUNDRY TRAY <input type="checkbox"/> AUTO. WASH. MACH. <input type="checkbox"/>	
1	DISHWASHER	1.75
	SERVICE SINK	
	FLOOR SINK	
	FLOOR DRAIN	
	URINAL	
	DRINKING FOUNTAIN	
	SAND TRAP <input type="checkbox"/> INTERCEPTOR <input type="checkbox"/>	
	SWIMMING POOL FILTER	
	WATER HEATER	
	WATER SOFTENER	
	LAWN SPRINKLERS RES. <input type="checkbox"/> COMM. <input type="checkbox"/>	
	TRAILER HOOK-UP	
	GAS SYSTEM NO. OF OUTLETS LPG <input type="checkbox"/> NAT. <input type="checkbox"/>	
	AUTO. FIRE SPR. SYSTEM	
	MAIN DRAIN	
	HOUSE SEWER (VALUATION)	
	SEPTIC TANK	
	SEEPAGE PIT(S)	
	LEACHING FIELD	
	PERMIT ISSUANCE	3.00

"I certify that the following State Contr. Lic. No. **21898** and Classification **B-1** is in full force and effect".

"I hereby certify I am exempt from Sec. 7031.5 of the Business & Professional Code, Div. 3, Chap. 9, Contractors' License Law under the following section:
Owner - Sec. 7044 (); Minor Work Under \$100 - Sec. 7048 (); or employee working for Wages Only - Sec. 7053 ();
Other _____

"I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workmen's Compensation Laws of California".

"I hereby acknowledge and state that the information I have provided is correct and agree to comply with all County Ordinances and State Laws regulating building construction".

Signature **A. C. Hayes** Date **5/18/76**

INSPECTION RECORD		
APPROVALS	DATE	Inspector's Signature
GROUND WORK - SOIL ONLY		
GROUND WORK WITH WATERPIPE <input type="checkbox"/> GASPIPE <input type="checkbox"/>		
ROUGH PLUMBING		
GAS PIPING TO		
WATER HEATER		
SEPTIC TANK		
SEEPAGE PIT		
SEWER		
GAS TEST		
SPRINKLER SYSTEM		
FINAL		
UTILITY CO NOTIFIED		

BUILDING PERMIT NUMBER **NC** TOTAL FEE \$ **4.75** REC'D BY **A. C. Hayes** OWNER PLAN CHECKED BY:

MAY 21 '76

291,496

VALIDATION

4.75 + 4 3

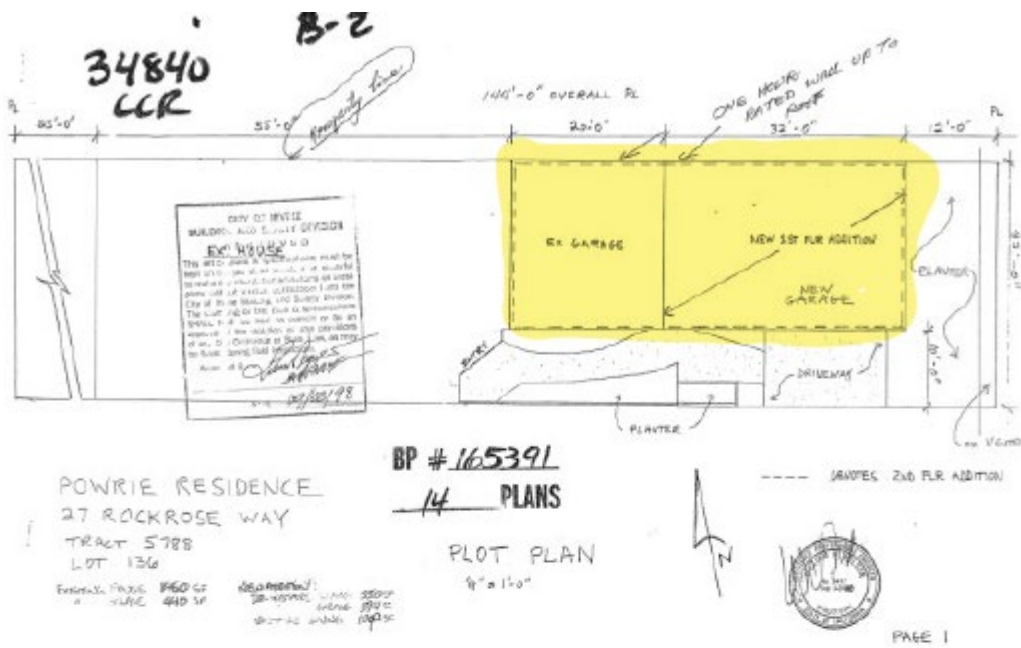
JUL 20 1976

4.75

EXAMPLES OF OTHER RESIDENTIAL UNITS WITHIN TRACT 5788

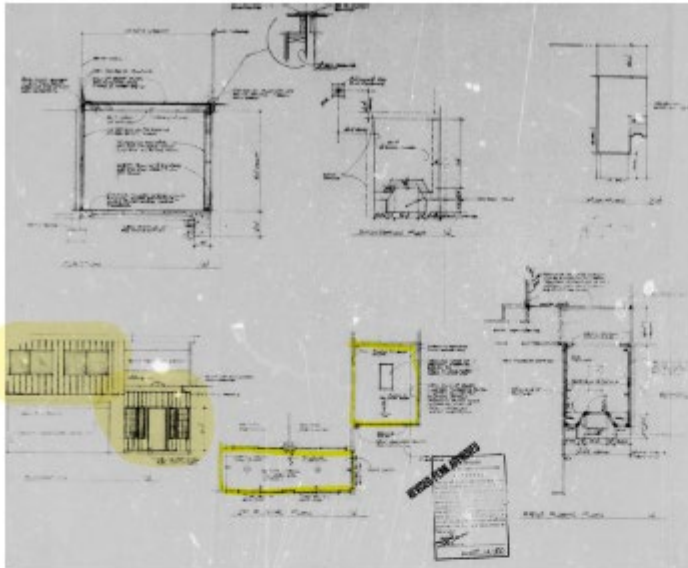
27 Rockrose Way, approved in 1998 (00165391-RBPR)

First story addition and entire second story addition above garage 0-foot setback.

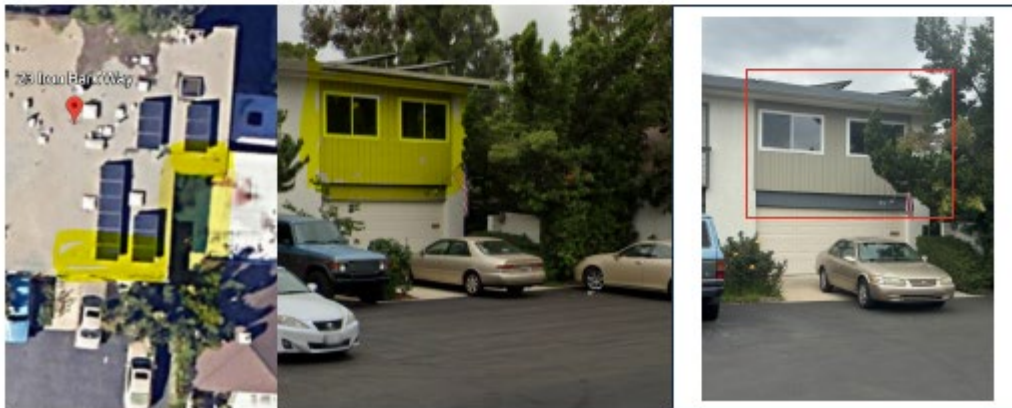
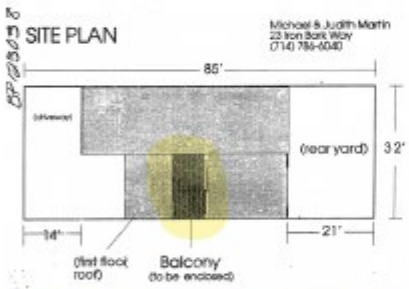


23 Iron Bark Way, approved in 1980 (00041117) and approved in 1992 (00123038-RBPR)

1980- first and second story 0-foot setback



1992 -second story 0-foot setback



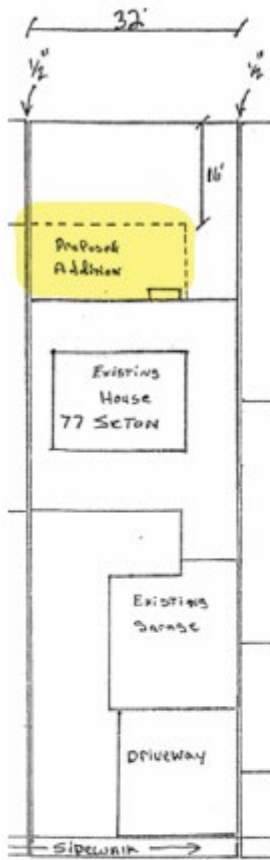
18 Queens Wreath Way, approved in 2001 (00302652-RBPR)

First story 0-foot setback



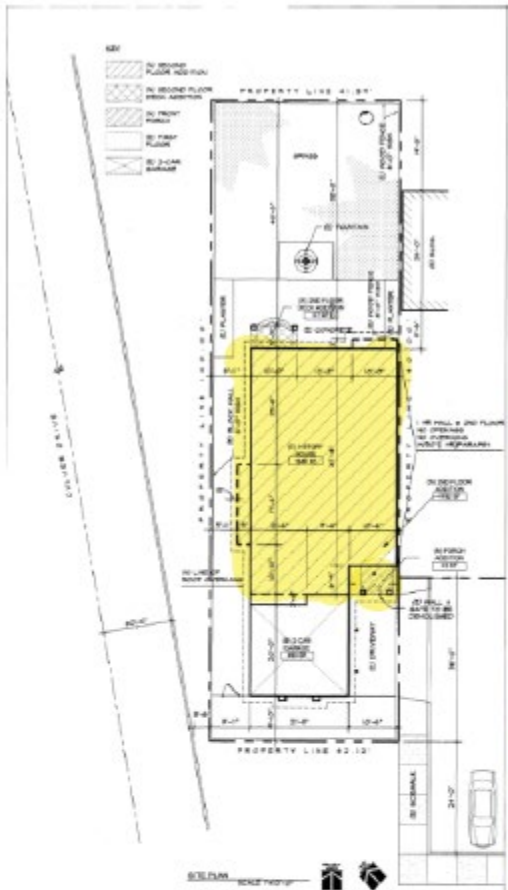
77 Seton Road, approved in 2004 (00358984-RBPR)

First story 0-foot setback



102 Seton Road, approved in 2008 (00464186-RBPR)

First and Second Story 0-foot setback



21 Rockrose Way, approved in 2023 (00920908-RBPR)

Second story 0-foot setback



Adam and Lisa Antoniadis
38 Seton Road
Irvine, CA. 92612
1-858-699-6423
adamantoniades@gmail.com
04/15/26

Siobhan Gumapac-Mcquire

City of Irvine
Community Development
1 Civic Center Plaza, Irvine, CA 92606

Subject: HOA Approval for No Build Easement

Dear Ms. Gumapac-Mcquire:

I am writing to formally request a waiver of the requirement to provide **Homeowners Association (HOA) approval** as a prerequisite for the processing of my setback deviation application for 38 Seton Road.

The intent of this request is to allow the City to first determine the project's consistency with **local zoning** standards. This sequence ensures that the proposal submitted to the HOA is fully compliant with municipal regulations, thereby reducing the likelihood of conflicting design mandates.

As required, I have included the following formal statement on this request and on all submitted project plans:

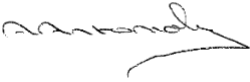
*"The Applicant shall seek formal **HOA approval** subsequent to the City's granting of entitlements. Pursuant to **California law**, the Applicant agrees to **defend, indemnify, and hold harmless** the City, its officers, agents, and employees from any and all claims, actions, or proceedings brought against the City that arise from or are in any way related to the City's approval of this project without prior association consent, including any subsequent denial or non-compliance issues raised by the association."*

I acknowledge that any entitlement granted by the City does not waive my obligation to comply with my association's Covenants, Conditions, and Restrictions (CC&Rs). Furthermore, I understand that if the HOA requires design changes that conflict with the City-approved plans, I will be responsible for obtaining the necessary permit revisions.

ENCLOSURE 6

Thank you for your assistance in moving this application forward.

Sincerely,

A handwritten signature in black ink, appearing to read "Adam Antoniadis", with a long horizontal flourish extending to the right.

Adam Antoniadis

RECORDING REQUESTED BY:

LAW OFFICES OF JOEL T. SHACKELFORD

Attn: Joel T. Shackelford, Esq.

12021 Wilshire Blvd., No. 522

Los Angeles, CA 90025

T: (440) 749-1542

WHEN RECORDED MAIL DOCUMENTS TO:

LAW OFFICES OF JOEL T. SHACKELFORD

Attn: Joel T. Shackelford, Esq.

12021 Wilshire Blvd., No. 522

Los Angeles, CA 90025

APNS: 4287-035-024; 4287-035-025

GRANT OF EASEMENT

THE UNDERSIGNED GRANTOR(S)/GRANTEE(S) DECLARE:

DOCUMENTARY TRANSFER TAX IS \$0.00. CITY TAX IS \$0.00.

computed on full value of property conveyed, or

computed on full value of liens or encumbrances remaining at time of sale

Unincorporated area, or

City of Irvine, CA

Signature of Declaring Grantor or Grantee

This Grant of Easement is made and entered into on this ____ day of July 2025, by and between Adam Nicholas Antoniadis and Lisa Antoniadis, Co-Trustees of the Antoniadis Family Trust dated November 13, 2006 ("Grantee") and David K. Lim and Mary Katherine Lim, Trustees of the David and Mary Katherine Lim Family Trust dated October 12, 2022; Shoshana Dotan, as Trustee of the Shoshana Dotan 2004 Trust; and Design in Modern Homes, Inc., a California corporation (collectively, "Grantors").

Grantee owns, and has fee simple title to, that certain parcel of real property, together with improvements thereon, commonly known as 38 Seton Rd., Irvine, CA 92612 (APN 453-04-444), and legally described as follows:

PARCEL 1:

LOT 122 IN TRACT NO. 5788, IN THE CITY OF IRVINE, COUNTY OF ORANGE, STATE OF CALIFORNIA AS SHOWN ON A MAP RECORDED IN BOOK 216, PAGES 19 TO 27 INCLUSIVE, OR MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING THEREFROM ALL OIL, OIL RIGHTS, MINERALS, MINERAL RIGHTS, NATURAL RIGHTS, AND OTHER HYDROCARBONS BY WHATSOEVER NAME KNOWN, GEOTHERMAL STEAM AND OTHER GEOTHERMAL RESOURCES AS DEFINED IN CALIFORNIA PUBLIC RESOURCES CODE SECTION 6903 ET SEQ., THAT MAY BE WITHIN OR UNDER THE PARCELS OF LAND HEREINABOVE DESCRIBED, TOGETHER WITH THE PERPETUAL RIGHTS OF DRILLING, MINING, EXPLORING AND OPERATING THEREFOR, AND STORING IN AND REMOVING THE SAME FROM SAID LAND OR ANY OTHER LAND, INCLUDING THE RIGHT TO WHIPSTOCK OR DIRECTIONALLY DRILL AND MINE FROM LANDS OTHER THAN THOSE HEREINABOVEDESCRIBED, OIL OR GAS WELLS, TUNNELS AND SHAFTS INTO, THROUGH OR ACROSS

ENCLOSURE 7

SUBSURFACE OF THE LAND HEREINABOVE DESCRIBED, AND TO BOTTOM SUCH WHIPSTOCKED THE OR DIRECTIONALLY DRILLED WELLS, TUNNELS AND SHAFTS UNDER AND BENEATH OR BEYOND THE EXTERIOR LIMITS THEREOF, AND TO REDRILL, RETUNNEL, EQUIP, MAINTAIN, REPAIR, DEEPEN AND OPERATE ANY SUCH WELLS OR MINES WITHOUT, HOWEVER, THE RIGHT TO DRILL, MINE, STORE, EXPLORE AND OPERATE THROUGH THE SURFACE OR THE UPPER 500 FEET OF THE SUBSURFACE OF SAID LAND;

ALSO EXCEPTING THEREFROM ANY AND ALL WATER, RIGHTS OR INTERESTS THEREIN, NO MATTER HOW ACQUIRED BY GRANTOR OR THE IRVINE COMPANY, AND OWNED OR USED BY GRANTOR OR THE IRVINE COMPANY IN CONNECTION WITH OR WITH RESPECT TO THE PARCELS OF LAND HEREINABOVE DESCRIBED, TOGETHER WITH THE RIGHT AND POWER TO TRANSFER OR ASSIGN TO OTHERS, TO EXPLORE, DRILL, REDRILL, REMOVE AND STORE THE SAME FROM SAID LAND OR TO DIVERT OR OTHERWISE UTILIZE SUCH WATER, RIGHTS OR INTERESTS ON ANY OTHER PROPERTY OWNED OR LEASED BY GRANTOR OR THE IRVINE COMPANY, WHETHER SUCH WATER RIGHTS SHALL BE RIPARIAN, OVERLYING, APPROPRIATIVE, LITTORAL, PERCOLATING, PRESCRIPTIVE, ADJUDICATED, STATUTORY OR CONTRACTUAL; BUT WITHOUT, HOWEVER, ANY RIGHT TO ENTER UPON THE SURFACE OF SAID LAND IN THE EXERCISE OF SUCH RIGHTS.

PARCEL 2:

EASEMENTS FOR SUPPORT AND SETTLEMENT WHERE SAID LOT 122 ADJOINS ANY OTHER LOT IN SAID TRACT, TOGETHER WITH EASEMENTS FOR EAVES OR OVERHANGINGS, WHERE SUCH EAVES ARE CONSTRUCTED IN ACCORDANCE WITH APPLICABLE MUNICIPAL ORDINANCES.

PARCEL 3:

AN APPURTENANT NONEXCLUSIVE EASEMENT FOR INGRESS AND EGRESS THROUGHOUT LOT 247.

Said real property of Grantee shall be referred to herein as the "Dominant Tenement."

Grantors own, and have fee simple titles to, those certain parcels of real property, together with improvements thereon, commonly known as (i) 7 Rockrose Way, Irvine, CA 92612 (APN 452-044-49), (ii) 9 Rockrose Way, Irvine, CA 92612 (APN 453-044-50), and (iii) 11 Rockrose Way, Irvine, CA 92612 (APN 453-044-51), and legally described as follows:

7 Rockrose Way, Irvine, CA 92612 (APN 452-044-49):

PARCEL 1:

LOT 126 OF TRACT NO. 5788, IN THE CITY OF IRVINE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 216, PAGES 19 THROUGH 27, INCLUSIVE OF RECORDER OF SAID COUNTY. EXCEPT THEREFROM THE MINERALS, OIL, GAS, AND OTHER HYDROCARBON SUBSTANCES LYING BELOW THE SURFACE OF SAID LAND BUT WITH NO RIGHT OF SURFACE ENTRY.

PARCEL 2:

NON-EXCLUSIVE EASEMENT FOR SUPPORT AND SETTLEMENT WHERE SAID LOT ADJOINS ANY OTHER LOT IN SAID TRACT, TOGETHER WITH EASEMENTS FOR EAVES OR OVERHANDS, WHERE, WITH APPLICABLE MUNICIPAL ORDINANCES.

9 Rockrose Way, Irvine, CA 92612 (APN 453-044-50):

LOT 127 OF TRACT NO. 5788, IN THE CITY OF IRVINE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 216, PAGES 19 THROUGH 27, INCLUSIVE OF RECORDER OF SAID COUNTY. EXCEPT THEREFROM THE MINERALS, OIL, GAS, AND OTHER HYDROCARBON SUBSTANCES, BELOW A DEPTH OF 500 FEET, WITHOUT THE RIGHT OF SURFACE ENTRY, AS RESERVED IN INSTRUMENTS OF RECORD.

PARCEL 2:

EASEMENTS FOR SUPPORT AND SETTLEMENT WHERE SAID LOT 127 ADJOINS ANY OTHER LOT IN SAID TRACT, TOGETHER WITH EASEMENTS FOR EAVES OR OVERHANDS, WHERE SUCH EASES ARE CONSTRUCTED IN ACCORDANCE WITH APPLICABLE MUNICIPAL ORDINANCES.

11 Rockrose Way, Irvine, CA 92612 (APN 453-044-51):

LOT 128 OF TRACT NO. 5788, IN THE CITY OF IRVINE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 216, PAGES 19 THROUGH 27, INCLUSIVE OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 2:

NON-EXCLUSIVCE EASEMENTS FOR SUPPORT AND SETTLEMENT WHERE SAID LOT ADJOINS ANY OTHER LOT IN SAID TRACT, TOGETHER WITH EASEMENTS FOR EAVES OR OVERHANGS, WHERE SUCH CONSTRUCT IN ACCORDANCE WITH APPLICABLE MUNICIPAL ORDINANCE.

Said real properties of the Grantors shall collectively be referred to herein as the "Servient Tenement."

The Dominant Tenement is constructing, or has constructed, emergency egress window openings for two (2) windows in two (2) bedrooms of the easterly portion of the single-family residence currently built on the Dominant Tenement that affects, or will affect, the Servient Tenement. Grantors have allowed, or will allow, for such window openings for a minimum width required to allow egress therefrom onto the portion(s) of land owned by Grantors, subject to an agreement of no building within the Easement Area as more fully described below in this Grant of Easement.

For valid and sufficient consideration duly acknowledged by Grantors, Grantors hereby grant and convey to Grantee a perpetual easement appurtenant to prohibit the construction, placements, and/or maintenance of any structures, or other improvements, with that certain portion of land referred to herein as the "Easement Area" described more particularly described as in EXHIBIT A to EXHIBIT 1 to this Grant of Easement.

The Easement Area is depicted in the marked section of EXHIBIT B to EXHIBIT 1 to this Grant of Easement.

The easement provided by this Grant of Easement shall be for the prohibition of construction and placement of structures within the designated area known as the "Easement Area," the function of which is to preserve the intended use of the Easement Area, and to prevent interference with its purpose.

Grantors, its/their successors, and assigns, and each of them, shall not construct, place, or maintain any structures, or other improvements, within the Easement Area at any time. Neither shall Grantee, or its successors, and assigns, and each of them.

Grantee has inspected the Easement Area and accepts it in its "as-is, where-is" condition. Grantor makes no representations or warranties whatsoever under this Grant of Easement or otherwise with respect to the physical condition of the Easement Area or the suitability of the Easement Area for the uses permitted under this Grant of Easement. This Grant of Easement is subject to all existing contracts, leases, easements, encumbrances, and claims which may affect the Easement Area (whether or not of record) and nothing in this Grant of Easement shall be construed as a covenant against the existence of any such matters.

Grantee shall repair and maintain the Easement Area, and shall keep the Easement Area in a reasonably safe and well-maintained condition. The operation, repair and maintenance of the Easement Area shall be at Grantee's sole cost and expense.

Grantee shall comply at Grantee's sole cost and expense, in its use of and activities within the Easement Area, with all applicable laws, statutes, ordinances, codes, rules, regulations, orders, and applicable judicial decisions or decrees, as presently existing and hereafter amended, including but not limited to all applicable regulatory, environmental and safety requirements, of any federal, state, county, city, local, or other governmental or quasi-governmental authority, entity or body (or any department, agency or other instrumentality thereof), exercising jurisdiction over the Easement Area, and to property and persons on the Easement Area, including those of Grantor that are applicable to the Easement Area.

Grantee shall bear all costs to repair any damage to any improvements on the Servient Tenement now existing or hereafter installed by Grantor, its successor owners, or any other parties having rights over the Servient Tenement, to the extent such damage is caused by or attributable to (i) any construction, maintenance, repair or replacement and any other work in connection with this Easement Agreement, (ii) any other acts or omissions of Grantee or any of its contractors, agents, consultants, representatives, officers, employees, invitees, guests, or licensees (collectively, the "Grantee Parties") or (iii) any exercise of the rights granted herein. Grantee shall promptly repair and restore, at its sole cost and expense, to its previously existing or better condition, any of Grantor's property, including, but not limited to, roads, utilities, and fences, that may be altered, damaged or destroyed in connection with Grantee's or any Grantee Parties' exercise of the Easement or use of the Easement Area

Grantee shall not directly or indirectly create, or permit to be created or remain, and will discharge promptly (not to exceed 30 days from demand by Grantor), any lien (including, without limitation, mechanic's liens), encumbrance, stop notice, or charge upon the

Servient Tenement, arising out of or in connection with Grantee's or any Grantee Parties' activities relating to the subject easement, including any activities performed by a contractor or service provider authorized by Grantee to perform work pursuant to Grantee's rights under the Easement.

Grantee alone shall pay all taxes, charges or use fee(s) levied by any governmental agency against Grantee's interest in the Easement Area, or against any of the Servient Tenement solely as a result of the Easement herein granted

Grantor reserves the right to use the Easement Area, including the surface and subsurface areas within the Easement Area, and all other portions of the Servient Tenement and any improvements thereon, at any and all times for purposes that do not materially interfere with Grantee's permitted use of the Easement Area. Grantor reserves the right to grant easements, licenses and other privileges to any person or entity over, under, upon and with respect to any portion or all of the Easement Area and other portions of the Servient Tenement, so long as such uses and/or improvements do not materially interfere (except for such temporary interference as is expressly permitted under this Easement Agreement) with Grantee's permitted use of the Easement Area

In the event of a dispute arising out of or concerning this Grant of Easement, Grantor and Grantee agree to meet and confer in an attempt to resolve such dispute. If such efforts do not resolve the dispute, such dispute shall then be submitted to an independent mutually agreed upon third party for mediation. To the extent such dispute does not resolve at mediation, the parties shall then arbitrate any such dispute pursuant to the then-existing commercial arbitration rules of the American Arbitration Association before one (1) arbitrator in the County of Orange, State of California, with California choice of law. The prevailing party in such arbitration shall be entitled, in addition to any other applicable relief, to its reasonable attorney's fees and costs in such action to be paid by the non-prevailing party.

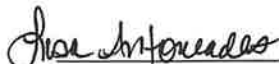
Except as provided herein, this Grant of Easement may be amended, modified, terminated or cancelled, in whole or in part, only by agreement of Grantee and Grantor. No such amendment, modification, termination or cancellation shall be effective unless a written instrument setting forth its terms has been executed, acknowledged and recorded by the parties in the official records of the County.

The rights and obligations contained in this Grant of Easement shall be binding on and inure to the benefit of Grantor and Grantee and any/all heirs, successors, and assigns thereof, including any and all subsequent owners of the respective real properties referenced herein. Said rights and obligations shall be covenants running with the land and shall both burden and benefit the respective Servient Tenement and Dominant Tenement. This Grant of Easement contains the entire understanding of the parties hereto as to the subject matter(s) hereof, and supersedes any and all other written or oral understanding(s) between the parties hereto with respect to the subject matter hereof. There are no third party beneficiaries to this Grant of Easement.


If any provision of this Grant of Easement is found to be invalid, the remaining provisions shall continue in full force and effect. This Grant of Easement shall be governed by and construed in accordance with the laws of the State of California. This Grant of Easement shall be signed and notarized by Grantor and Grantee, as one document or in counterparts, and thereafter recorded in the official records of the County of Orange, California.

**ANTONIADES FAMILY TRUST DATED
NOVEMBER 11, 2006**


Dated: 8-8, 2025
By: Adam N. Antoniadis
Its: Co-Trustee


Dated: 8/8, 2025
By: Lisa Antoniadis
Its: Co-Trustee

**DAVID AND MARY KATHERINE LIM FAMILY
TRUST DATED OCTOBER 12, 2022**


Dated: 8/8, 2025
By: David K. Lim
Its: Co-Trustee


Dated: 8/8, 2025
By: Mary Katherine Lim
Its: Co-Trustee

THE SHOSHANA DOTAN 2004 TRUST

_____ Dated: _____, 2025
By: Shoshana Dotan
Its: Trustee

///
///

DESIGN IN MODERN HOMES, INC.

By:  Dated: 08/08 2025

Its: Adam Loucks

EXHIBIT 1

[Easement Area]

State of CALIFORNIA
County of ORANGE

Barbara Augustus McKelvey

On 8-8-25 before me, _____ a
Notary _____ Public, _____ personally appeared

ADAM N. ANTONIADES, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature: [Handwritten Signature]

Name: Barbara Augustus McKelvey
(Typed or Printed)



(Seal)

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of CALIFORNIA
County of ORANGE

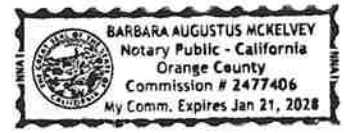
Barbara Augustus McKelvey

On 8-8-25 before me, _____ a
Notary Public, DAVID K. LIM personally appeared

_____ who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.
Signature: [Handwritten Signature]
Name: **Barbara Augustus McKelvey**



(Typed or Printed)

(Seal)

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of CALIFORNIA
County of ORANGE

Barbara Augustus McKelvey

On 8-8-25 before me, _____ a
Notary _____ Public, _____ personally _____ appeared

MARY KATHERINE LIM who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.
Signature: [Handwritten Signature]



Name: Barbara Augustus McKelvey
(Typed or Printed)

(Seal)

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

CALIFORNIA ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

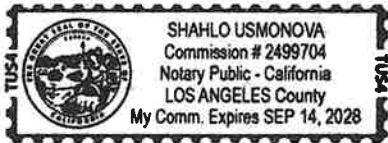
State of California

County of Orange }

On August 8, 2025 before me, Shahlo Usmonova, Notary Public
Date Here Insert Name and Title of the Officer

personally appeared Lisa Antoniadis
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

[Handwritten Signature]

Signature _____
Signature of Notary Public

Place Notary Seal and/or Stamp Above

OPTIONAL

Completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: Grant of Easement

Document Date: _____ Number of Pages: _____

Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____

Corporate Officer – Title(s): _____

Partner – Limited General

Individual Attorney in Fact

Trustee Guardian or Conservator

Other: _____

Signer is Representing: _____

Signer's Name: _____

Corporate Officer – Title(s): _____

Partner – Limited General

Individual Attorney in Fact

Trustee Guardian or Conservator

Other: _____

Signer is Representing: _____

CALIFORNIA ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Orange }

On August 8, 2025 before me, Shahlo Usmonova, Notary Public
Date Here Insert Name and Title of the Officer

personally appeared Adam Loucks
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Place Notary Seal and/or Stamp Above

Signature [Handwritten Signature]
Signature of Notary Public

OPTIONAL

Completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: Grant of Easement

Document Date: _____ Number of Pages: _____

Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____ Signer's Name: _____

- Corporate Officer – Title(s): _____ Corporate Officer – Title(s): _____
- Partner – Limited General Partner – Limited General
- Individual Attorney in Fact Individual Attorney in Fact
- Trustee Guardian or Conservator Trustee Guardian or Conservator
- Other: _____ Other: _____

Signer is Representing: _____ Signer is Representing: _____

EXHIBIT "A"

NO-BUILD EASEMENT

LEGAL DESCRIPTION

THOSE PORTIONS OF LOTS 126 TO 128 OF TRACT MAP NO. 5788, IN THE CITY OF IRVINE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 216, PAGES 19 TO 27 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. SAID PORTIONS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE WESTERLY 3.00 FEET OF SAID LOTS 126 TO 128 AND THE NORTHERLY 3.00 FEET OF THE WESTERLY 8.00 FEET OF THE EASTERLY 5.00 FEET OF SAID LOT 128.

CONTAINING 312 SQUARE FEET, MORE OR LESS.

SUBJECT TO COVENANTS, CONDITIONS, RESERVATIONS, RESTRICTIONS, RIGHTS-OF-WAY, AND EASEMENTS OF RECORD, IF ANY.

EXHIBIT "B" ATTACHED HERETO AND BY THIS REFERENCE MADE A PART HEREOF.

PREPARED BY ME OR UNDER MY DIRECTION:

Dated: July 17, 2025

Francis K. Lin

Francis K. Lin, P.L.S. 9645
License expires December 31, 2025

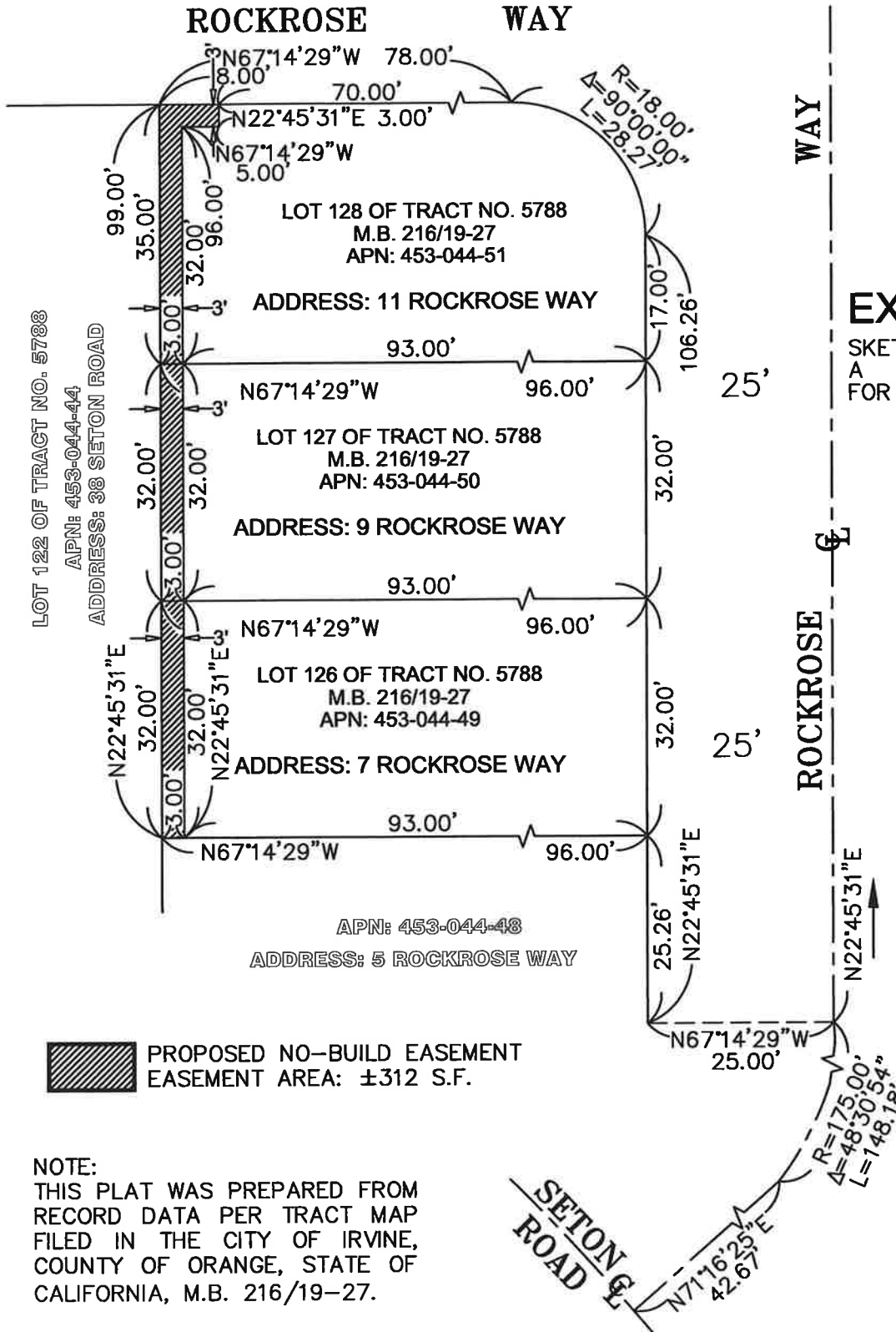




SCALE 1" = 20'

EXHIBIT "B"

SKETCH TO ACCOMPANY
A LEGAL DESCRIPTION
FOR NO-BUILD EASEMENT



LOT 122 OF TRACT NO. 5788
APN: 453-044-44
ADDRESS: 38 SETON ROAD



PROPOSED NO-BUILD EASEMENT
EASEMENT AREA: ±312 S.F.

NOTE:
THIS PLAT WAS PREPARED FROM
RECORD DATA PER TRACT MAP
FILED IN THE CITY OF IRVINE,
COUNTY OF ORANGE, STATE OF
CALIFORNIA, M.B. 216/19-27.



<p>GEOCULUS, INC. 53 THOROUGHbred, IRVINE, CA 92602 Tel: (626)344-9062</p>	<p><i>Francis K. Lin</i> FRANCIS K. LIN PLS 9645 JULY 17, 2025</p>	<p>38 SETON ROAD, IRVINE, CA 92612</p>
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